

CITY OF MERCER ISLAND

Community Planning & Development

9611 SE 36TH STREET | MERCER ISLAND, WA 98040
PHONE: 206.275.7605 | www.mercerisland.gov



INSPECTION REQUESTS:

online:



voicemail: (206) 275-7730

NOTE: ALL RECORDS AND DRAWINGS ARE SUBJECT TO PUBLIC DISCLOSURE AS REQUIRED BY RCW 42.56

CONTACT INFORMATION:

Applicant is to complete the following information.

Applicant Contact information prior to permit issuance: Name, Address, Phone, Email
Applicant Contact information post permit issuance: Name, Address, Phone, Email

REQUIRED SPECIAL INSPECTIONS / STRUCTURAL OBSERVATIONS:

It is the Engineer of Record's responsibility to specify all required Special Inspections or Structural Observation (check items below). The owner is responsible for hiring an approved private Special Inspector for the checked inspections noted below.

STRUCTURAL OBSERVATION BY ENGINEER OF RECORD (EOR): Engineer of Record, Company, Phone, General Conformance to Construction Documents, Other

SOILS / GEOTECHNICAL: Special Inspector, Company, Phone, Erosion control measures, Subsurface drainage placement, Shoring installation and monitoring, Verify fill material and compaction, etc.

REINFORCED CONCRETE: Special Inspector, Company, Phone, Concrete strength, Retaining wall construction, Reinforcing steel and concrete placement, etc.

STRUCTURAL STEEL: Special Inspector, Company, Phone, Fabrication and shop welds, Moment Frame construction, Structural steel erection, field welds and bolting, etc.

STRUCTURAL MASONRY: Special Inspector, Company, Phone, Mortar strength, Glass unit masonry installation, Masonry unit strength, Wall panel and veneer installation, etc.

WOOD: Special Inspector / Engineer of Record, Company, Phone, Lateral resisting system construction, High strength diaphragm construction, etc.

OTHER SPECIAL INSPECTIONS: Special Inspector, Company, Phone, Epoxy grout installations, Stucco installation, Expansion anchor installations, Infiltration System, etc.

DEFERRED SUBMITTALS:

The Applicant is required to select all deferred submittals / shop drawings for submittal to the City for review and approval prior to item fabrication / construction.

Connector plate wood trusses, Post tension layout, Metal joist / metal trusses, Exterior cladding, etc.

ENERGY CODE COMPLIANCE INFORMATION:

Indicate where the following information is located in the drawing set. Alternatively, incorporate or include the Residential Energy Code Prescriptive Compliance (RECPC) Form into the drawing set.

Building envelope, Air Leakage Testing, Whole house ventilation, Duct Leakage Testing, Energy Credit Information, etc.

TO BE COMPLETED BY CPD

PROJECT ALERTS: Construction of the project shall be from approved plans only. No deviation from the approved project plans is allowed without prior approval from the City of Mercer Island.

TREE PROTECTION REQUIREMENTS: Tree protection as shown on approved drawings shall be installed at tree dripline prior to start of any site work and must remain in place throughout the project.

FIRE PROTECTION REQUIREMENTS: Separate Permits are required for ALL fire protection systems. Fire Sprinkler, Monitored Household Fire Alarm, etc.

WATER SUPPLY REQUIREMENTS: Fire sprinkler design calculations must be provided prior to determining water supply system requirements. Water Supply system upgrade required, etc.

DRAINAGE REQUIREMENTS: On site detention system required, Direct discharge into the lake, No Storm Water permit required, etc.

SIDE SEWER REQUIREMENTS: Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowest plumbing fixture is lower than the elevation of the upstream manhole rim.

APPROVED CODE ALTERNATIVES: Code alternatives must be inspected. Refer to the Inspection Checklist. CA1, CA2

SURVEY REQUIREMENTS: Surveyor shall verify points chosen for height calculations and point verification shall be submitted at the time of City foundation inspection.

MAXIMUM 40 PERCENT ALTERATION INSPECTION: A Building Inspection prior to demolition is required for all legally nonconforming single family dwelling to ensure no more than 40 percent of the dwelling's exterior walls are structurally altered.

GEOTECHNICAL INFORMATION: Land clearing, grading, filling and foundation work within geologic hazard areas is NOT PERMITTED between October 1 and April 1 without an approved Seasonal Development Limitation Waiver.

SEASONAL DEVELOPMENT LIMITATION RESTRICTION: Applies (Geologic Hazard area). Grading not permitted between October 1 through April 1.

Geotechnical Engineer, Permit number, Approved by, Date

TO BE COMPLETED BY CPD

TO BE COMPLETED BY CPD

REQUIRED CONSTRUCTION INSPECTIONS: Inspector shall initial and date appropriate inspection only if approved. Tree protection, Sewer disconnect and cap, Storm drainage, etc.

TO BE COMPLETED BY CPD

Final Inspection: Tree Restoration, Fire protection, Fuel Tank Installation, Fire Extinguishing System, etc.

90 DAY TEMPORARY CERTIFICATE OF OCCUPANCY (TCO): Applicant option. Additional fees will be required and must be approved prior to occupancy.

Approved, Start Date, End Date

ADDITIONAL REQUIRED CITY INSPECTIONS: Call the appropriate contact to arrange the inspection. Required Inspection(s), Contact, Phone, Scheduling

IMPACT FEES: Impact fees apply and are due prior to Final Inspection or on Date, whichever occurs first. PLAN REVIEW APPROVALS: Not all review disciplines may be required to review the documents.

TO BE COMPLETED BY CPD

TO BE COMPLETED BY APPLICANT



CERTIFICATE OF OCCUPANCY Issued after all required inspections have been performed and approved.

PROJECT NAME: PROJECT ADDRESS:

APPROVED DRAWINGS MUST BE KEPT ON THE BUILDING SITE AT ALL TIMES REVIEWED FOR CODE COMPLIANCE

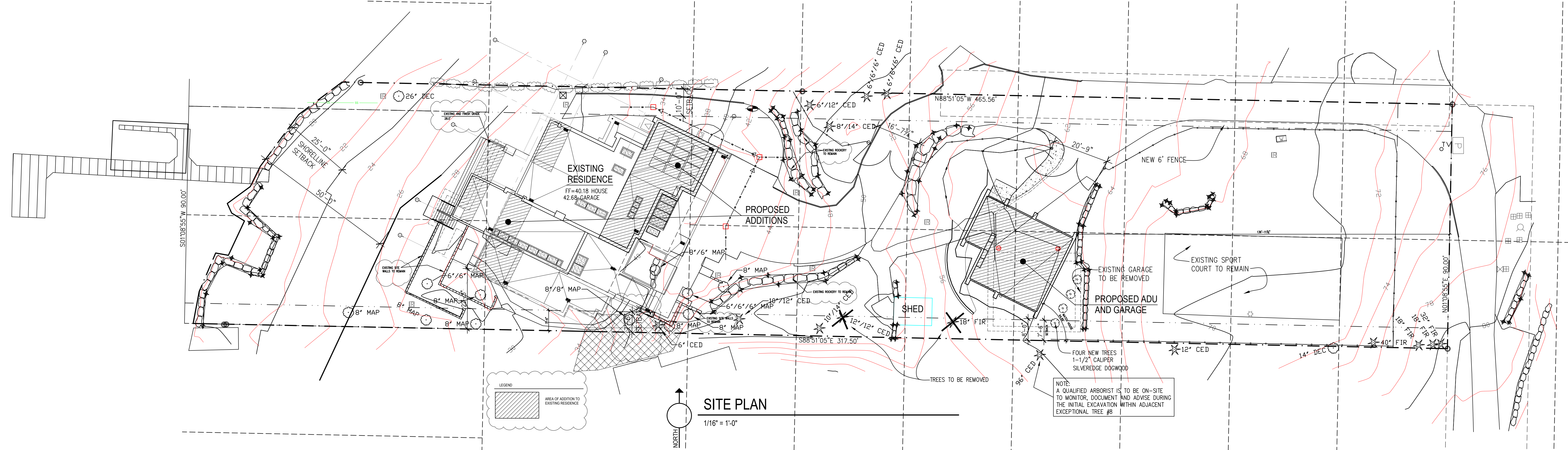
PERMIT NUMBER

Approved, Date

Approved, Date



10/16/23 RESPONSE
9/28/23 PRICING SET
No. Date Revision



SITE PLAN
1/16" = 1'-0"

GENERAL NOTES

THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MAY BE REPRODUCED ONLY WITH THE WRITTEN PERMISSION OF THE ARCHITECT. AUTHORIZED REPRODUCTIONS MUST BEAR THE NAME OF THE ARCHITECT. COPYRIGHT 2023 BY CHESMORE|BUCK ARCHITECTURE. THESE DRAWINGS ARE FULLY PROTECTED BY FEDERAL AND STATE COPYRIGHT LAWS. ANY INFRINGEMENT WILL BE VIGOROUSLY PROSECUTED.

ALL CONSTRUCTION SHALL CONFORM TO THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) AND BE IN ACCORDANCE WITH THE WASHINGTON STATE LAWS AND REGULATIONS AND VARIOUS CODES IMPOSED BY LOCAL AUTHORITIES, INCLUDING WASHINGTON AMENDMENTS TO IRC, AND MERCER ISLAND CITY CODE.

CONTRACTOR'S RESPONSIBILITY:
CONTRACTOR TO VERIFY ALL DIMENSIONS AND STRUCTURAL MEMBER SIZES PRIOR TO CONSTRUCTION. CONTRACTOR TO INFORM ARCHITECT OF ANY DISCREPANCIES IN THE DRAWINGS OR FROM THE CODES.

CONTRACTOR INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON THE DRAWING ONLY WILL NOT SATISFY THIS REQUIREMENT.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM HIS WORK.

ALL STRUCTURAL SYSTEMS SUCH AS WOOD TRUSSES WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.

THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT IF UNUSUAL, UNFORESEEABLE, OR UNEXPECTED SUBSURFACE CONDITIONS ARE ENCOUNTERED.

BECAUSE THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, THE CONTRACTOR SHALL, BEFORE STARTING EACH PORTION OF THE WORK, CAREFULLY STUDY AND COMPARE THE VARIOUS CONTRACT DOCUMENT RELATIVE TO THAT PORTION OF THE WORK, AS WELL AS THE INFORMATION PROVIDED BY THE OWNER. SHALL TAKE FIELD MEASUREMENTS OF ANY EXISTING CONDITIONS RELATED TO THAT PORTION OF THE WORK AND SHALL OBSERVE ANY CONDITIONS AT THE SITE AFFECTING IT. THESE OBLIGATIONS ARE FOR THE PURPOSE OF FACILITATING COORDINATION AND CONSTRUCTION BY THE CONTRACTOR. THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES, OR OMISSIONS DISCOVERED BY OR MADE KNOWN TO THE CONTRACTOR AS A REQUEST FOR INFORMATION IN SUCH FORM AS THE ARCHITECT MAY REQUIRE. THE CONTRACTOR'S REVIEW IS MADE IN THE CONTRACTOR'S CAPACITY AS A CONTRACTOR AND NOT AS A LICENSED DESIGN PROFESSIONAL.

PROJECT NOTES

PROPOSED ADDITION TO EXISTING RESIDENCE AND NEW ADU/GARAGE

OWNERS

STEVE KAO & HUI HONG
21722 CHINOOK ROAD
WOODWAY, WA 98020

ZONING

R-15

PROPERTY TAX ACCT#

PROPERTY TAX ACCOUNT NUMBER: 294890-0015

LEGAL DESCRIPTION

GROVELAND PARK ADD VAC 3-4 & S 10 FT OF 2 & SH LDS ADJ & VAC ST ADJ IN BLK 22 & VAC N 40 FT OF 16 THRU 22 & VAC S 50 FT OF 9 THRU 15 & VAC ST ADJ IN BLK 2

LOT COVERAGE

TOTAL LOT AREA:	42,797 S.F.	NET LOT AREA	39,844 S.F.
LOT COVERAGE:			
HOUSE W/ ADDITIONS	5,266 S.F.		
DADU	1,108 S.F.		
SHED	143 S.F.		
STRUCTURAL TOTAL	6,517 S.F.		
SPORT COURT	1,950 S.F.		
DRIVING SURFACES	6,766 S.F.		
TOTAL	15,233 S.F.		
HARDSCAPE MAX ALLOWED 9% OF 42,797 S.F.	3,852 S.F.		
STEPPING STONES & ROCKERIES	976 S.F.		
40% ALLOWABLE LOT COVERAGE OR	17,119 S.F.		

GROSS FLOOR AREA

BASEMENT	640 S.F.
MAIN FLOOR	3,918 S.F.
UPPER FLOOR	1,908 S.F.
DADU	1,952 S.F.
TOTAL	8,416 S.F.
ALLOWABLE GROSS FLOOR AREA	12,000 S.F.

LOT SLOPE CALCULATION

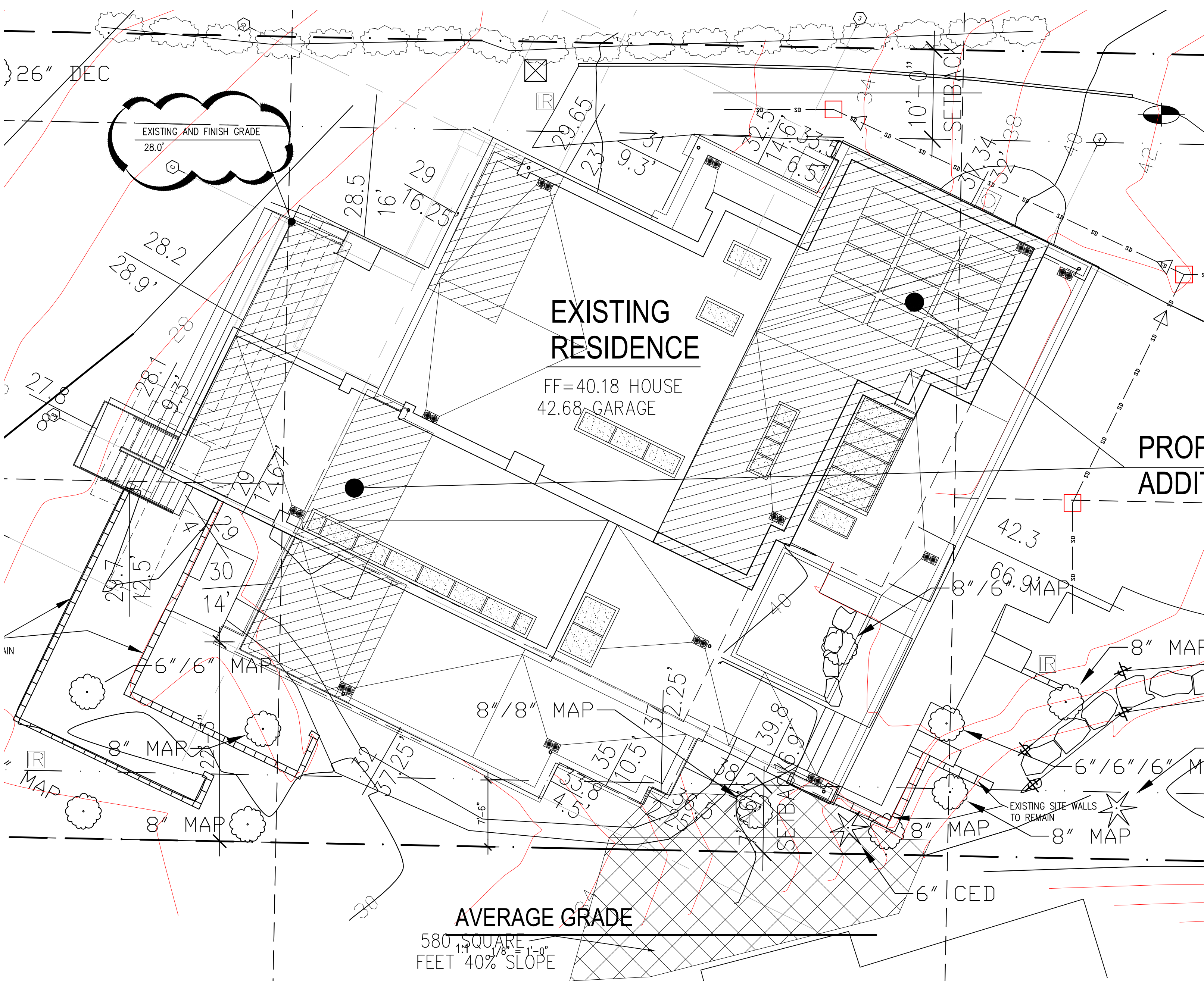
HIGH POINT 80'-LOW POINT 18'=62' DIFFERENCE
62'/438.3' HORIZONTAL DISTANCE=100=12.8% LOT SLOPE

FIRE SPRINKLERS

PROVIDE A NFPA 13D FIRE SPRINKLER SYSTEM THROUGHOUT THE MAIN HOUSE. THIS SYSTEM WILL REQUIRE A SEPARATE FIRE PERMIT.
PROVIDE THE DADU WITH A NFPA 13D MONITORED FIRE ALARM SYSTEM.

SHEET INDEX

SF	MERCER ISLAND COVER SHEET	S.1	FOUNDATION PLAN
1.0	SITE PLAN	S.2	MAIN FLOOR FRAMING PLAN
1.1	FLOOR AREA ILLUSTRATION	S.3	UPPER FLOOR/ LOWER ROOF FRAMING PLAN
0.0	SITE SURVEY	S.4	ROOF FRAMING PLAN
C-1	CWSP PLAN	S.10	GENERAL STRUCTURAL NOTES
C-2	DRAINAGE PLAN	S.11	GENERAL STRUCTURAL NOTES
C-3	DETAILS	S.12	GENERAL STRUCTURAL NOTES
0-001	COVER SHEET	S.30	DETAILS
L001	EXISTING VEGETATION WEST	S.31	DETAILS
L002	EXISTING VEGETATION EAST	S.4.0	TYPICAL WOOD DETAILS
L003	SITE IMPACTS WEST	S.4.1	TYPICAL WOOD DETAILS
L004	SITE IMPACTS EAST	S.4.2	FLOOR DETAILS
L005	SITE PREP WEST	S.4.3	DECK DETAILS
L006	SITE PREP EAST	S.4.4	WOOD DETAILS
L007	PLANTING PLAN - WEST	S.4.5	PARAPET AND FLAT ROOF DETAILS
L008	PLANTING PLAN - EAST	S.5.0	STEEL DETAILS
L009	DETAILS	S.6.0	WOOD AND STEEL DETAILS
2.0	LOWER FLOOR DEMOLITION PLAN		
2.1	MAIN FLOOR DEMOLITION PLAN		
2.2	UPPER FLOOR DEMOLITION PLAN		
2.3	ROOF DEMOLITION PLAN		
3.0	LOWER FLOOR PLAN		
3.1	MAIN FLOOR PLAN		
3.2	UPPER FLOOR PLAN		
4.0	SCHEDULES		
4.1	SCHEDULES		
4.2	DETAILS		
4.3	DETAILS		
4.6	LOWER FLOOR REFLECTED CEILING PLAN		
4.7	MAIN FLOOR REFLECTED CEILING PLAN		
4.8	UPPER FLOOR REFLECTED CEILING PLAN		
5.0	EXTERIOR ELEVATIONS		
5.1	EXTERIOR ELEVATIONS		
6.0	BUILDING SECTIONS		
6.1	BUILDING SECTIONS		
6.2	BUILDING SECTIONS		
6.3	WALL SECTIONS		
7.0	INTERIOR ELEVATIONS		
7.1	INTERIOR ELEVATIONS		
7.2	INTERIOR ELEVATIONS		
7.3	INTERIOR ELEVATIONS		
7.4	INTERIOR ELEVATIONS		
7.5	INTERIOR ELEVATIONS		
7.6	INTERIOR ELEVATIONS		
7.7	INTERIOR ELEVATIONS		
7.8	INTERIOR ELEVATIONS		
7.9	INTERIOR ELEVATIONS		
8.0	DETAILS		
8.1	DETAILS		
9.0	SPECIFICATIONS		
E.1	LOWER FLOOR ELECTRICAL PLAN		
E.2	MAIN FLOOR ELECTRICAL PLAN		
E.3	UPPER FLOOR ELECTRICAL PLAN		
M.1	LOWER FLOOR DUCT CONCEPT		
M.2	MAIN FLOOR DUCT CONCEPT		
E.3	UPPER FLOOR DUCT CONCEPT		



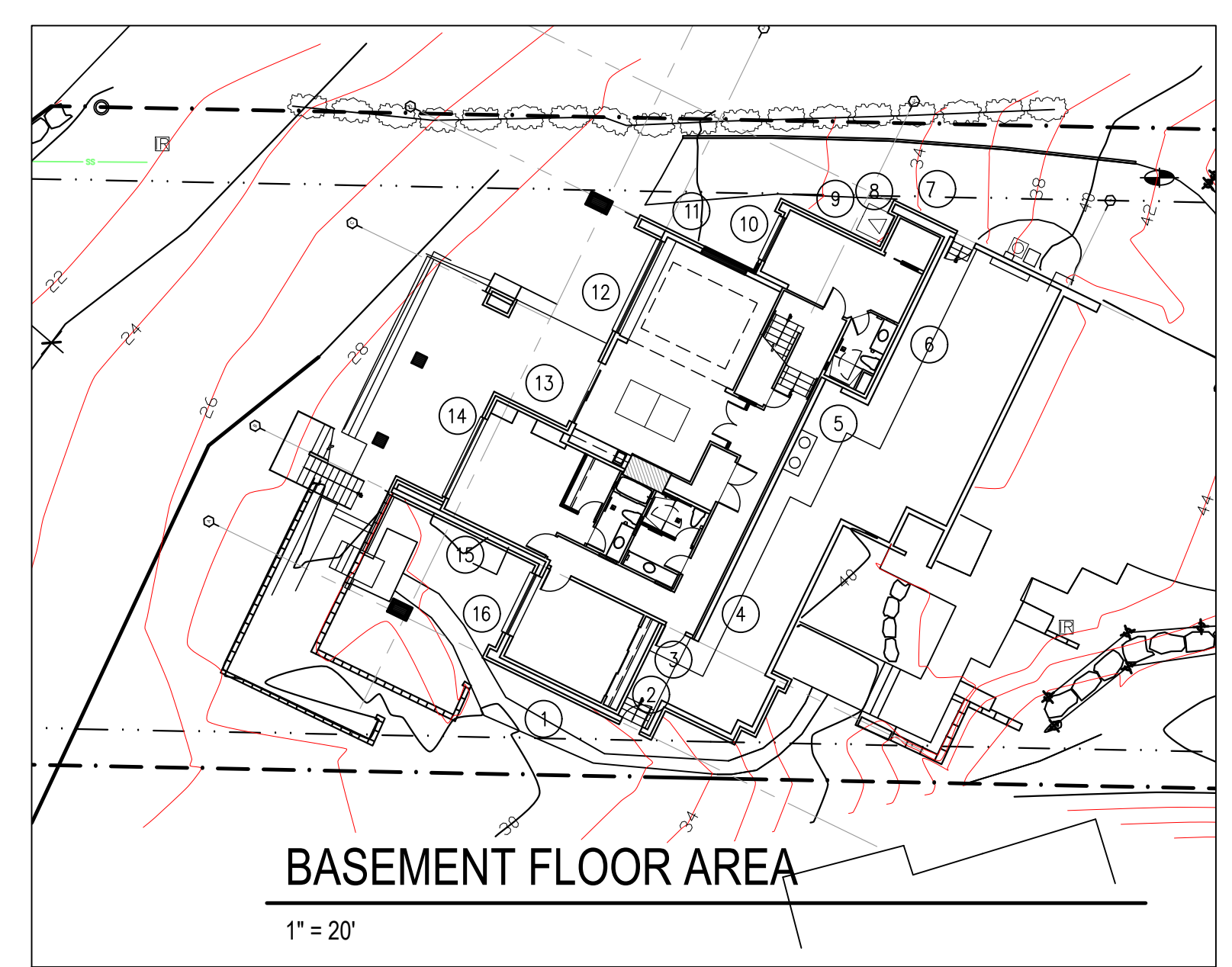
length	elevation	axb
32	37.34	1194.88
6.5	33.5	217.75
14.6	32.5	474.5
9.3	31	288.3
23	29.65	681.95
16.25	29	471.25
16	28.5	456
28.9	28.2	814.98
9.3	28.1	261.33
8	27.8	222.4
12.5	29.7	371.25
4	29	116
14	30	420
37.25	32	1192
4.5	33.8	152.1
10.5	35	367.5
2.25	36.5	82.125
2.25	37	83.25
7.2	38.2	275.04
16.9	39.8	672.62
66.9	42.3	2829.87
342.1		11645.1

34.04 average grade

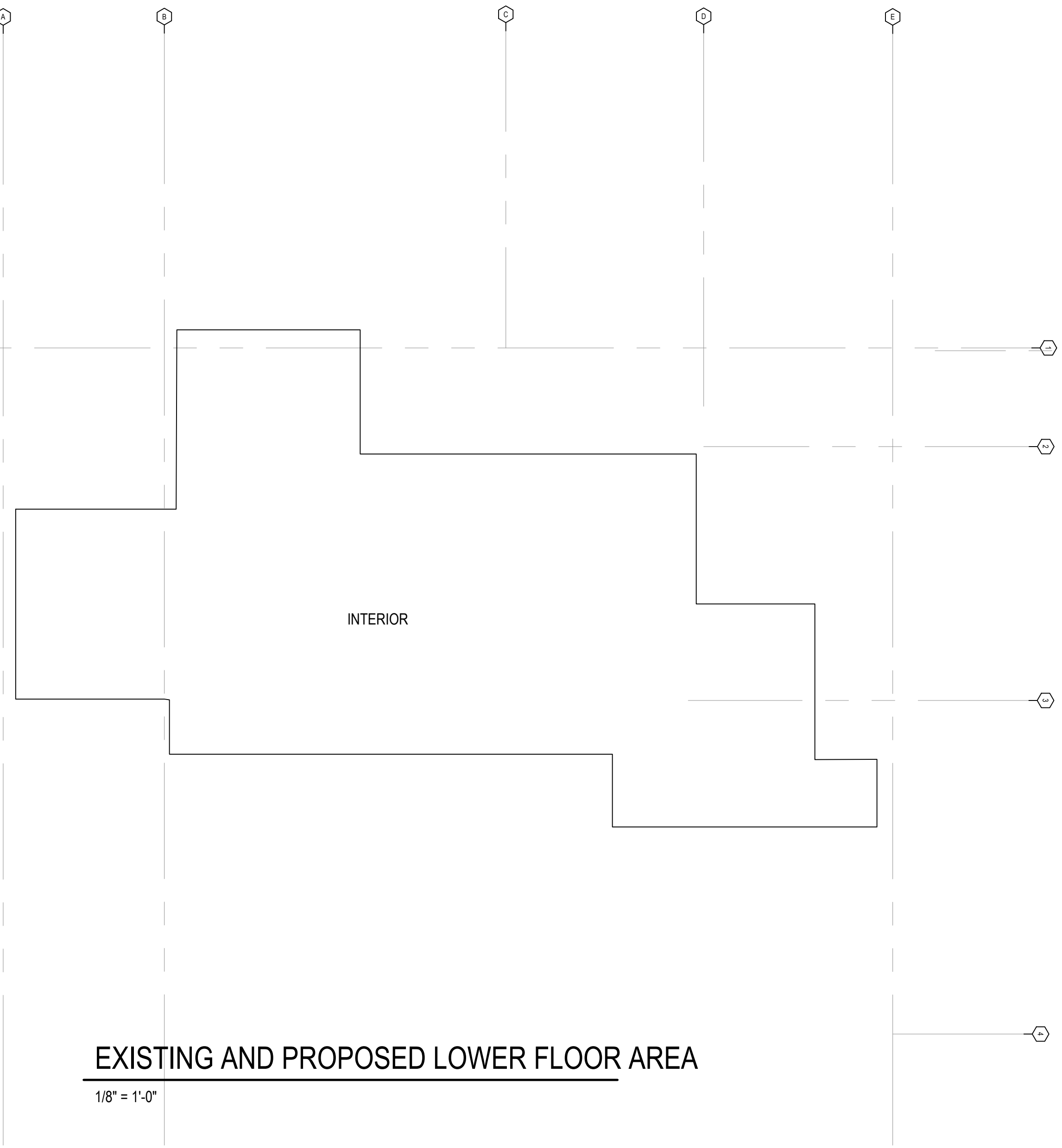
BASEMENT FLOOR AREA CALCULATION

WALL SEGMENT #	LENGTH	% COVERAGE	SEGMENT LENGTH
1	20	0.27	5.4
2	14	0.27	3.78
3	5	0.44	2.2
4	40	0.44	17.6
5	5	0.44	2.2
6	26	0.53	13.78
7	8	0.53	4.24
8	6	0.35	3.18
9	14	0.35	4.9
10	8	0.18	1.44
11	14	0.18	2.52
12	30	0.05	1.5
13	11	0	0
14	20	0	0
15	16	0.27	4.32
16	14	0.27	3.78
251			70.84

SEGMENT L/TOTAL L FLOOR AREA	2266	0.282231076 639.5356175
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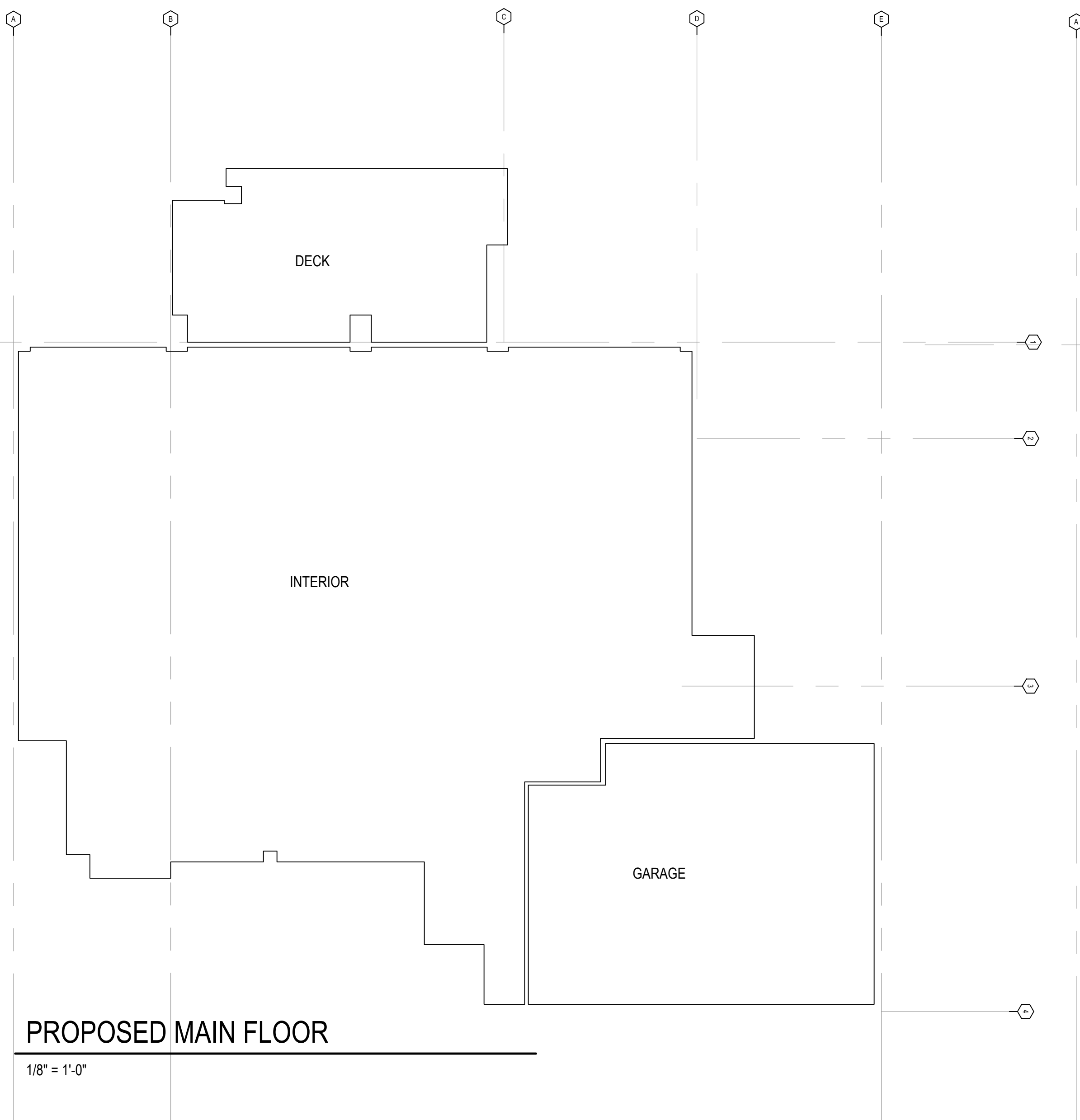


BASEMENT FLOOR AREA
1" = 20"



EXISTING AND PROPOSED LOWER FLOOR AREA

1/8" = 1'-0"



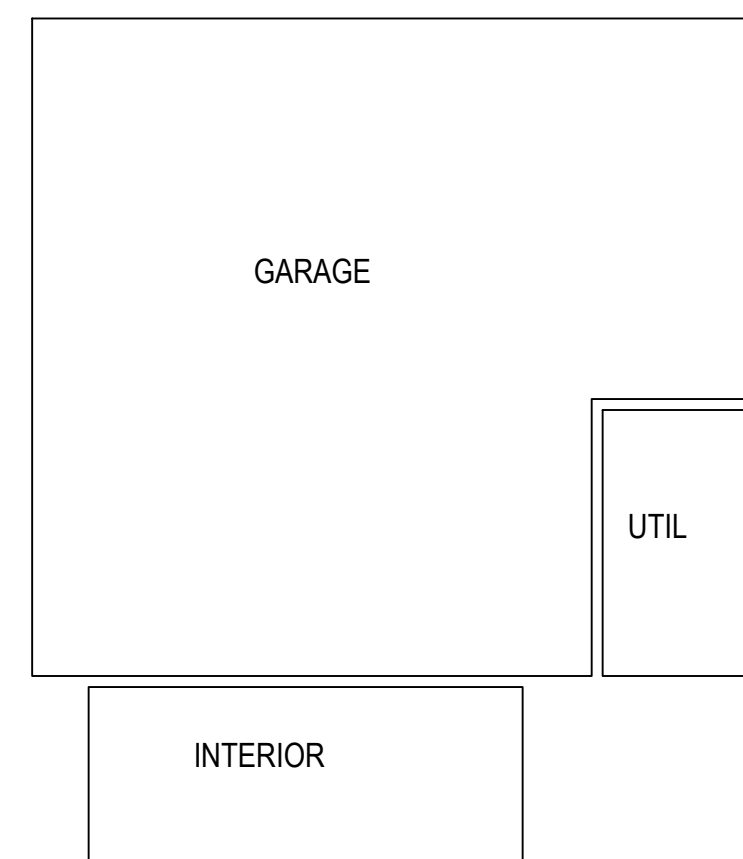
PROPOSED MAIN FLOOR

1/8" = 1'-0"



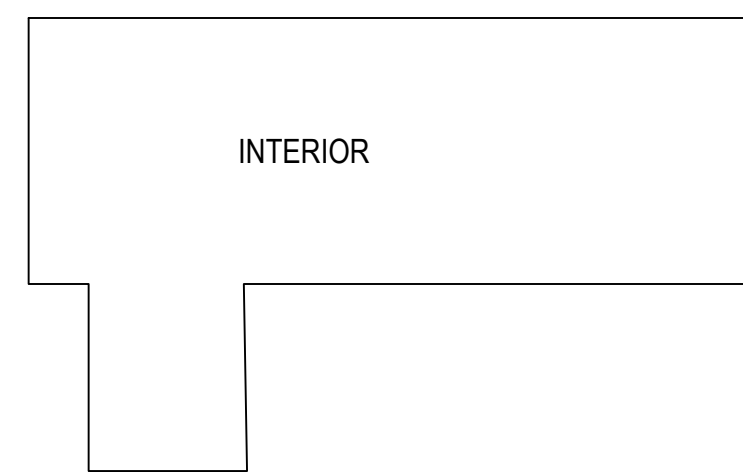
PROPOSED UPPER FLOOR

1/8" = 1'-0"



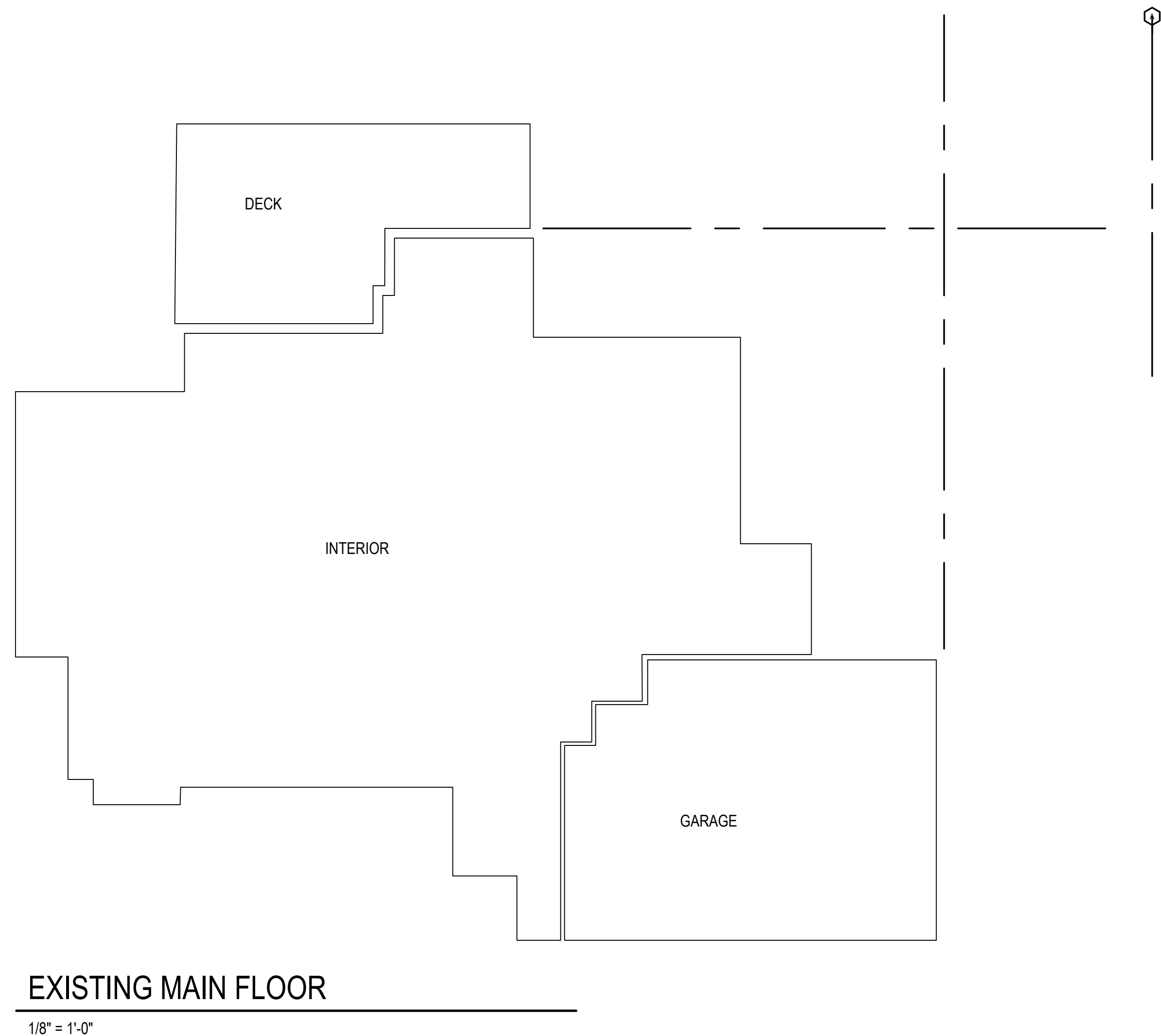
DADU MAIN FLOOR

1/8" = 1'-0"



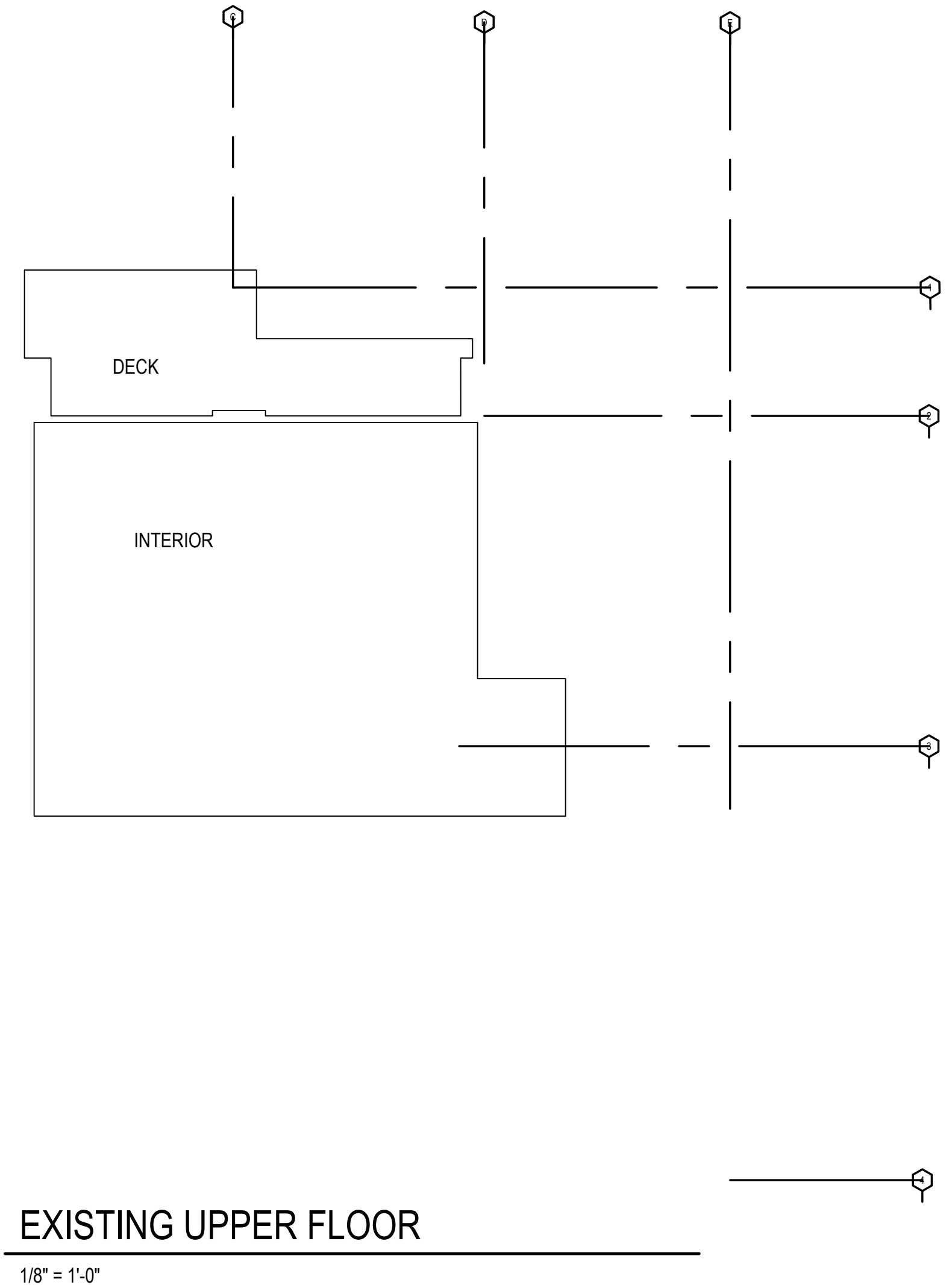
DADU UPPER FLOOR

1/8" = 1'-0"



EXISTING MAIN FLOOR

1/8" = 1'-0"



EXISTING UPPER FLOOR

1/8" = 1'-0"



1	10/16/23	RESPONSE
	9/28/23	PRICING SET
No.	Date	Revision

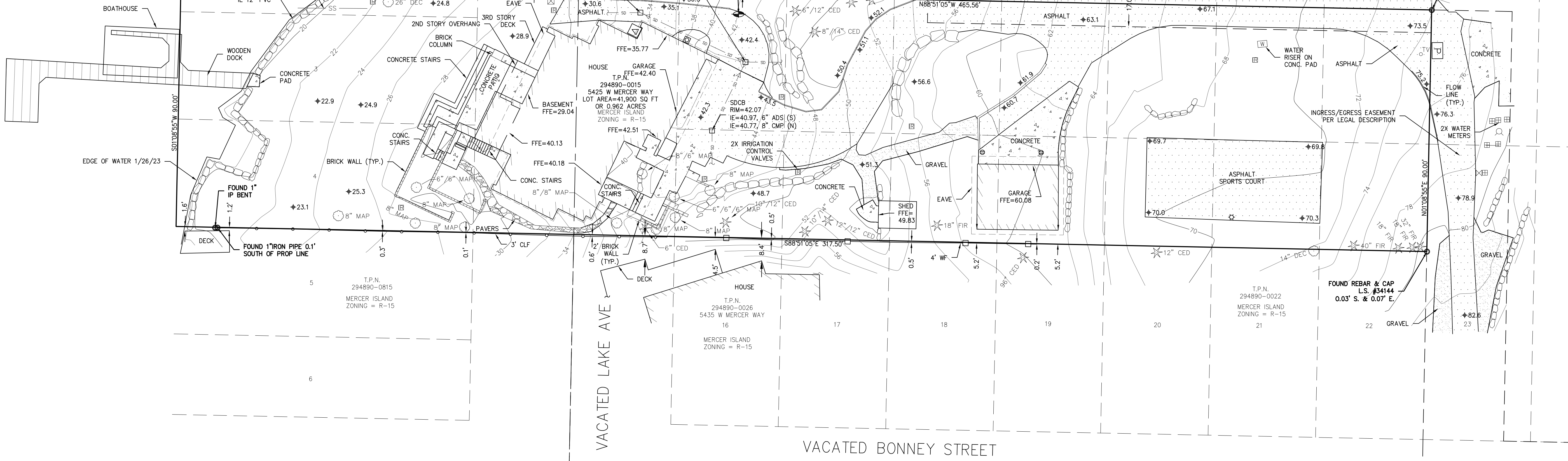
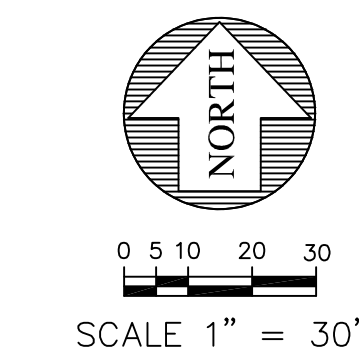
STEVE KAO & HUI HONG TOPOGRAPHIC SURVEY

A PORTION OF THE SE 1/4 OF THE NE 1/4 OF SEC. 24, TWP 24 N., RGE 4 E., W.M.
KING COUNTY, STATE OF WASHINGTON

VACATED BORDER STREET

VACATED BONNEY STREET

VACATED LAKE AVE



SURVEY NOTES:

- HORIZONTAL DATUM: NAD83-2011 EPOCH 2010.00 ESTABLISHED BY OBSERVATIONS TO THE WASHINGTON STATE REFERENCE NETWORK.
- BASIS OF POSITION: HELD THE FOUND MONUMENTED INTERSECTION OF VACATED BONNEY STREET AND VACATED LAKE AVE. (SEE MAP FOR LOCATION AND DESCRIPTION).
- BASIS OF BEARING: HELD THE BEARING OF S 88°51'05" E, PER DIRECT INVERSE, BETWEEN THE ABOVE NOTED BASIS OF POSITION AND FOUND MONUMENTED INTERSECTION OF VACATED BONNEY STREET AND WEST MERCER WAY (SEE MAP FOR LOCATION AND DESCRIPTION).
- THE FOLLOWING INFORMATION WAS REFERENCED IN PREPARING THE BOUNDARY SHOWN HERE ON:
 - GROVELAND PARK, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 8 OF PLATS, PAGE 36, RECORDS OF KING COUNTY, WA.
 - RECORD OF SURVEY AS RECORDED IN VOLUME 23 OF SURVEYS, PAGE 100, RECORDS OF KING COUNTY, WA.
 - RECORD OF SURVEY AS RECORDED IN VOLUME 440 OF SURVEYS, PAGE 145, RECORDS OF KING COUNTY, WA.
 - KING COUNTY ASSESSOR'S MAP FOR THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 24N, RANGE 04E, W.M.
- VERTICAL DATUM: NAVD88 (ESTABLISHED PER WSRN NETWORK OBSERVATION ON SITE BM#1)

SITE BM #1: SET MAG NAIL 0.8 FEET SOUTH OF THE NORTH EDGE OF DRIVE, 3.8 FEET EAST OF THE END OF CURB. ELEVATION=42.23 FEET. (SEE MAP FOR LOCATION)
- TRaversing AND DATA COLLECTION WERE PERFORMED USING A SPECTRA AND/OR TRIMBLE S SECOND TOTAL STATION. ALL FIELD WORK WAS PERFORMED, AND EQUIPMENT MAINTAINED, IN COMPLIANCE WITH WAC 332-130.
- ADDITIONAL FIELD WORK WAS PERFORMED USING SPECTRA SP-80 GNSS POSITIONING SYSTEMS, THE WASHINGTON STATE REFERENCE NETWORK, AND/OR THE NATIONAL GEODETIC SURVEY'S ONLINE POSITIONING USER SERVICE (OPUS).
- MONUMENTS SHOWN AS FOUND AND PLANIMETRIC INFORMATION SHOWN HEREON ARE THE RESULT OF A SURVEY BY ENCOMPASS, COMPLETED IN JANUARY 2023.
- UNDERGROUND UTILITIES SHOWN HEREON ARE PER A COMBINATION OF FIELD LOCATED SURFACE OBSERVABLE FEATURES AND RECORDS OF THE APPLICABLE UTILITIES AND SHOULD BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION.
- THE PURPOSE OF THIS EXHIBIT IS TO SHOW THE BOUNDARY AND EXISTING CONDITIONS ON THE SUBJECT PROPERTY.

LEGAL DESCRIPTION

THAT PORTION OF VACATED BLOCKS 2 AND 22 OF GROVELAND PARK, AS PER PLAT RECORDED IN VOLUME 8 OF PLATS, PAGE 36, RECORDS OF KING COUNTY AUDITOR, AND OF VACATED STREETS ADJOINING, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE CENTER LINES OF VACATED LAKE AVENUE AND VACATED BONNEY STREET AS SHOWN ON SAID PLAT, SAID POINT BEING MARKED BY A CONCRETE POST;

THENCE NORTH ALONG THE CENTER LINE OF SAID VACATED LAKE AVENUE 100 FEET TO THE TRUE POINT OF BEGINNING;

THENCE EAST PARALLEL WITH THE CENTER LINE OF VACATED BONNEY STREET TO THE EAST LINE OF LOT 22 OF SAID BLOCK 2;

THENCE NORTH ALONG SAID EAST LINE AND THE EAST LINE OF LOT 9 OF SAID 2, A DISTANCE OF 90 FEET;

THENCE WEST PARALLEL WITH THE CENTER LINE OF SAID VACATED BONNEY STREET TO THE SHORELINE OF LAKE WASHINGTON;

THENCE SOUTHERLY ALONG SAID SHORELINE 90 FEET, MORE OR LESS, TO AN INTERSECTION WITH THE WESTERLY PRODUCTION OF THE SOUTH LINE OF LOT 4 IN BLOCK 22 OF SAID PLAT;

THENCE EAST ALONG SAID SOUTH LINE AND ITS EASTERLY PRODUCTION THEREOF TO THE TRUE POINT OF BEGINNING;

TOGETHER WITH SECOND CLASS SHORE LANDS, AS CONVEYED BY THE STATE OF WASHINGTON, SITUATE IN FRONT OF, ADJACENT TO OR ABUTTING THEREON;

TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS DESCRIBED AS FOLLOWS:

THE WEST 30 FEET OF LOTS 8 AND 23 OF SAID BLOCK 2 AND THE NORTH 30 FEET OF THAT PORTION OF VACATED BONNEY STREET LYING BETWEEN THE WEST LINE OF SAID LOT 23, BLOCK 2, PRODUCED SOUTH AND THE WESTERLY LINE OF W. MERCER WAY;

AND THAT PORTION OF VACATED ANDERSON AVE. AND SAID BLOCK 2, WITHIN THE FOLLOWING DESCRIBED TRACT:

BEGINNING AT A POINT ON THE SOUTHERLY MARGIN OF THE NORTH 30 FEET OF VACATED BONNEY STREET 70 FEET WEST OF THE WESTERLY MARGIN OF WEST MERCER WAY;

THENCE EAST ALONG SAID SOUTHERLY MARGIN TO THE WESTERLY MARGIN OF WEST MERCER WAY;

THENCE NORTHERLY ALONG THE WEST MARGIN OF WEST MERCER WAY, A DISTANCE OF 110 FEET;

THENCE IN A STRAIGHT LINE TO THE POINT OF BEGINNING.

EXCEPT THAT PORTION OF SAID EASEMENT LYING NORTH OF THE EASTERLY PRODUCTION OF THE NORTH LINE OF THE ABOVE DESCRIBED MAIN TRACT.

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

LEGAL DESCRIPTION AND EASEMENTS SHOWN ARE PER CW TITLE COMMITMENT FOR TITLE INSURANCE NO 50025013-101, DATED 10/07/2022

SPECIAL EXCEPTIONS

- EASEMENT AND THE TERMS AND CONDITIONS THEREOF:

GRANTEE: MERCER ISLAND SEWER DISTRICT

PURPOSE: SEWER PIPELINE(S)

AREA AFFECTED: A PORTION OF SAID PREMISES

RECORDED ON AUGUST 5, 1964 AS INSTRUMENT #5770410 IN THE OFFICIAL RECORDS (NOT PLOTTABLE)

(SPECIAL EXCEPTIONS CONTINUED)

- EASEMENT AND THE TERMS AND CONDITIONS THEREOF:

GRANTEE: WASHINGTON NATURAL GAS COMPANY

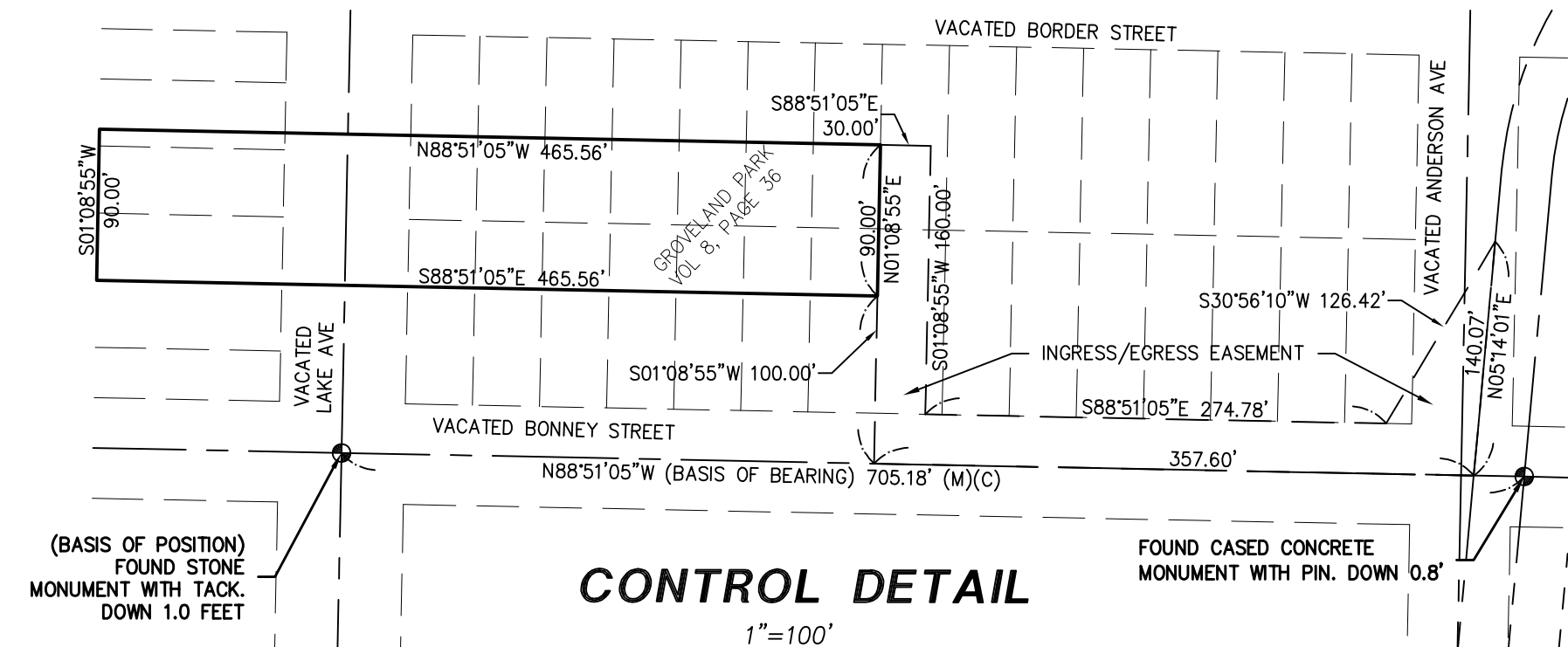
PURPOSE: GAS PIPELINE(S)

AREA AFFECTED: A PORTION OF SAID PREMISES

RECORDED ON JUNE 8, 1987 AS INSTRUMENT #8706081010 IN THE OFFICIAL RECORDS (NOT PLOTTABLE)
- DRIVEWAY EASEMENT AGREEMENT AND THE TERMS AND CONDITIONS THEREOF:

RECORDED ON AUGUST 28, 2003 AS INSTRUMENT #20030828003801 IN THE OFFICIAL RECORDS

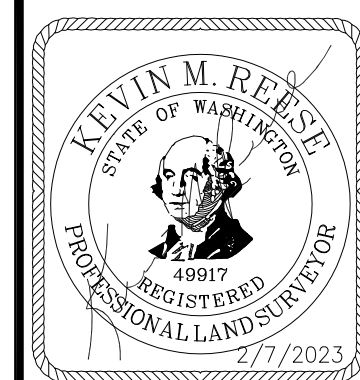
SAID EASEMENT CONTAINS A COVENANT TO BEAR EQUAL SHARE OF COST OF CONSTRUCTION, MAINTENANCE OR REPAIR OF SAME. (PLOTTED HEREON)



LEGEND

- | | | | |
|--|--------------------------|--|------------------------|
| | FOUND MONUMENT IN CASE | | LIGHT POST |
| | BENCHMARK | | CABLE TV RISER |
| | SECTION CORNER | | ROCKERY |
| | QUARTER CORNER | | GAS METER |
| | MEASURED | | STORM LINE |
| | CALCULATED | | WOOD FENCE (WF) |
| | WATER VALVE | | CHAIN LINK FENCE (CLF) |
| | FIRE HYDRANT | | HEDGE LINE |
| | WATER METER | | EVERGREEN TREE |
| | IRRIGATION CONTROL VALVE | | DECIDUOUS TREE |
| | WATER RISER | | CONCRETE |
| | CATCH BASIN | | ASPHALT |
| | AREA DRAIN | | GRAVEL |
| | POWER VAULT | | PAVERS |
| | GENERATOR | | |
| | JUNCTION BOX | | |

REVISIONS	DESCRIPTION	BY	DATE

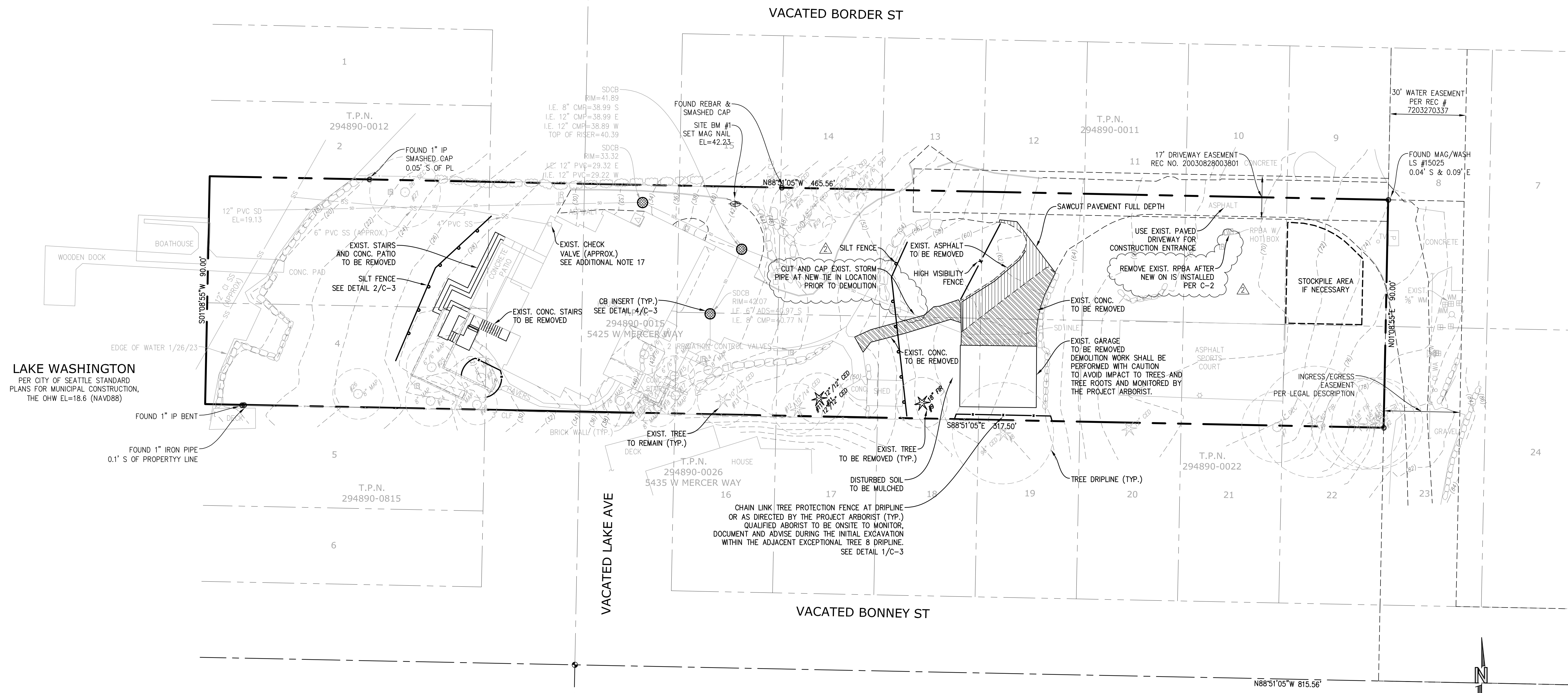


TOPOGRAPHIC SURVEY
FOR
STEVE KAO & HUI HONG



JOB NO.	22758
DATE	2/7/2023
SCALE	1"=20'
DESIGNED	N/A
DRAWN	LGK
CHECKED	N/A
APPROVED	KMR
SHEET	1 OF 2

A PORTION OF THE SE 1/4 OF THE NE 1/4 OF SEC. 24, TWP 24 N., RGE 4 E., W.M



EROSION AND SEDIMENT CONTROL NOTES

- APPROVAL OF THIS EROSION AND SEDIMENT CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
- THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/ESC SUPERVISOR UNTIL ALL CONSTRUCTION IS APPROVED. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED BY A CONTINUOUS LENGTH OF SURVEY TAPE (OR FENCING, IF REQUIRED) PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEARING LIMITS SHALL BE MAINTAINED BY THE APPLICANT/ESC SUPERVISOR FOR THE DURATION OF CONSTRUCTION.
- THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO SURFACE WATERS, DRAINAGE SYSTEMS, AND ADJACENT PROPERTIES IS MINIMIZED.
- THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS (E.G., ADDITIONAL SUMP PUMPS, RELOCATION OF DITCHES AND SILT FENCES, ETC.).
- THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/ESC SUPERVISOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS SHALL BE KEPT OF WEEKLY REVIEWS OF THE ESC FACILITIES DURING THE WET SEASON (OCT. 1 TO APRIL 30) AND OF MONTHLY REVIEWS DURING THE DRY SEASON (MAY 1 TO SEPT. 30).
- ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO DAYS DURING THE WET SEASON OR SEVEN DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS (E.G., SEEDING, MULCHING, PLASTIC COVERING, ETC.).
- ANY AREA NEEDING ESC MEASURES NOT REQUIRING IMMEDIATE ATTENTION SHALL BE ADDRESSED WITHIN FIFTEEN (15) DAYS. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN FORTY-EIGHT (48) HOURS FOLLOWING A STORM EVENT.
- AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- STABILIZED CONSTRUCTION ENTRANCES AND ROADS SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- ANY PERMANENT FLOW CONTROL FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION SYSTEM, THE TEMPORARY FACILITY MUST BE GRADED SO THAT THE BOTTOM AND SIDES ARE AT LEAST THREE FEET ABOVE THE FINAL GRADE OF THE PERMANENT FACILITY.
- WHERE STRAW MULCH FOR TEMPORARY EROSION CONTROL IS REQUIRED, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF 2 TO 3 INCHES.
- PRIOR TO THE BEGINNING OF THE WET SEASON (OCT. 1), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEED IN PREPARATION FOR THE WINTER RAINS. DISTURBED AREAS SHALL BE SEED WITHIN ONE WEEK OF THE BEGINNING OF THE WET SEASON. A SKETCH MAP OF THOSE AREAS TO BE SEED AND THOSE AREAS TO REMAIN UNCOVERED SHALL BE SUBMITTED TO THE DDES INSPECTOR. THE DDES INSPECTOR CAN REQUIRE SEEDING OF ADDITIONAL AREAS IN ORDER TO PROTECT SURFACE WATERS, ADJACENT PROPERTIES, OR DRAINAGE FACILITIES.

POLLUTION PREVENTION AND SPILL CONTROL

- STORAGE AND HANDLING OF LIQUIDS**
- MINIMIZE AMOUNT OF LIQUIDS STORED ON SITE.
 - STORE AND CONTAIN LIQUID MATERIALS IN SUCH A MANNER THAT IF A VESSEL IS RUPTURED OR LEAKS, THE CONTENTS WILL NOT DISCHARGE, FLOW, OR BE WASHED INTO THE STORM DRAINAGE SYSTEM, SURFACE WATERS, OR GROUNDWATER. TYPICALLY THIS MEANS INSTALLING SECONDARY CONTAINMENT, SUCH AS A LINED EXCAVATION, LARGER CONTAINER, OR USING A DOUBLE-WALLED TANK OR SIMILAR COMMERCIALY AVAILABLE CONTAINMENT FACILITY.
 - PLACE TIGHT-FITTING LIDS ON ALL CONTAINERS.
 - ENCLOSE OR COVER THE CONTAINERS WHERE THEY ARE STORED TO PROTECT FROM RAIN. THE LOCAL FIRE DISTRICT MUST BE CONSULTED FOR LIMITATIONS ON CLEARANCE OF ROOF COVERS OVER CONTAINERS USED TO STORE FLAMMABLE MATERIALS.
 - RAISE THE CONTAINERS OFF THE GROUND BY USING A SPILL CONTAINMENT PALLET OR SIMILAR METHOD THAT HAS PROVISIONS FOR SPILL CONTROL.
 - PLACE DRIP PANS OR ABSORBENT MATERIALS BENEATH ALL MOUNTED CONTAINER TAPS, AND AT ALL POTENTIAL DRIP AND SPILL LOCATIONS DURING FILLING AND UNLOADING OF CONTAINERS. ANY COLLECTED LIQUIDS OR SOILED ABSORBENT MATERIALS MUST BE REUSED, RECYCLED, OR PROPERLY DISPOSED OF.
 - STORE AND MAINTAIN ABSORBENT PADS OR APPROPRIATE SPILL CLEANUP MATERIALS NEAR THE CONTAINER STORAGE AREA, IN A LOCATION KNOWN TO ALL. ENSURE THAT EMPLOYEES ARE FAMILIAR WITH THE SITE'S SPILL PLAN AND/OR PROPER SPILL CLEANUP PROCEDURES.
 - CHECK CONTAINERS (AND ANY CONTAINMENT SUMPS) DAILY FOR LEAKS AND SPILLS. REPLACE CONTAINERS THAT ARE LEAKING, CORRODED, OR OTHERWISE DETERIORATING. IF THE LIQUID CHEMICALS ARE CORROSIVE, CONTAINERS MADE OF COMPATIBLE MATERIALS MUST BE USED INSTEAD OF METAL DRUMS. NEW OR SECONDARY CONTAINERS MUST BE LABELED WITH THE PRODUCT NAME AND HAZARDS.
 - PLACE DRIP PANS OR ABSORBENT MATERIALS BENEATH A CONTAINER THAT IS FOUND TO BE LEAKING. REMOVE THE DAMAGED CONTAINER AS SOON AS POSSIBLE. MOP UP THE SPILLED LIQUID WITH ABSORBENT PADS OR RAGS. ANY COLLECTED LIQUIDS OR SOILED ABSORBENT MATERIALS MUST BE REUSED, RECYCLED, OR PROPERLY DISPOSED OF.
- FUELING**
- LOCATE THE FUELING OPERATION TO ENSURE LEAKS OR SPILLS WILL NOT DISCHARGE, FLOW, OR BE WASHED INTO THE STORM DRAINAGE SYSTEM, SURFACE WATER, OR GROUNDWATER.
 - USE DRIP PANS OR ABSORBENT PADS TO CAPTURE DRIPS OR SPILLS DURING FUELING OPERATIONS.
 - IF FUELING IS DONE DURING EVENING HOURS, LIGHTING MUST BE PROVIDED.
 - STORE AND MAINTAIN APPROPRIATE SPILL CLEANUP MATERIALS IN THE MOBILE FUELING VEHICLE. ENSURE THAT EMPLOYEES ARE FAMILIAR WITH PROPER SPILL CONTROL AND CLEANUP PROCEDURES.
 - IMMEDIATELY MOP UP ANY SPILLED FUEL WITH ABSORBENT PADS OR RAGS. ANY COLLECTED LIQUIDS OR SOILED ABSORBENT MATERIALS MUST BE REUSED, RECYCLED, OR PROPERLY DISPOSED OF.
- CONCRETE SAW CUTTING, SLURRY, AND WASHWATER DISPOSAL**
- SLURRY FROM SAW CUTTING THE SIDEWALK SHALL BE VACUUMED SO THAT IT DOES NOT ENTER NEARBY STORM DRAINS.
 - CONCRETE TRUCK CHUTES, PUMPS, AND INTERNALS SHALL BE WASHED OUT ONLY INTO FORMED AREAS AWAITING INSTALLATION OF CONCRETE.
 - UNUSED CONCRETE REMAINING IN THE TRUCK AND PUMP SHALL BE RETURNED TO THE ORIGINATING BATCH PLANT FOR RECYCLING.
 - HAND TOOLS INCLUDING, BUT NOT LIMITED, SCREEDS, SHOVELS, RAKES, FLOATS, AND TROWELS SHALL BE WASHED OFF ONLY INTO FORMED AREAS AWAITING INSTALLATION OF CONCRETE OR IMPERMEABLE ASPHALT.
 - EQUIPMENT THAT CANNOT BE EASILY MOVED, SUCH AS CONCRETE PAVERS, SHALL ONLY BE WASHED IN AREAS THAT DO NOT DIRECTLY DRAIN TO NATURAL OR CONSTRUCTED STORMWATER CONVEYANCES.
 - WASHDOWN FROM AREAS SUCH AS CONCRETE AGGREGATE DRIVEWAY SHALL NOT DRAIN DIRECTLY TO NATURAL OR CONSTRUCTED STORMWATER CONVEYANCES.
 - WHEN NO FORMED AREAS ARE AVAILABLE, WASHWATER AND LEFTOVER PRODUCT SHALL BE CONTAINED IN A LINED CONTAINER. CONTAINED CONCRETE SHALL BE DISPOSED OF IN A MANNER THAT DOES NOT VIOLATE GROUNDWATER OR SURFACE WATER QUALITY STANDARDS.
 - CONTAINERS SHALL BE CHECKED FOR HOLES IN THE LINER DAILY DURING CONCRETE POURS AND REPLACED THE SAME DAY.

BASIS OF BEARINGS

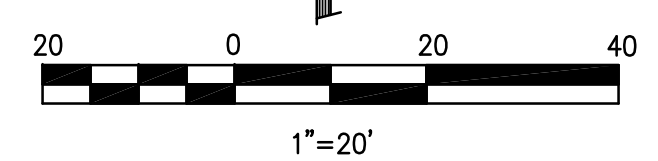
HELD THE BEARING OF S 88°51'05" E, PER DIRECT INVERSE, BETWEEN THE ABOVE NOTED BASIS OF POSITION AND FOUND MONUMENTED INTERSECTION OF VACATED BONNEY STREET AND WEST MERCER WAY (SEE MAP FOR LOCATION AND DESCRIPTION).

HORIZONTAL DATUM
 NAD83-2011 EPOCH 2010.00 ESTABLISHED BY OBSERVATIONS TO THE WASHINGTON STATE REFERENCE NETWORK.

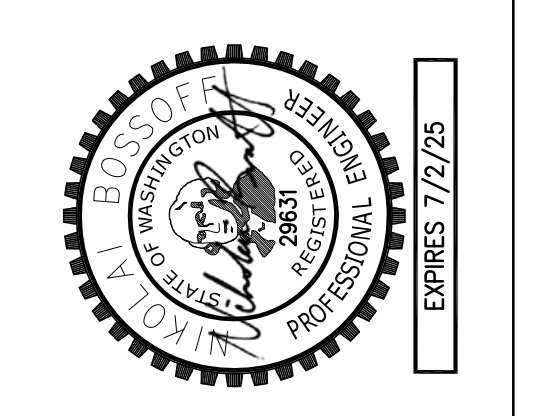
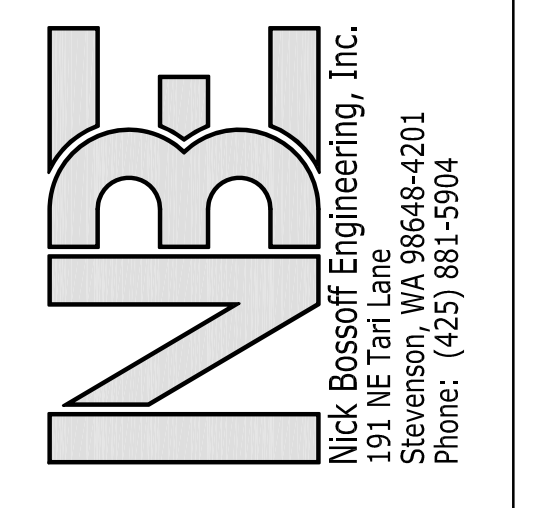
VERTICAL DATUM
 NAVD88 (ESTABLISHED PER WSRN NETWORK OBSERVATION ON SITE BM#1)

LEGAL DESCRIPTION

THAT PORTION OF VACATED BLOCKS 2 AND 22 OF GROVELAND PARK, AS PER PLAT RECORDED IN VOLUME 8 OF PLATS, PAGE 36, RECORDS OF KING COUNTY AUDITOR, AND OF VACATED STREETS ADJOINING, DESCRIBED AS FOLLOWS:
 BEGINNING AT THE INTERSECTION OF THE CENTER LINES OF VACATED LAKE AVENUE AND VACATED BONNEY STREET AS SHOWN ON SAID PLAT, SAID POINT BEING MARKED BY A CONCRETE POST;
 THENCE NORTH ALONG THE CENTER LINE OF SAID VACATED LAKE AVENUE 100 FEET TO THE TRUE POINT OF BEGINNING;
 THENCE EAST PARALLEL WITH THE CENTER LINE OF VACATED BONNEY STREET, 317.50 FEET TO THE EAST LINE OF LOT 22 OF SAID BLOCK 2;
 THENCE NORTH ALONG SAID EAST LINE AND THE EAST LINE OF LOT 9 OF SAID 2, A DISTANCE OF 90 FEET;
 THENCE WEST PARALLEL WITH THE CENTER LINE OF SAID VACATED BONNEY STREET TO THE SHORELINE OF LAKE WASHINGTON;
 THENCE SOUTHERLY ALONG SAID SHORELINE 90 FEET, MORE OR LESS, TO AN INTERSECTION WITH THE WESTERLY PRODUCTION OF THE SOUTH LINE OF LOT 4 IN BLOCK 22 OF SAID PLAT;
 THENCE EAST ALONG SAID SOUTH LINE AND ITS EASTERLY PRODUCTION THEREOF TO THE TRUE POINT OF BEGINNING;
 TOGETHER WITH SECOND CLASS SHORE LANDS, AS CONVEYED BY THE STATE OF WASHINGTON, SITUATE IN FRONT OF, ADJACENT TO OR ABUTTING THEREON;
 TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS DESCRIBED AS FOLLOWS:
 THE WEST 30 FEET OF LOTS 8 AND 23 OF SAID BLOCK 2 AND THE NORTH 30 FEET OF THAT PORTION OF VACATED BONNEY STREET LYING BETWEEN THE WEST LINE OF SAID LOT 23, BLOCK 2, PRODUCED SOUTH AND THE WESTERLY LINE OF W. MERCER WAY;
 AND THAT PORTION OF VACATED ANDERSON AVE. AND SAID BLOCK 2, WITHIN THE FOLLOWING DESCRIBED TRACT:
 BEGINNING AT A POINT ON THE SOUTHERLY MARGIN OF THE NORTH 30 FEET OF VACATED BONNEY STREET 70 FEET WEST OF THE WESTERLY MARGIN OF WEST MERCER WAY;
 THENCE EAST ALONG SAID SOUTHERLY MARGIN TO THE WESTERLY MARGIN OF WEST MERCER WAY;
 THENCE NORTHERLY ALONG THE WEST MARGIN OF WEST MERCER WAY, A DISTANCE OF 110 FEET;
 THENCE IN A STRAIGHT LINE TO THE POINT OF BEGINNING;
 EXCEPT THAT PORTION OF SAID EASEMENT LYING NORTH OF THE EASTERLY PRODUCTION OF THE NORTH LINE OF THE ABOVE DESCRIBED MAIN TRACT.
 SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.



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2	10/05/23	CITY COMMENTS

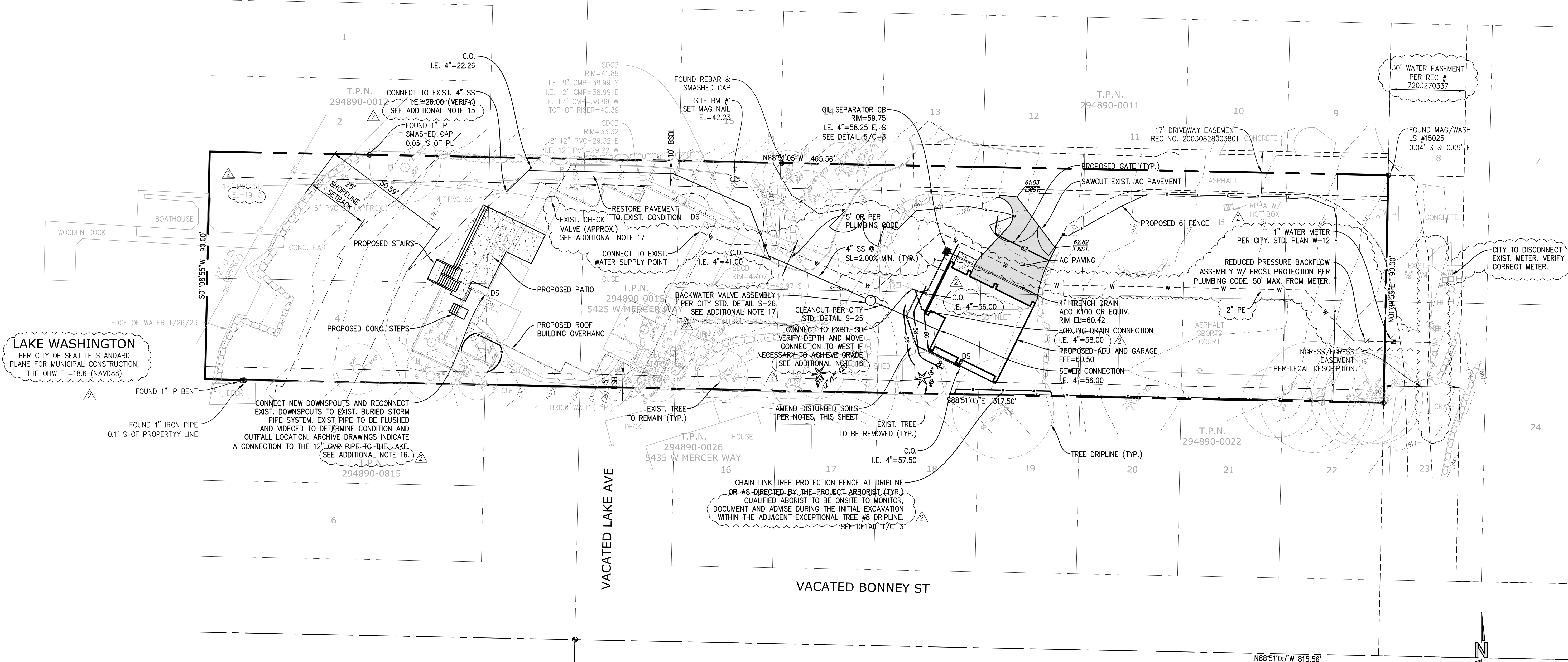
N. BOSSOFF, P.E.
 PROJECT MANAGER
 NB
 DESIGNED: TKB
 DRAWN: CBAP-2301
 JOB NUMBER: CBAP-2301.pln.dwg
 FILE NAME:

HONG AND KAO RESIDENCE
5425 W MERCER WAY
 WASHINGTON
 MERCER ISLAND

TITLE: CSWPP PLAN
 SHEET: C-1

A PORTION OF THE SE 1/4 OF THE NE 1/4 OF SEC. 24, TWP 24 N., RGE 4 E., W.M

VACATED BORDER ST



LAKE WASHINGTON
PER CITY OF SEATTLE STANDARD PLANS FOR MUNICIPAL CONSTRUCTION, THE OHW EL=18.6 (NAVD88)

POST-CONSTRUCTION SOIL QUALITY AND DEPTH NOTES

THE LAWN AND LANDSCAPE AREAS ARE REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP 15.13. THE PROJECT GEOTECHNICAL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND LANDSCAPE AREAS ARE MEETING THE POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT.

A. SOIL RETENTION. RETAIN, IN AN UNDISTURBED STATE, THE DUFF LAYER AND NATIVE TOPSOIL TO THE MAXIMUM EXTENT PRACTICABLE. IN ANY AREAS REQUIRING GRADING REMOVE AND STOCKPILE THE DUFF LAYER AND TOPSOIL ON SITE IN A DESIGNATED, CONTROLLED AREA, NOT ADJACENT TO PUBLIC RESOURCES AND CRITICAL AREAS, TO BE REAPPLIED TO OTHER PORTIONS OF THE SITE WHERE FEASIBLE.

B. SOIL QUALITY. ALL AREAS SUBJECT TO CLEARING AND GRADING THAT HAVE NOT BEEN COVERED BY IMPERVIOUS SURFACE, INCORPORATED INTO A DRAINAGE FACILITY OR ENGINEERED AS STRUCTURAL FILL OR SOLE SHALL, AT PROJECT COMPLETION, DEMONSTRATE THE FOLLOWING:

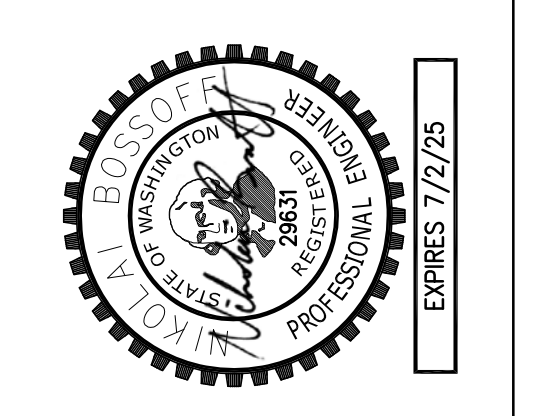
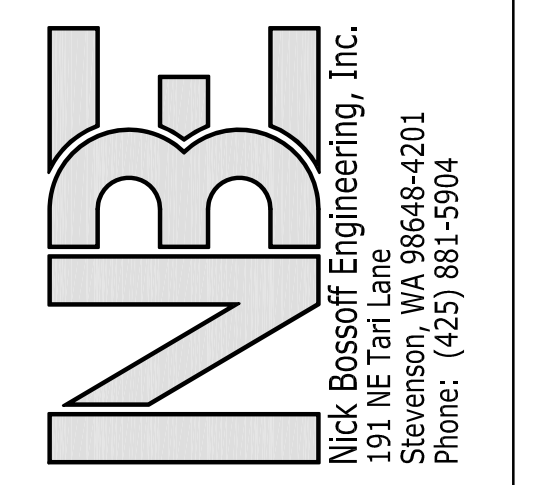
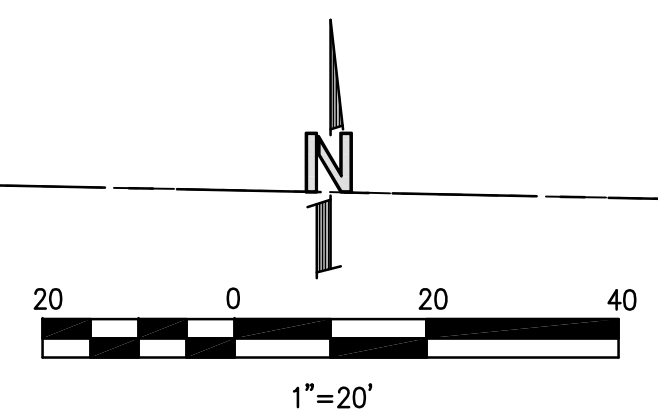
- A TOPSOIL LAYER WITH A MINIMUM ORGANIC MATTER CONTENT OF 10% DRY WEIGHT IN PLANTING BEDS, AND 5% ORGANIC MATTER CONTENT IN TURF AREAS, AND A PH FROM 6.0 TO 8.0 OR MATCHING THE PH OF THE UNDISTURBED SOIL. THE TOPSOIL LAYER SHALL HAVE A MINIMUM DEPTH OF EIGHT INCHES EXCEPT WHERE TREE ROOTS LIMIT THE DEPTH OF INCORPORATION OF AMENDMENTS NEEDED TO MEET THE CRITERIA. SUBSOILS BELOW THE TOPSOIL LAYER SHOULD BE SCARIFIED AT LEAST 4 INCHES WITH SOME INCORPORATION OF THE UPPER MATERIAL TO AVOID STRATIFIED LAYERS, WHERE FEASIBLE.
- MULCH PLANTING BEDS WITH 2 INCHES OF ORGANIC MATERIAL.
- USE COMPOST AND OTHER MATERIALS THAT MEET THESE ORGANIC CONTENT REQUIREMENTS:
 - THE ORGANIC CONTENT FOR "PRE-APPROVED" AMENDMENT RATES CAN BE MET ONLY USING COMPOST MEETING THE DEFINITION OF "COMPOSTED MATERIALS" IN WAC 173-350-220, WITH THE EXCEPTION THAT THE COMPOST MAY HAVE UP TO 35% BIOSOLIDS OR MANURE. THE COMPOST MUST ALSO HAVE AN ORGANIC MATTER CONTENT OF 40% TO 65%, AND A CARBON TO NITROGEN RATIO BELOW 25:1. THE CARBON TO NITROGEN RATIO MAY BE AS HIGH AS 35:1 FOR PLANTINGS COMPOSED ENTIRELY OF PLANTS NATIVE TO THE PUGET SOUND LOWLANDS REGION.
 - CALCULATED AMENDMENT RATES MAY BE MET THROUGH USE OF COMPOSTED MATERIAL MEETING (A.) ABOVE; OR OTHER ORGANIC MATERIALS AMENDED TO MEET THE CARBON TO NITROGEN RATIO REQUIREMENTS, AND NOT EXCEEDING THE CONTAMINANT LIMITS IDENTIFIED IN TABLE 220-B, TESTING PARAMETERS, IN WAC 173-350-220. THE RESULTING SOIL SHOULD BE CONDUCTIVE TO THE TYPE OF VEGETATION TO BE ESTABLISHED.

C. IMPLEMENTATION OPTIONS: THE SOIL QUALITY DESIGN GUIDELINES LISTED ABOVE CAN BE MET BY USING ONE OF THE METHODS LISTED BELOW:

- LEAVE UNDISTURBED NATIVE VEGETATION AND SOIL AND PROTECT FROM COMPACTION DURING CONSTRUCTION.
- AMEND EXISTING SITE TOPSOIL OR SUBSOIL EITHER AT DEFAULT "PREAPPROVED" RATES, OR AT CUSTOM CALCULATED RATES BASED ON TESTS OF THE SOIL AND AMENDMENT.
- STOCKPILE EXISTING TOPSOIL DURING GRADING AND REPLACE IT PRIOR TO PLANTING. STOCKPILED TOPSOIL MUST ALSO BE AMENDED IF NEEDED TO MEET THE ORGANIC MATTER OR DEPTH REQUIREMENTS, EITHER AT A DEFAULT "PRE-APPROVED" RATE OR AT A CUSTOM CALCULATED RATE.
- IMPORT TOPSOIL MIX OF SUFFICIENT ORGANIC CONTENT AND DEPTH TO MEET THE REQUIREMENTS. MORE THAN ONE METHOD MAY BE USED ON DIFFERENT PORTIONS OF THE SAME SITE. SOIL THAT ALREADY MEETS THE DEPTH AND ORGANIC MATTER QUALITY STANDARDS, AND IS NOT COMPACTED, DOES NOT NEED TO BE AMENDED.

ADDITIONAL NOTES:

- ALL CONSTRUCTION MATERIALS AND PRACTICE SHALL CONFORM TO THE CITY OF MERCER ISLAND STANDARDS AND THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION STANDARDS.
- EXISTING UTILITIES AS SHOWN ARE FROM CITY RECORDS AND ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY, LOCATE AND PROTECT ABOVE AND BELOW GRADE UTILITIES. CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION IF A CONFLICT EXISTS BETWEEN EXISTING UTILITIES AND THE PROPOSED IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR EROSION AND SEDIMENTATION CONTROL AND SHALL MAINTAIN THE NECESSARY SAFEGUARDS AND MANAGE THE CONSTRUCTION SO AS TO PREVENT WATERBORNE SEDIMENTS FROM LEAVING THE SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR.
- ON-SITE PRIVATE STORM AND SEWER PIPE SHALL BE SOLVENT WELDED SCHEDULE 40 PVC OR PVC ASTM D3034 SDR35 UNLESS SHOWN OTHERWISE. PVC PIPE LAID AT A SLOPE IN EXCESS OF 20% SHALL BE SOLVENT WELDED SCHEDULE 40 PVC. STORM PIPE IN THE RIGHT-OF-WAY SHALL BE HIGH-DENSITY POLYETHYLENE DOUBLE-WALLED SMOOTH INTERIOR PIPE SUCH AS ADS N-12 OR EQUIVALENT.
- FOOTING DRAINS SHALL BE INSTALLED AROUND THE BASE OF ALL FOUNDATION FOOTINGS THAT ENCLOSE A CRAWL SPACE, CELLAR, BASEMENT, GARAGE OR OTHER BUILDING SPACE. FOOTING DRAINS SHALL BE PERFORATED 4-INCH DIAMETER PVC CONFORMING TO D2729, PERFORATIONS DOWN. GRANULAR BACKFILL SHALL BE PLACED AROUND AND ABOVE THE DRAIN TO A DEPTH OF 2/3 OF THE WALL HEIGHT. FILTER FABRIC (MIRAFI 140N OR EQUIVALENT) SHALL BE PLACED BETWEEN THE GRANULAR BACKFILL AND NATIVE SOILS. TIE THE FOOTING DRAIN INTO THE STORM LINE AT A LOCATION WHERE THE FOOTING DRAIN ELEVATION IS AT LEAST 12-INCHES ABOVE THE STORM LINE.
- EXISTING SIDE SEWER AND STORM DRAIN DEPTH AND LOCATION SHALL BE DETERMINED PRIOR TO ANY CONSTRUCTION, INCLUDING BUILDING REQUIREMENTS. REPORT CONFLICTS WITH PROPOSED CONSTRUCTION TO ENGINEER. NEW SIDE SEWER CONNECTION TO MAIN OR SEWER EJECTOR PUMP MAY BE NECESSARY FOR BASEMENT.
- PROPOSED METER LOCATION, IF SHOWN, IS APPROXIMATE. CONTRACTOR TO COORDINATE EXACT LOCATION OF NEW SERVICE/METER/ SUPPLY LINE WITH CITY WATER DEPARTMENT DURING CONSTRUCTION. SERVICE SIZE IS PRELIMINARY, VERIFY WITH PLUMBING AND SPRINKLER DESIGNER.
- EACH DOWNSPOUT SHALL CONNECT TO A RIGID NON-PERFORATED PIPE AT THE BUILDING PERIMETER. UNDER NO CIRCUMSTANCES SHALL DOWNSPOUTS CONNECT DIRECTLY TO THE PERFORATED FOOTING DRAIN.
- USE SAND COLLARS FOR PVC PIPE CONNECTIONS TO MANHOLES.
- VERTICAL BENDS ON THE STORM DRAINS MAY BE NECESSARY TO MAINTAIN MIN. 1.5' SOIL COVER OVER PIPE. MAX. PIPE BENDS TO BE 45'.
- DOWNSPOUT LOCATIONS SHOWN ARE PRELIMINARY. REFER TO ARCHITECTURAL PLANS FOR FINAL DOWNSPOUT LOCATIONS. EXISTING DOWNSPOUTS AND COLLECTOR PIPES SHALL BE PRESERVED AND NOT DISCONNECTED FROM THE SYSTEM. CONNECT EXISTING DOWNSPOUTS TO NEW STORM SYSTEM AS NECESSARY.
- AN UNDERSLAB DRAINAGE SYSTEM MAY BE NECESSARY DEPENDENT ON GEOTECHNICAL EVALUATION BY OTHERS.
- WINDOW WELLS SHALL BE DESIGNED FOR PROPER DRAINAGE BY CONNECTING TO THE BUILDING'S FOUNDATION DRAINAGE SYSTEM REQUIRED PER SECTION R310.2.3.2 OF THE INTERNATIONAL RESIDENTIAL CODE. A DRAINAGE SYSTEM FOR WINDOW WELLS IS NOT REQUIRED WHERE THE FOUNDATION IS ON WELL-DRAINED SOIL OR SAND-GRAVEL MIXTURE SOILS IN ACCORDANCE WITH THE UNITED SOIL CLASSIFICATION SYSTEM, GROUP I SOILS, AS DETAILED IN TABLE R405.1 OF THE IRC.
- TV INSPECTION OF THE EXISTING SIDE SEWER TO THE CITY SEWER MAIN IS REQUIRED PRIOR TO ANY WORK RELATED TO THE SIDE SEWER. IF THE RESULT OF THE TV INSPECTION SHOWS THE SIDE SEWER TO NOT BE IN SATISFACTORY CONDITION, AS DETERMINED BY THE CITY OF MERCER ISLAND INSPECTOR, THE REPLACEMENT OF THE EXISTING SIDE SEWER IS REQUIRED.
- ALL EXISTING UNDERGROUND STORM PIPE SYSTEM MUST BE VIDEOED W/ INSPECTION REPORT PROVIDED TO CITY FOR APPROVAL PRIOR TO CONNECTING THE NEW/EXISTING DOWNSPOUTS.
- THE EXISTING HOUSE BACKFLOW PREVENTOR IS TO BE INSPECTED AND REPLACED AS NEEDED PER CITY INSPECTOR. IF REPLACEMENT IS NECESSARY ONE NEW BACKFLOW ASSEMBLY AND CLEANOUT PER CITY STANDARD DETAILS S-25 AND S-26 MAY BE INSTALLED ON THE HOUSE SIDE SEWER DOWNSTREAM OF THE ADU CONNECTION POINT AND THE INDIVIDUAL BACKFLOW PREVENTOR FOR THE ADU, AS SHOWN ON THIS PLAN, MAY BE DELETED. IF THE EXISTING HOUSE BACKFLOW PREVENTOR IS APPROVED AND RETAINED, THE ADU SEWER MAY, AS AN OPTION AND IF PRACTICAL, CONNECT TO THE HOUSE SEWER UPSTREAM OF THE PREVENTOR AND THE INDIVIDUAL BACKFLOW PREVENTOR FOR THE ADU MAY BE DELETED.



NO.	DATE	REVISION
1	06/07/23	PERMIT SUBMITTAL
2	10/05/23	CITY COMMENTS

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 PROJECT MANAGER: NB
 DESIGNER: TKB
 DRAWN: CBAP-2301
 JOB NUMBER: CBAP-2301.pln.dwg
 FILE NAME:

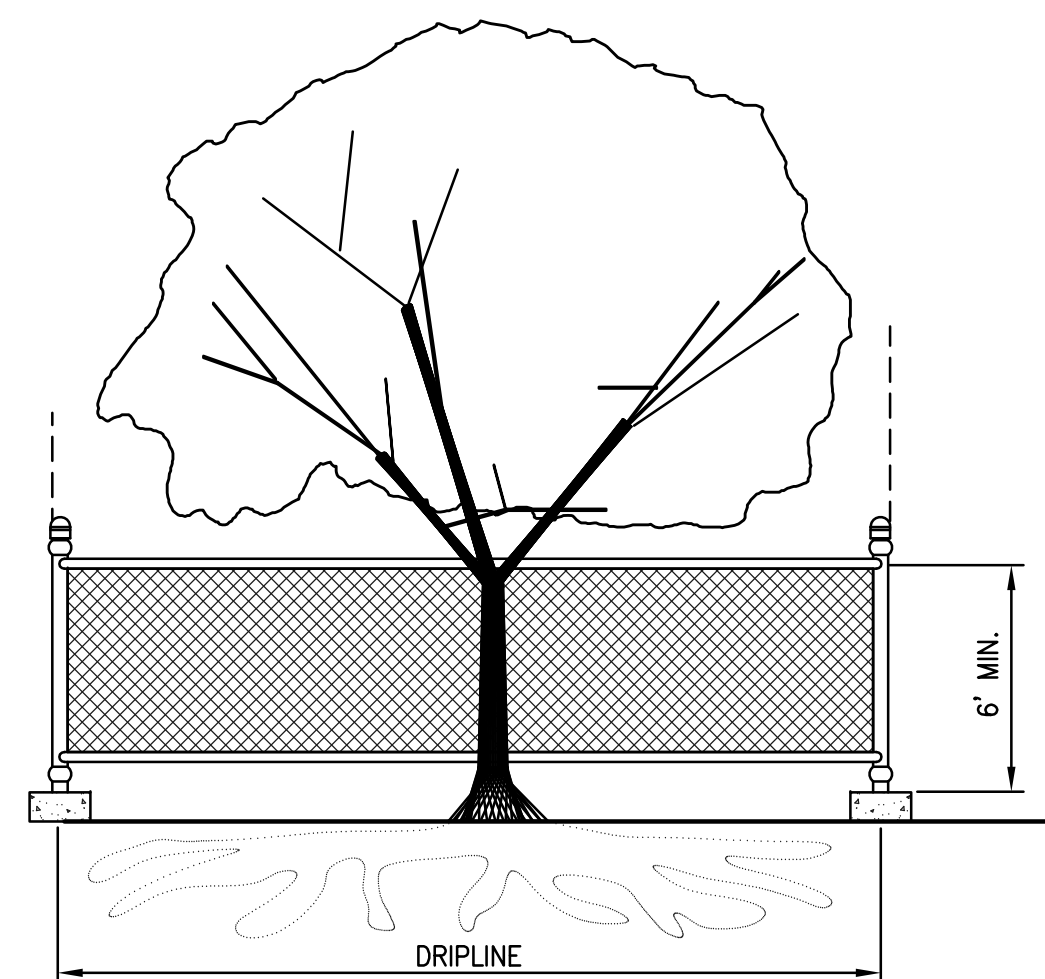
HONG AND KAO RESIDENCE
5425 W MERCER WAY

WASHINGTON
MERCER ISLAND

TITLE: DRAINAGE PLAN

SHEET: C-2

A PORTION OF THE SE 1/4 OF THE NE 1/4 OF SEC. 24, TWP 24 N., RGE 4 E., W.M



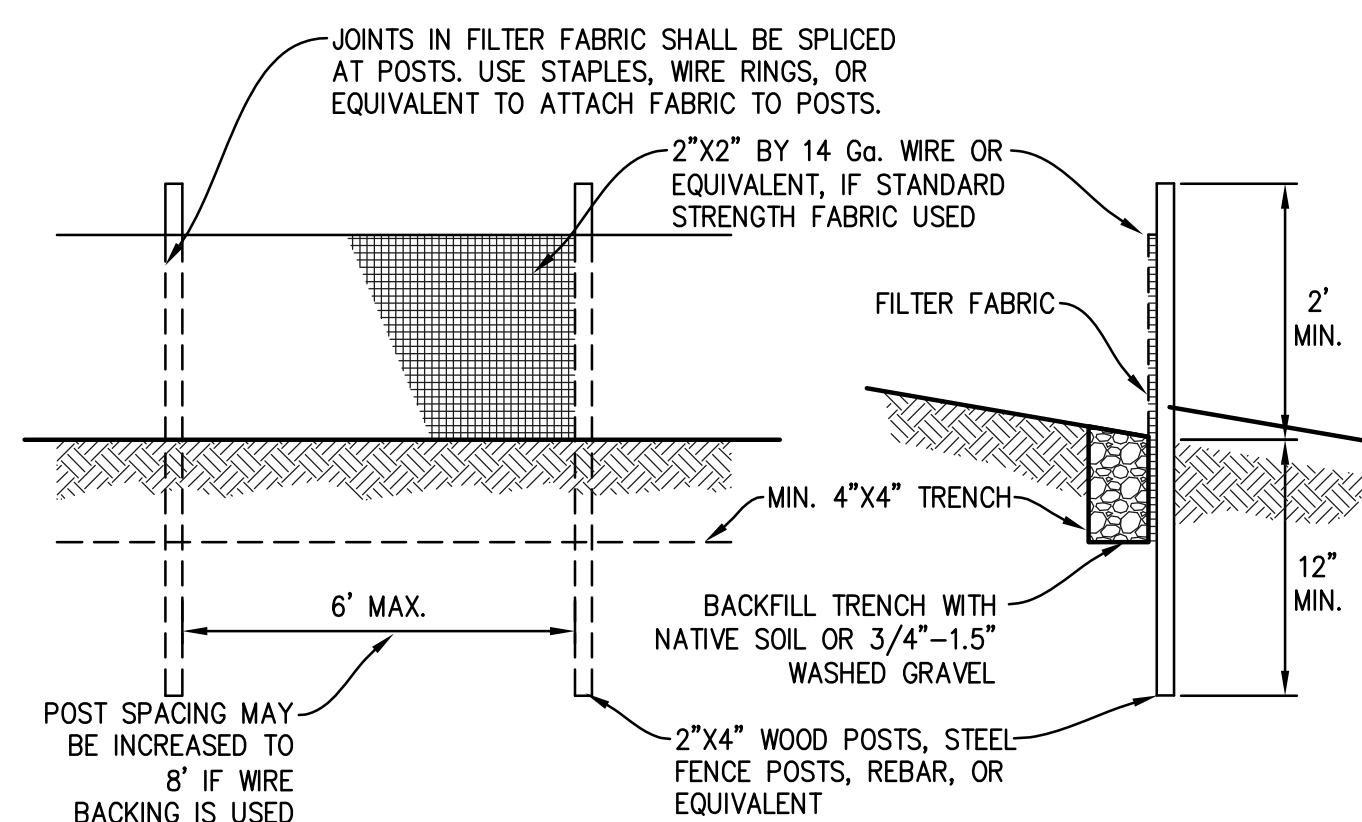
TREE PROTECTION DURING CONSTRUCTION

- 6-FT. HIGH TEMPORARY CHAIN LINK FENCE SHALL BE PLACED AT THE DRIPLINE OF THE TREE TO BE SAVED. FENCE SHALL COMPLETELY ENCIRCLE THE TREE(S). INSTALL FENCE POSTS USING PIER BLOCKS ONLY. AVOID DRIVING POSTS OR STAKES INTO MAJOR ROOTS.
- FOR ROOTS OVER 1-IN DIA. THAT ARE DAMAGED DURING CONSTRUCTION, MAKE A CLEAN, STRAIGHT CUT TO REMOVE THE DAMAGED PORTION. ALL EXPOSED ROOTS SHALL BE TEMPORARILY COVERED WITH DAMP BURLAP TO PREVENT DRYING, AND SHALL BE COVERED WITH SOIL AS SOON AS POSSIBLE.
- WORK WITHIN PROTECTION FENCE SHALL BE DONE MANUALLY. NO STOCKPILING OF MATERIALS, VEHICULAR TRAFFIC, OR STORAGE OF EQUIPMENT OR MACHINERY SHALL BE ALLOWED WITHIN THE LIMIT OF THE FENCING.

TREE PROTECTION

SCALE: NTS

1



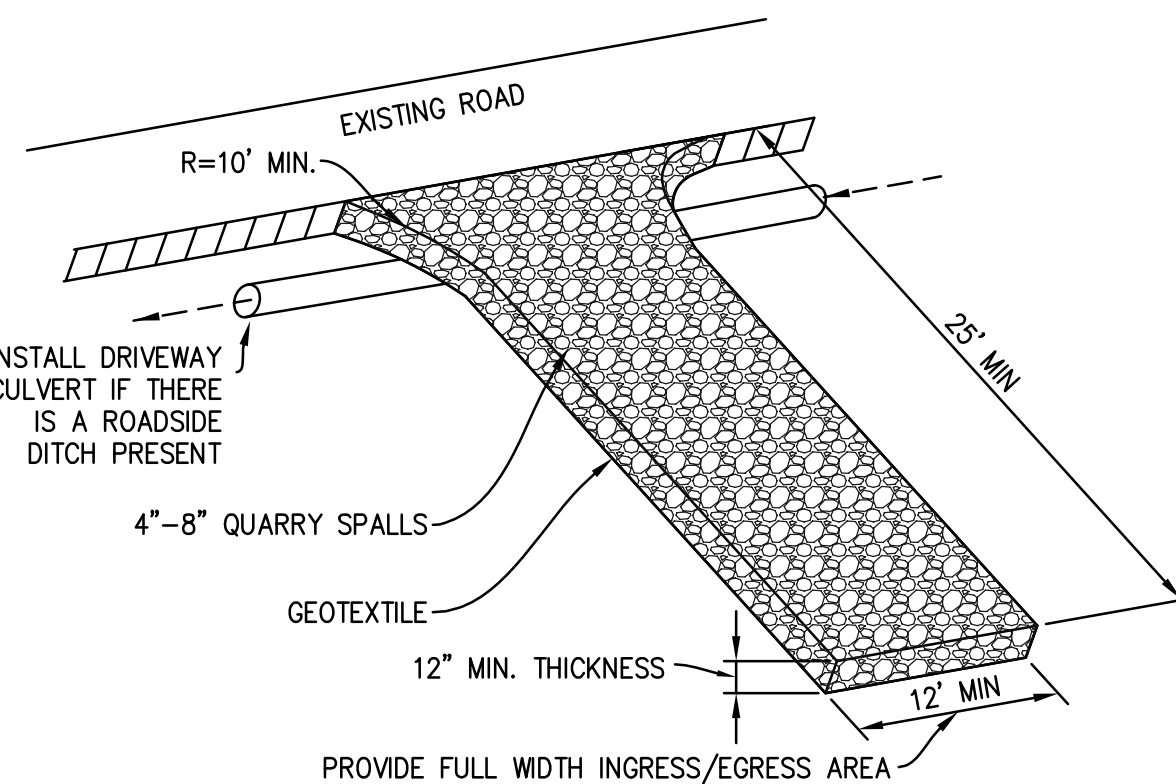
MAINTENANCE STANDARDS

- ANY DAMAGE SHALL BE REPAIRED IMMEDIATELY.
- IF CONCENTRATED FLOWS ARE EVIDENT UPHILL OF THE FENCE, THEY MUST BE INTERCEPTED AND CONVEYED TO A SEDIMENT TRAP OR POND.
- IT IS IMPORTANT TO CHECK THE UPHILL SIDE OF THE FENCE FOR SIGN OF THE FENCE CLOGGING AND ACTING AS A BARRIER TO FLOW AND THEN CAUSING CHANNELIZATION OF FLOWS PARALLEL TO THE FENCE. IF THIS OCCUR, REPLACE THE FENCE AND/OR REMOVE THE TRAPPED SEDIMENT.
- SEDIMENT MUST BE REMOVED WHEN THE SEDIMENT IS 6" HIGH.
- IF THE FILTER FABRIC HAS DETERIORATED DUE TO ULTRAVIOLET BREAKDOWN, IT SHALL BE REPLACED.

SILT FENCE

SCALE: NTS

2



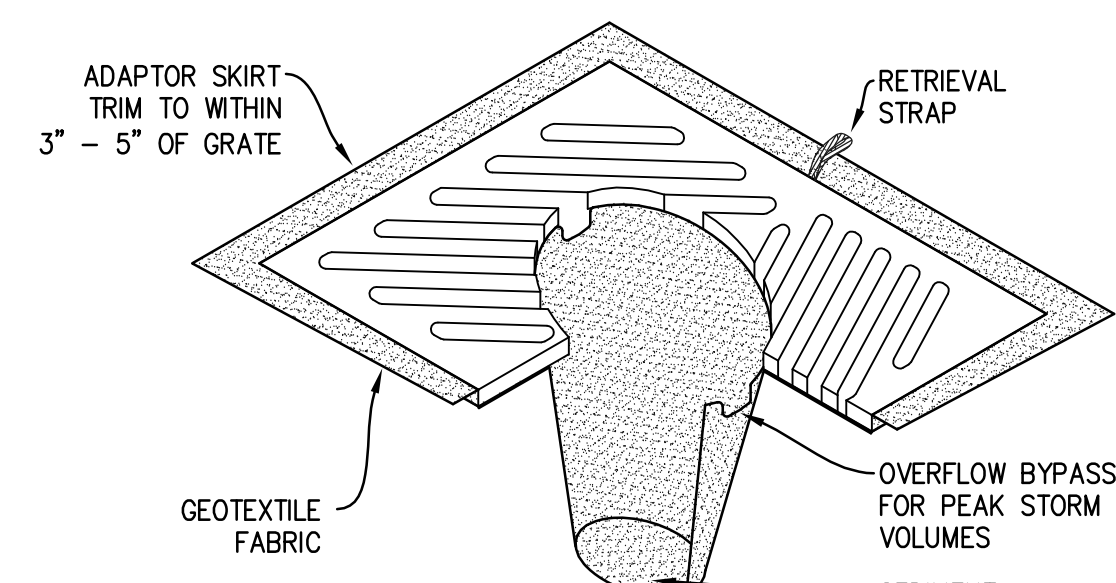
MAINTENANCE STANDARDS

- QUARRY SPALLS (OR HOG FUEL) SHALL BE ADDED IF THE PAD IS NO LONGER IN ACCORDANCE WITH THE SPECIFICATIONS.
- IF THE ENTRANCE IS NOT PREVENTING SEDIMENT FROM BEING TRACKED ONTO PAVEMENT, THEN ALTERNATIVE MEASURES TO KEEP THE STREETS FREE OF SEDIMENT SHALL BE USED. THIS MAY INCLUDE STREET SWEEPING, AN INCREASE IN THE DIMENSIONS OF THE ENTRANCE, OR THE INSTALLATION OF A WHEEL WASH. IF WASHING IS USED, IT SHALL BE DONE ON AN AREA COVERED WITH CRUSHED ROCK, AND WASH WATER SHALL DRAIN TO A SEDIMENT TRAP OR POND.
- ANY SEDIMENT THAT IS TRACKED ONTO PAVEMENT SHALL BE REMOVED IMMEDIATELY BY SWEEPING. THE SEDIMENT COLLECTED BY SWEEPING SHALL BE REMOVED OR STABILIZED ON-SITE. THE PAVEMENT SHALL NOT BE CLEANED BY WASHING DOWN THE STREET, EXCEPT WHEN SWEEPING IS INEFFECTIVE AND THERE IS A THREAT TO PUBLIC SAFETY. IF IT IS NECESSARY TO WASH THE STREET, THE CONSTRUCTION OF A SMALL SUMP SHALL BE CONSIDERED. THE SEDIMENT WOULD THEN BE WASHED INTO THE SUMP.
- ANY ROCK SPALLS THAT ARE LOOSEENED FROM THE PAD AND END UP ON THE ROADWAY SHALL BE REMOVED IMMEDIATELY.
- IF VEHICLES ARE ENTERING OR EXITING THE SITE AT POINTS OTHER THAN THE CONSTRUCTION ENTRANCE(S), FENCING (SECTION 5.4.1) SHALL BE INSTALLED TO CONTROL TRAFFIC.

ROCK CONSTRUCTION ENTRANCE

SCALE: NTS

3



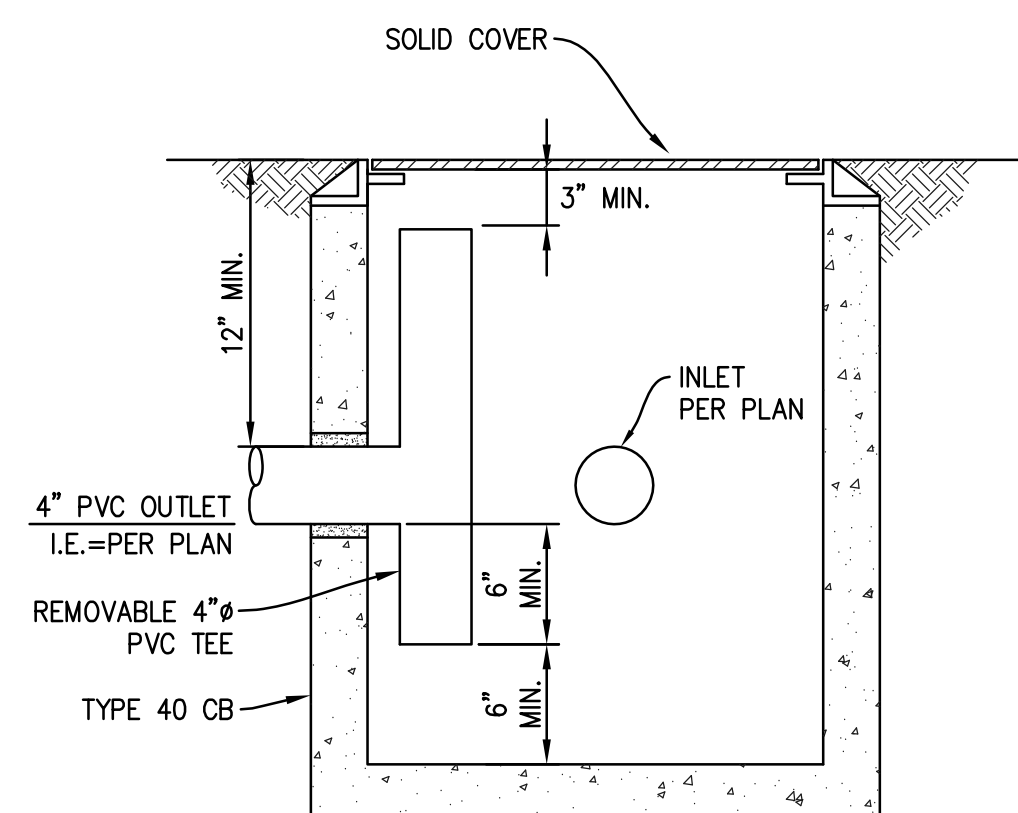
NOTES

- INSERT SHALL BE INSTALLED PRIOR TO CLEARING AND GRADING ACTIVITY, OR UPON PLACEMENT OF A NEW CATCH BASIN.
- SEDIMENT SHALL BE REMOVED FROM THE UNIT WHEN IT BECOMES HALF FULL.
- SEDIMENT REMOVAL SHALL BE ACCOMPLISHED BY REMOVING THE INSERT, EMPTYING, AND RE-INSERTING IT INTO THE CATCH BASIN.

CB INSERT

SCALE: NTS

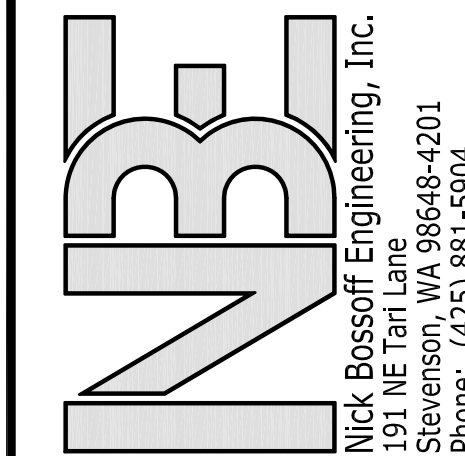
4



OIL SEPARATOR CB

SCALE: NTS

5



NO.	DATE	REVISION
1	06/07/23	PERMIT SUBMITTAL
2	10/05/23	CITY COMMENTS

N. BOSSOFF, P.E.
PROJECT MANAGER:
DESIGNED: TKB
DRAWN: CBAP-2301
JOB NUMBER: CBAP-2301
FILE NAME: p1n.dwg

HONG AND KAO RESIDENCE
5425 W MERCER WAY
MERCER ISLAND
WASHINGTON

TITLE: DETAILS
SHEET: C-3

HONG & KAO RESIDENCE

G-001	COVER SHEET
L001	EXISTING VEGETATION & CRITICAL AREA CONDITIONS - WEST
L002	EXISTING VEGETATION & CRITICAL AREA CONDITIONS - EAST
L003	SITE IMPACTS & MITIGATION PLAN - WEST
L004	SITE IMPACTS & MITIGATION PLAN - EAST
L005	SITE PREPARATION PLAN - WEST
L006	SITE PREPARATION PLAN - EAST
L007	PLANTING PLAN & SCHEDULE - WEST
L008	PLANTING PLAN & SCHEDULE - EAST
L009	PLANT INSTALLATION DETAILS & NOTES

PROJECT DIRECTORY

CLIENT: HUI HONG & STEVE KAO
 5425 W. MERCER WAY
 MERCER ISLAND, WA 98040
 T: 425.545.88610
 HUIHONG9823@GMAIL.COM

LANDSCAPE ARCHITECT: DCGWATERSHED
 CONTACT: KENNY BOOTH
 750 SIXTH ST SOUTH
 KIRKLAND, WA 98033
 T: 425.822.5242
 KENNY.BOOTH@DCGWATERSHED.COM
 WWW.DCGWATERSHED.COM

ARCHITECT: CHESMORE/BUCK ARCHITECTURE
 CONTACT: DAVE BUCK
 27 100TH AVE NE
 BELLEVUE WA, 98004
 T: 425.679.0907
 DAVE@CHESMOREBUCK.COM

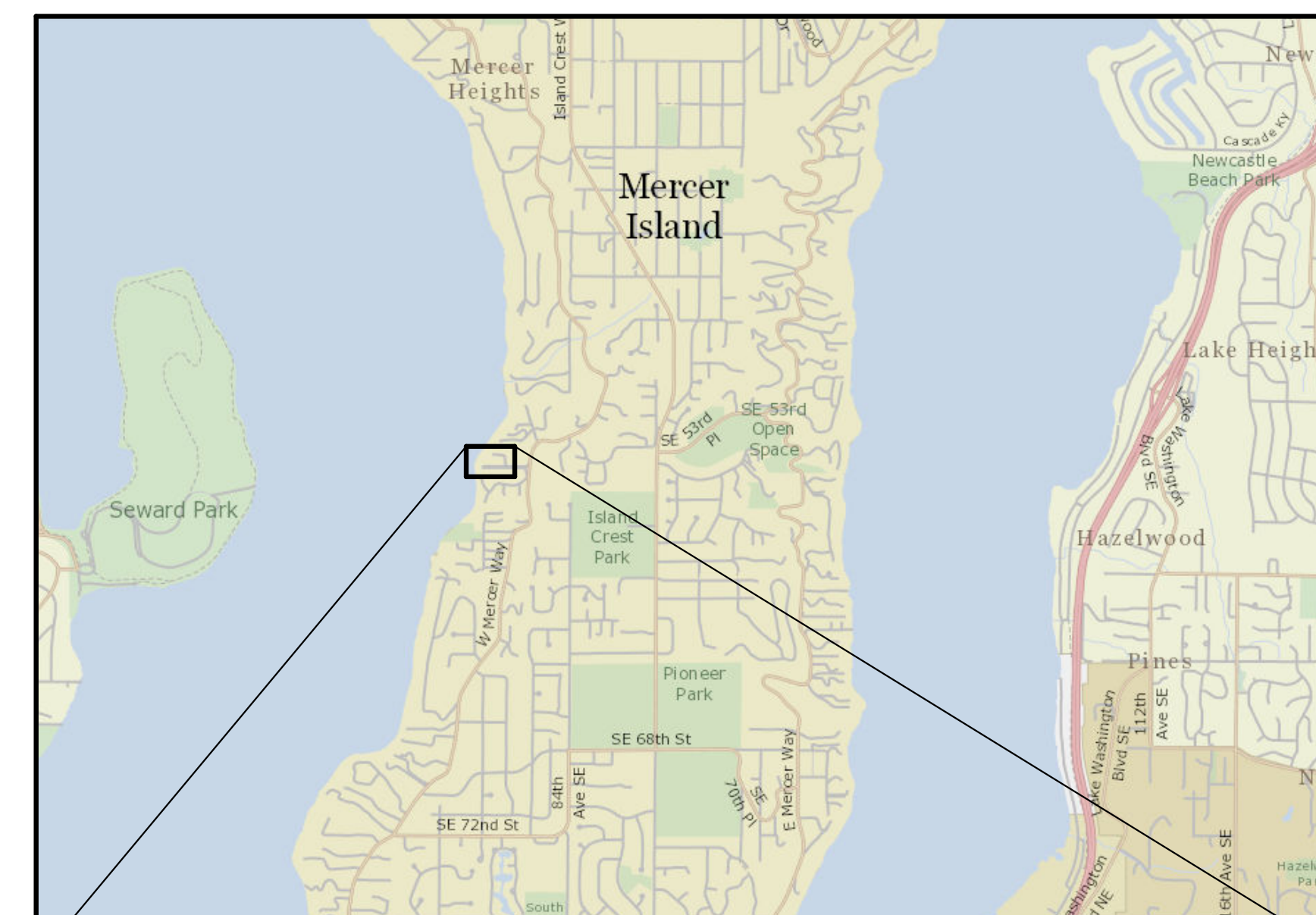
PROJECT INFORMATION

PROJECT ADDRESS: 5425 W MERCER WAY, MERCER ISLAND, WA 98040

ASSESSOR PARCEL NO: 2948900015

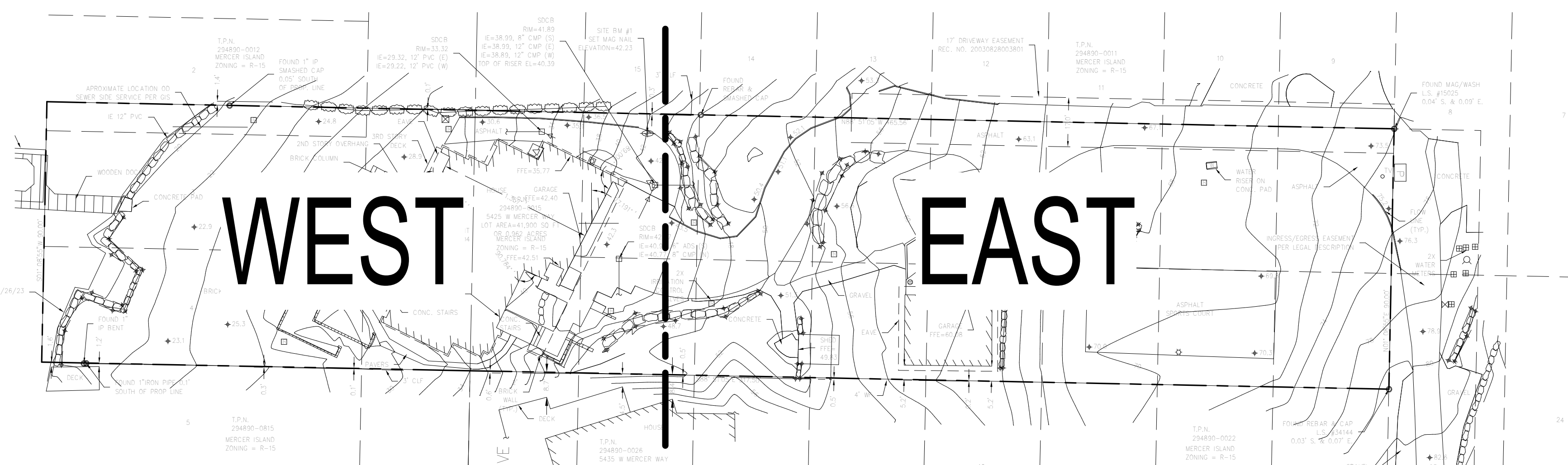
LEGAL DESCRIPTION: GROVELAND PARK ADD VAC 3-4 & S 10 FT OF 2 & SH LDS ADJ & VAC ST ADJ IN BLK 22 & VAC N 40 FT OF 16 THRU 22 & VAC S 50 FT OF 9 THRU 15 & VAC ST ADJ IN BLK 2

PROJECT DESCRIPTION: MITIGATION PLANTING REQUIREMENT AS PART OF AN INTERIOR RENOVATION & DETACHED GARAGE REPLACEMENT WITH ADU ADDITION



VICINITY MAPS

NTS



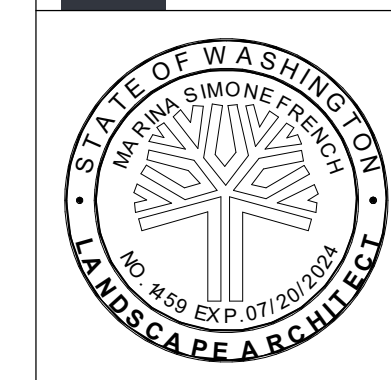
KEY PLAN

NTS

NO.	DATE	BY	DESCRIPTION

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 P: 425.822.5242
 F: 425.822.5436
 www.dcgwatershed.com

750 Sixth Street South
 Kirkland, WA 98033



CALL 811
 2 BUSINESS DAYS
 BEFORE YOU DIG

(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

HONG & KAO RESIDENCE
 5425 W. MERCER WAY
 MERCER ISLAND, WA 98040
 230306

SCHEMATIC DESIGN

COVER SHEET

DATE:

PLAN NUMBER:

G-001

SHEET 1 OF 10

BASE MAP TOPOGRAPHY PROVIDED BY OTHERS. DCG WATERSHED CANNOT BE HELD
 LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, AND ALL
 OTHER EXISTING FEATURES AND CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN
 AND/OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTACT DCG WATERSHED
 PRIOR TO CONSTRUCTION.

FEDERAL WAY | KIRKLAND | MOUNT VERNON | SEATTLE | SPOKANE | WHIDBEY ISLAND

PRINCIPAL XXX PROJECT MANAGER XXX

EXISTING CONDITIONS LEGEND

EXISTING	DESCRIPTION
---	PROPERTY LINE
---	ORDINARY HIGH WATER MARK (APPROXIMATE)

SHEET NOTES

1. SURVEY DATED 02/07/2023 RECEIVED FROM ENCOMPASS ENGINEERING & SURVEYING.
2. ORDINARY HIGH WATER MARK ESTIMATED AT +18.6' ALONG FACE OF BULKHEAD FROM SURVEY AND AVAILABLE DATA BY DCG|WATERSHED CO. ON 8/14/2023

NO.	DATE	BY	DESCRIPTION

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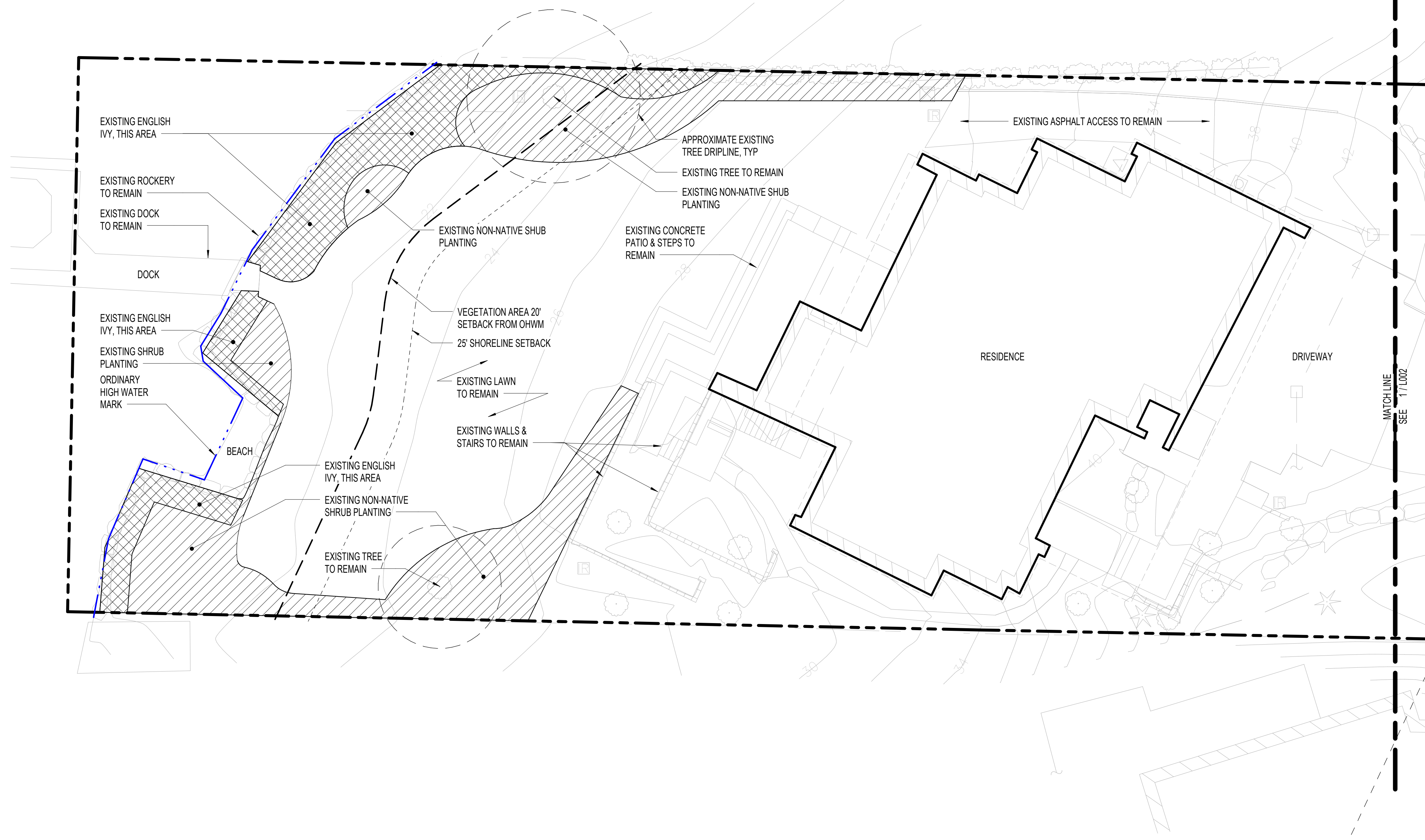
SCHEMATIC DESIGN

EXISTING VEGETATION & CRITICAL AREA CONDITIONS - WEST

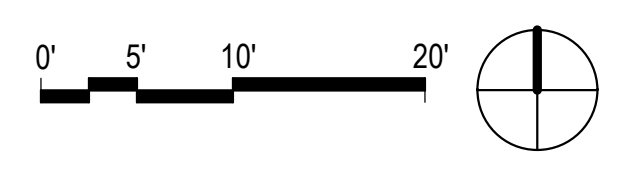
DATE: 01/01/23
 PLAN NUMBER:

L001

SHEET 2 OF 10



1 EXISTING VEGETATION & CRITICAL AREA CONDITIONS - WEST
 1" = 10'-0"



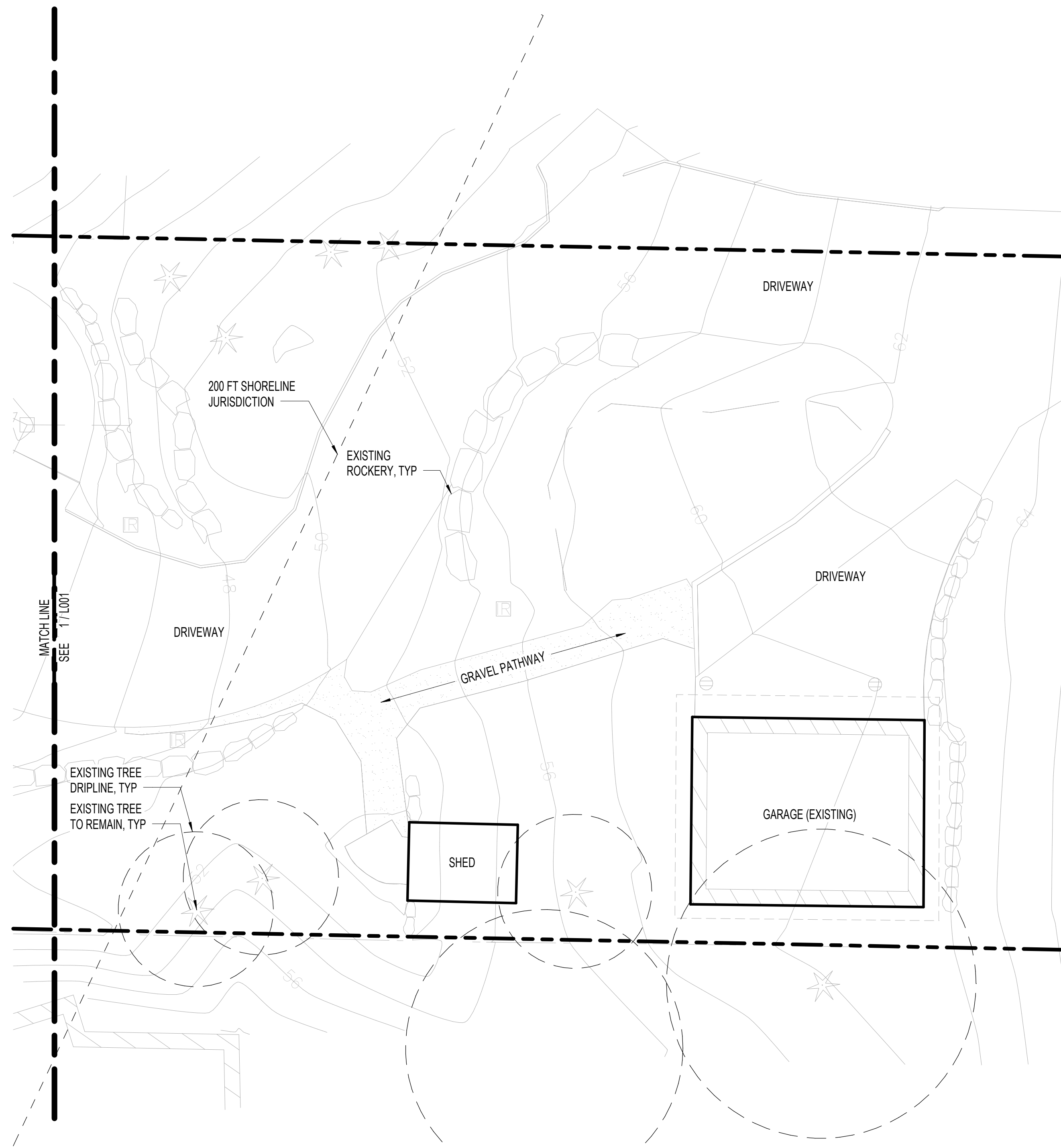
CHECK BY: Chester
 DRAWN BY: Autor
 DESIGNED BY: Dwayne
 PROJECT MANAGER: XXX
 PRINCIPAL: XXX

BASE MAP TOPOGRAPHY PROVIDED BY OTHERS. DCG|WATERSHED CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, AND ALL OTHER EXISTING FEATURES AND CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN AND/OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTACT DCG|WATERSHED PRIOR TO CONSTRUCTION.

FEDERAL WAY | KIRKLAND | MOUNT VERNON | SEATTLE | SPOKANE | WHIDDEY ISLAND

EXISTING CONDITIONS LEGEND

EXISTING	DESCRIPTION
---	PROPERTY LINE
---	ORDINARY HIGH WATER MARK (APPROXIMATE)



1 EXISTING VEGETATION & CRITICAL AREA CONDITIONS - EAST
 1" = 10'-0"
 0' 5' 10' 20'

PRINCIPAL: XXX
 PROJECT MANAGER: XXX
 DESIGNED BY: Designer
 DRAWN BY: Author
 CHECK BY: Checker

NO.	DATE	BY	DESCRIPTION

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 230306

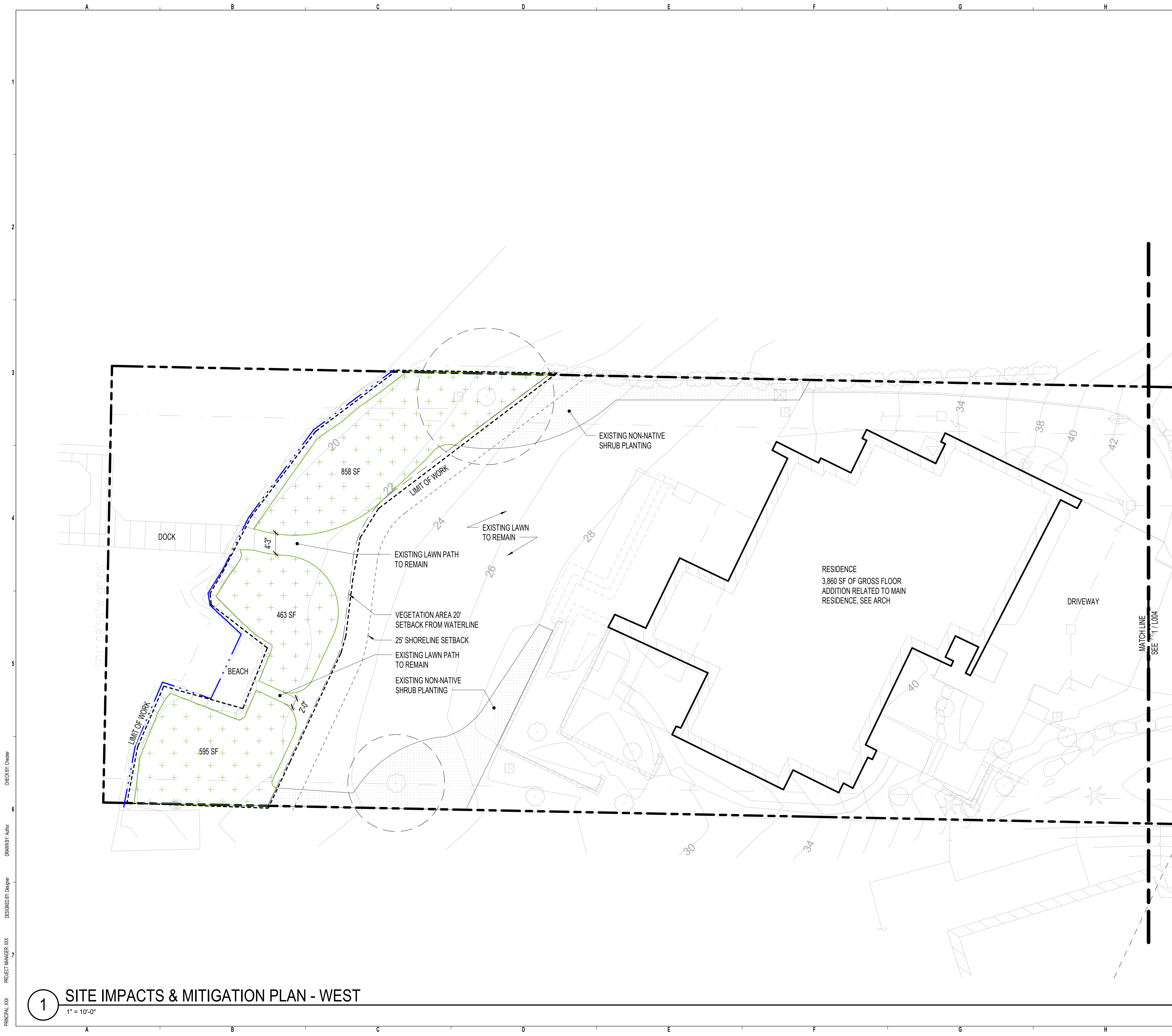
SCHEMATIC DESIGN

EXISTING VEGETATION & CRITICAL AREA CONDITIONS - EAST

DATE: 01/01/23
 PLAN NUMBER:
L002
 SHEET 3 OF 10

BASE MAP TOPOGRAPHY PROVIDED BY OTHERS. DCG WATERSHED CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, AND ALL OTHER EXISTING FEATURES AND CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN AND/OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTACT DCG WATERSHED PRIOR TO CONSTRUCTION.

FEDERAL WAY | KIRKLAND | MOUNT VERNON | SEATTLE | SPOKANE | WHIDBEY ISLAND



SITE IMPACTS & MITIGATION LEGEND

EXISTING	
	DESCRIPTION
---	PROPERTY LINE
---	ORDINARY HIGH WATER MARK (APPROXIMATE)
PROPOSED	
	DESCRIPTION
---	LIMIT OF MITIGATION PLANTING WORK
---	20' SHORELINE BUFFER (2351.8 SF)
+	PROPOSED MITIGATION AREA 2337.9 X 75% = 1903.4 SF MITIGATION REQUIRED PER MICC 19.13.050.K.4 1916 SF MITIGATION PROPOSED

SHEET NOTES

1. SEE PLANTING PLAN FOR RESTORATION OF MITIGATION AREA
2. MITIGATION AREA SHALL RECEIVE IRRIGATION PER MITIGATION NOTES
3. ALL PLANT INSTALLATION IS TO TAKE PLACE DURING A FROST-FREE PERIOD IN THE DORMANT SEASON (OCTOBER 15TH - MARCH 30TH), FOR BEST SURVIVAL
4. PREPARE THE PLANTING AREA AND PLANTING PITS PER L009
5. PLACE ARBORIST WOOD CHIP MULCH LAYER AND INSTALL PLANTS PER SITE PREPARATION DETAILS

NO.	DATE	BY	DESCRIPTION

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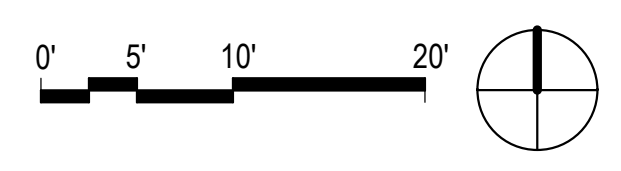
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 200306

SCHEMATIC DESIGN
 SITE IMPACTS & MITIGATION PLAN - WEST

DATE: 01/01/23
 PLAN NUMBER:
L003
 SHEET 4 OF 10

1 SITE IMPACTS & MITIGATION PLAN - WEST
 1" = 10'-0"



PROJECT MANAGER: XXX
 DESIGNED BY: Designer
 DRAWN BY: Author
 CHECK BY: Checker
 PRINCIPAL: XXX

BASE MAP TOPOGRAPHY PROVIDED BY OTHERS. DCG WATERSHED CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, AND ALL OTHER EXISTING FEATURES AND CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN AND/OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTACT DCG WATERSHED PRIOR TO CONSTRUCTION.

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SHEET NOTES

1. SEE PLANTING PLANS FOR ADDITIONAL INFORMATION ON REQUIRED MITIGATION PLANTING FOR REMOVED TREES
2. SEE TREE RETENTION PLANS SUBMITTED AS PART OF THIS PROJECT FOR ADDITIONAL TREE INFORMATION

NO.	DATE	BY	DESCRIPTION

BASE MAP TOPOGRAPHY PROVIDED BY OTHERS. DCG WATERSHED CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, AND ALL OTHER EXISTING FEATURES AND CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN AND/OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTACT DCG WATERSHED PRIOR TO CONSTRUCTION.

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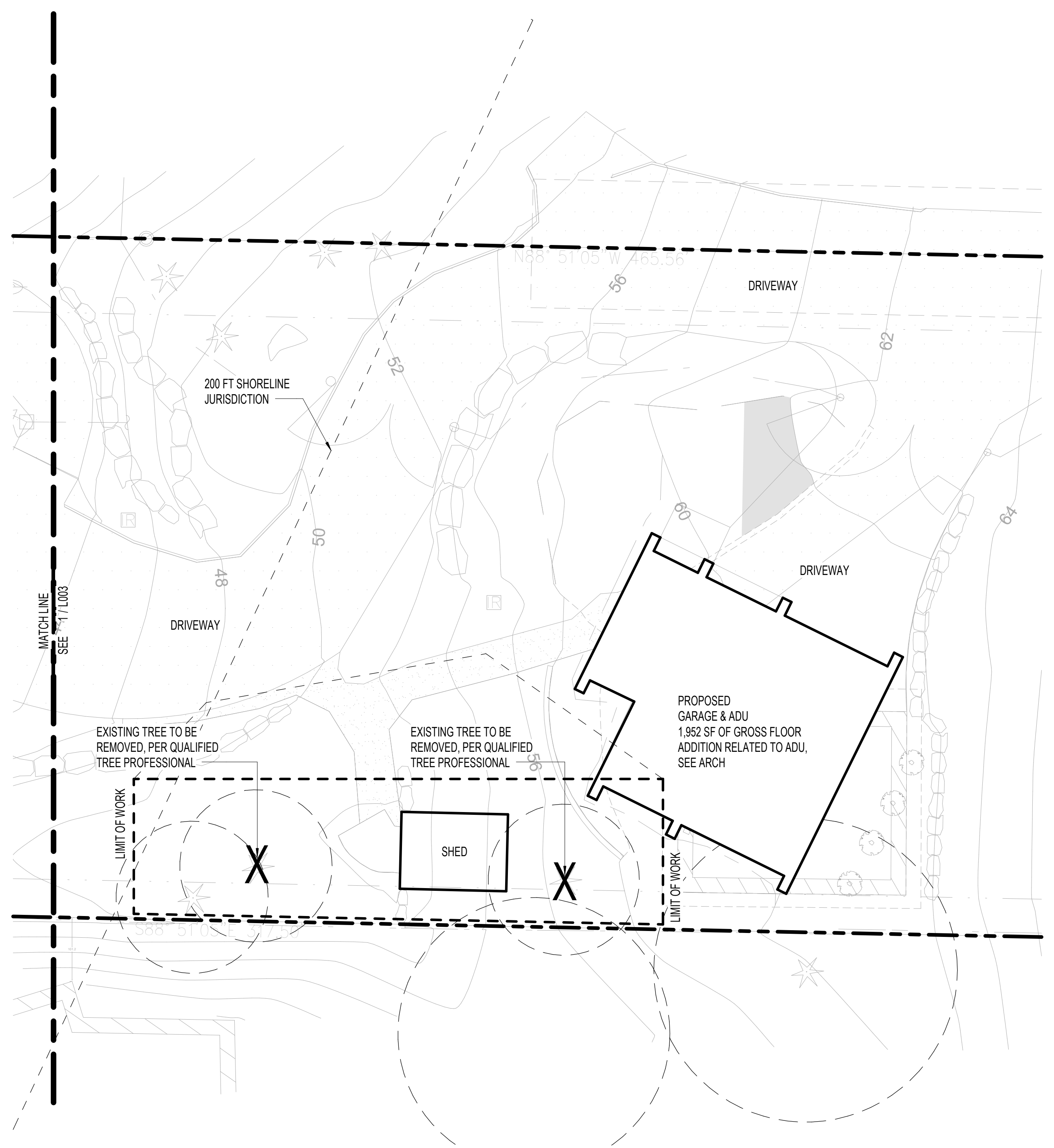
SCHEMATIC DESIGN

SITE IMPACTS & MITIGATION PLAN - EAST

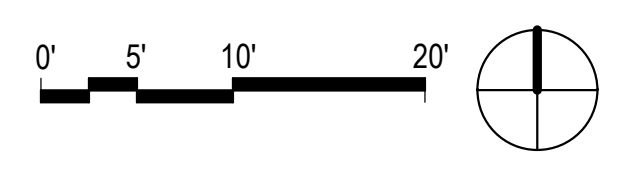
DATE: 01/01/23
 PLAN NUMBER:

L004

SHEET 5 OF 10



1 SITE IMPACTS & MITIGATION PLAN - EAST
 1" = 10'-0"



PRINCIPAL: XXX
 PROJECT MANAGER: XXX
 DESIGNED BY: Designer
 DRAWN BY: Author
 CHECK BY: Checker

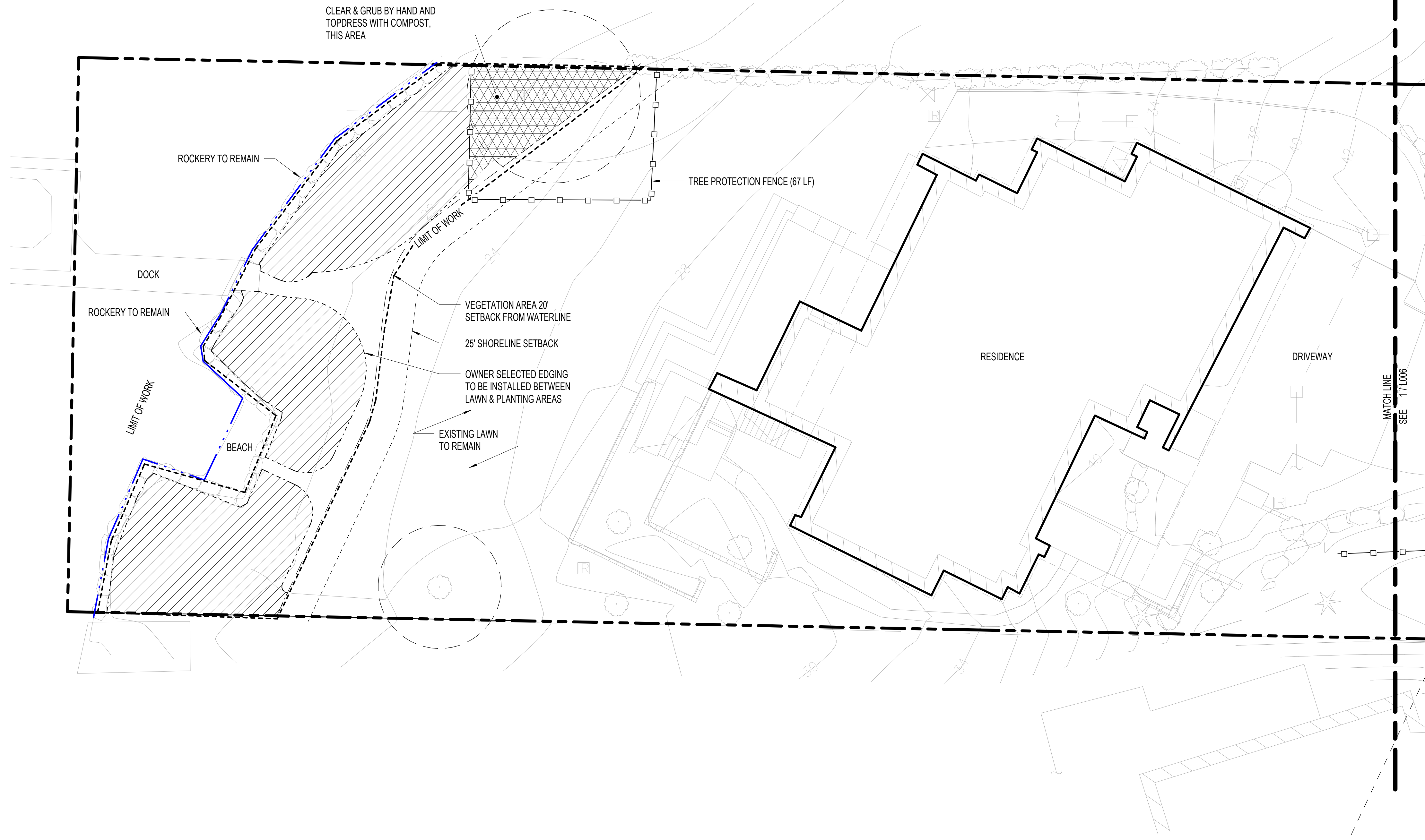
SITE IMPACTS & MITIGATION LEGEND

EXISTING	
SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	ORDINARY HIGH WATER MARK (APPROXIMATE)

PROPOSED	
SYMBOL	DESCRIPTION
[Hatched Area]	CLEAR & GRUBBING AREA
---	LIMIT OF MITIGATION PLANTING WORK
[Square with Line]	TREE PROTECTION FENCE (197 LF)

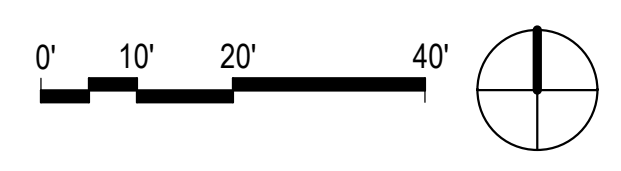
SHEET NOTES

- SEE TREE RETENTION PLANS SUBMITTED AS PART OF THIS PROJECT FOR TREE PROTECTION FENCING LOCATIONS AND ADDITIONAL TREE INFORMATION
- STAKE BUFFER BOUNDARY IN FIELD FOR APPROVAL BEFORE BEGINNING RESTORATION WORK
- ALL NON-NATIVE PLANT SPECIES SHALL BE REMOVED FROM THE ENTIRETY OF THE RESTORATION AREA PRIOR TO SOIL PREPARATION
- ALL INVASIVE SPECIES SHALL BE REMOVED FROM THE ENTIRETY OF THE RESTORATION AREA PRIOR TO SOIL PREPARATION
- ALL INVASIVE SPECIES SHALL BE DEFINED AS ALL SPECIES LISTED AS CLASS A, B, OR C OR AS A SPECIES OF CONCERN BY THE KING COUNTY NOXIOUS WEED CONTROL BOARD (KCNWCB) OR ON THE WASHINGTON STATE NOXIOUS WEEDS LIST
- INVASIVE SPECIES SHALL BE REMOVED AND DISPOSED OF ACCORDING TO KCNWCB RECOMMENDATIONS
- COMPLETE SITE PREPARATION WORK PER DETAIL SHEET
- SEE PLANTING SHEETS FOR ADDITIONAL PLANTING INFORMATION
- ALL WORK WITHIN EXISTING TREE DRILINES SHALL BE DONE BY HAND



1 SITE PREPARATION PLAN - WEST

1" = 10'-0"



NO.	DATE	BY	DESCRIPTION

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 230306

SCHEMATIC DESIGN

SITE PREPARATION PLAN - WEST

DATE: 07/12/23
 PLAN NUMBER:

L005

SHEET 6 OF 10

BASE MAP TOPOGRAPHY PROVIDED BY OTHERS. DCG WATERSHED CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, AND ALL OTHER EXISTING FEATURES AND CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN AND/OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTACT DCG WATERSHED PRIOR TO CONSTRUCTION.

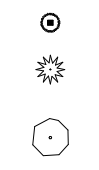
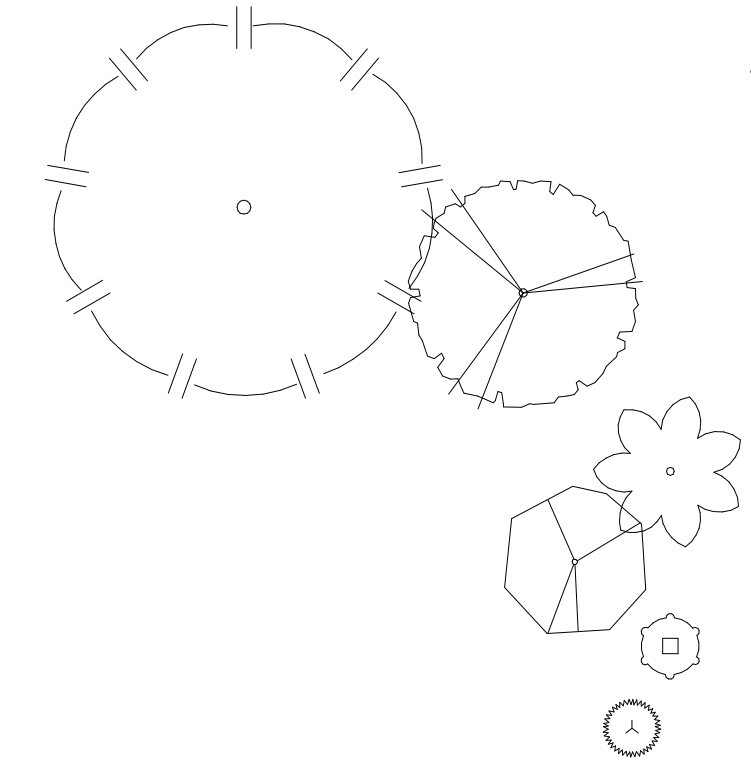
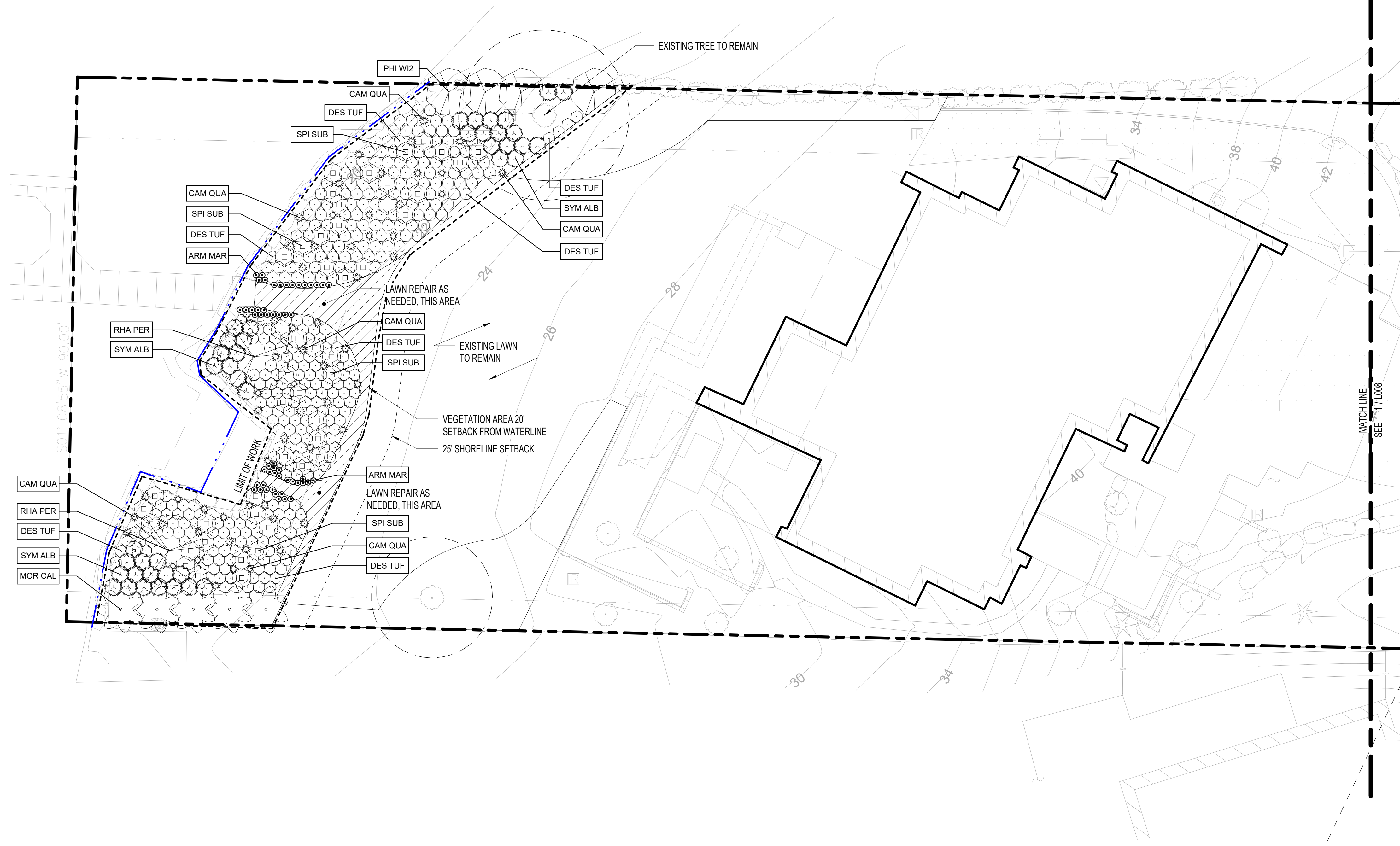
PRINCIPAL: XXX PROJECT MANAGER: XXX DESIGNED BY: Designer DRAWN BY: Author CHECK BY: Checker

PLANT SCHEDULE

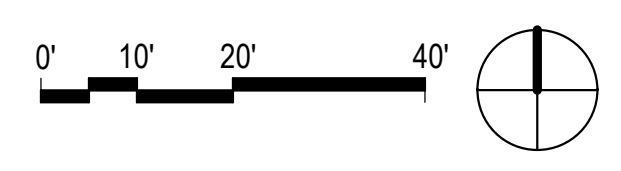
Count	Plant Code	Botanical Name	Common Name	Size	Cont.	Remarks
Trees						
4	PIN SHO	Pinus contorta	Shore Pine	Min. 2" cal.	B & B	
2	RHA PER	Rhamnus purshiana	Cascara	Min. 2" cal.	B & B	
Native Shrubs						
5	MOR CAL	Morella californica	California Wax Myrtle	2 Gallon		
4	PHI WI2	Philadelphus lewisii	Wild Mockorange	2 Gallon		
47	SPI SUB	Spiraea densiflora	Sub-alpine Spirea	2 Gallon		
42	SYM ALB	Symphoricarpos albus	Common White Snowberry	2 Gallon		
Native Groundcovers						
52	ARM MAR	Armeria maritima	Sea Thrift	1 Gallon		
62	CAM QUA	Camassia quamash	Small Camas	1 Gallon		
331	DES TUF	Deschampsia cespitosa	Tufted Hair Grass	1 Gallon		
445						

SHEET NOTES

- VARY PLANTING TYPICALS IN FIELD TO ACCOMMODATE EXISTING NATIVE VEGETATION AND TREE ROOTS TO REMAIN, IF NECESSARY
- DURING PLANT INSTALLATION, USE CAUTION NOT TO DISTURB EXISTING PLANT ROOTS
- SEE ARCHITECTURE SHEETS FOR ADDITIONAL SITE INFORMATION



1 PLANTING PLAN - WEST
1" = 10'-0"



NO. DATE: BY DESCRIPTION

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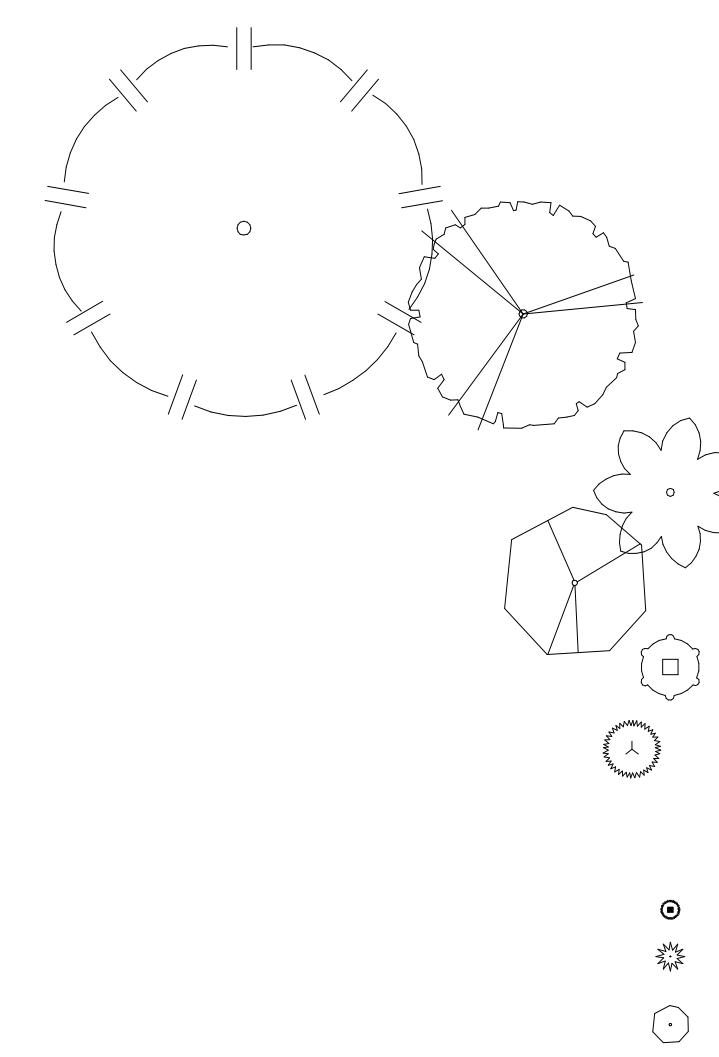
SCHEMATIC DESIGN
 PLANTING PLAN & SCHEDULE - WEST

DATE: 07/12/23
 PLAN NUMBER:
L007
 SHEET 8 OF 10

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FEDERAL WAY, KIRKLAND, MOUNT VERNON, SEATTLE, SPOKANE, WHIDDEY ISLAND

PRINCIPAL: XXX PROJECT MANAGER: XXX DESIGNED BY: Designer DRAWN BY: Author CHECK BY: Checker



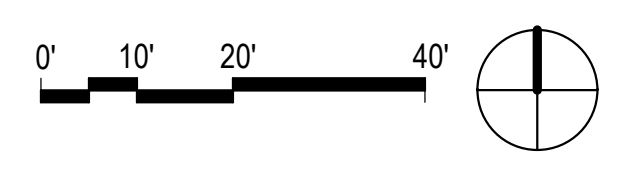
PLANT SCHEDULE

Count	Plant Code	Botanical Name	Common Name	Size	Cont.	Remarks
Trees						
4	PIN SHO	Pinus contorta	Shore Pine	Min. 2" cal.	B & B	
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Native Shrubs						
5	MOR CAL	Morella californica	California Wax Myrtle	2 Gallon		
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42	SYM ALB	Symphoricarpos albus	Common White Snowberry	2 Gallon		
Native Groundcovers						
52	ARM MAR	Armeria maritima	Sea Thrift	1 Gallon		
62	CAM QUA	Camassia quamash	Small Camas	1 Gallon		
331	DES TUF	Deschampsia cespitosa	Tufted Hair Grass	1 Gallon		
445						

SHEET NOTES

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- DURING PLANT INSTALLATION, USE CAUTION NOT TO DISTURB EXISTING PLANT ROOTS
- SEE ARCHITECTURE SHEETS FOR ADDITIONAL SITE INFORMATION

1 PLANTING PLAN - EAST
1" = 10'-0"



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 230306

SCHEMATIC DESIGN

PLANTING PLAN & SCHEDULE - EAST

DATE: 07/12/23
 PLAN NUMBER:

L008
 SHEET 9 OF 10

BASE MAP TOPOGRAPHY PROVIDED BY OTHERS. DCG WATERSHED CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, AND ALL OTHER EXISTING FEATURES AND CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN AND/OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTACT DCG WATERSHED PRIOR TO CONSTRUCTION.

FEDERAL WAY | KIRKLAND | MOUNT VERNON | SEATTLE | SPOKANE | WHIDBEY ISLAND

PLANT INSTALLATION SPECIFICATIONS

GENERAL NOTES

QUALITY ASSURANCE

- PLANTS SHALL MEET OR EXCEED THE SPECIFICATIONS OF FEDERAL, STATE, AND LOCAL LAWS REQUIRING INSPECTION FOR PLANT DISEASE AND INSECT CONTROL.
- PLANTS SHALL BE HEALTHY, VIGOROUS, AND WELL-FORMED, WITH WELL DEVELOPED, FIBROUS ROOT SYSTEMS, FREE FROM DEAD BRANCHES OR ROOTS. PLANTS SHALL BE FREE FROM DAMAGE CAUSED BY TEMPERATURE EXTREMES, LACK OR EXCESS OF MOISTURE, INSECTS, DISEASE, AND MECHANICAL INJURY. PLANTS IN LEAF SHALL BE WELL FOLIATED AND OF GOOD COLOR. PLANTS SHALL BE HABITUATED TO THE OUTDOOR ENVIRONMENTAL CONDITIONS INTO WHICH THEY WILL BE PLANTED (HARDENED-OFF).
- TREES WITH DAMAGED, CROOKED, MULTIPLE OR BROKEN LEADERS WILL BE REJECTED. WOODY PLANTS WITH ABRASIONS OF THE BARK OR SUN SCALD WILL BE REJECTED.
- NOMENCLATURE: PLANT NAMES SHALL CONFORM TO FLORA OF THE PACIFIC NORTHWEST BY HITCHCOCK AND CRONQUIST, UNIVERSITY OF WASHINGTON PRESS, 2018 AND/OR TO A FIELD GUIDE TO THE COMMON WETLAND PLANTS OF WESTERN WASHINGTON & NORTHWESTERN OREGON, ED. SARAH SPEAR COOKE, SEATTLE AUDUBON SOCIETY, 1997.

DEFINITIONS

- PLANTS/PLANT MATERIALS. PLANTS AND PLANT MATERIALS SHALL INCLUDE ANY LIVE PLANT MATERIAL USED ON THE PROJECT. THIS INCLUDES BUT IS NOT LIMITED TO CONTAINER GROWN, B&B OR BAREROOT PLANTS; LIVE STAKES AND FASCINES (WATTLES); TUBERS, CORMS, BULBS, ETC...; SPRIGS, PLUGS, AND LINERS.
- CONTAINER GROWN. CONTAINER GROWN PLANTS ARE THOSE WHOSE ROOTBALLS ARE ENCLOSED IN A POT OR BAG IN WHICH THAT PLANT GREW.

SUBSTITUTIONS

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN SPECIFIED MATERIALS IN ADVANCE IF SPECIAL GROWING, MARKETING OR OTHER ARRANGEMENTS MUST BE MADE IN ORDER TO SUPPLY SPECIFIED MATERIALS.
- SUBSTITUTION OF PLANT MATERIALS NOT ON THE PROJECT LIST WILL NOT BE PERMITTED UNLESS AUTHORIZED IN WRITING BY THE RESTORATION CONSULTANT.
- IF PROOF IS SUBMITTED THAT ANY PLANT MATERIAL SPECIFIED IS NOT OBTAINABLE, A PROPOSAL WILL BE CONSIDERED FOR USE OF THE NEAREST EQUIVALENT SIZE OR ALTERNATIVE SPECIES, WITH CORRESPONDING ADJUSTMENT OF CONTRACT PRICE.
- SUCH PROOF WILL BE SUBSTANTIATED AND SUBMITTED IN WRITING TO THE CONSULTANT AT LEAST 30 DAYS PRIOR TO START OF WORK UNDER THIS SECTION.

INSPECTION

- PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE RESTORATION CONSULTANT FOR CONFORMANCE TO SPECIFICATIONS, EITHER AT TIME OF DELIVERY ON-SITE OR AT THE GROWER'S NURSERY. APPROVAL OF PLANT MATERIALS AT ANY TIME SHALL NOT IMPAIR THE SUBSEQUENT RIGHT OF INSPECTION AND REJECTION DURING PROGRESS OF THE WORK.
- PLANTS INSPECTED ON SITE AND REJECTED FOR NOT MEETING SPECIFICATIONS MUST BE REMOVED IMMEDIATELY FROM SITE OR RED-TAGGED AND REMOVED AS SOON AS POSSIBLE.
- THE RESTORATION CONSULTANT MAY ELECT TO INSPECT PLANT MATERIALS AT THE PLACE OF GROWTH. AFTER INSPECTION AND ACCEPTANCE, THE RESTORATION CONSULTANT MAY REQUIRE THE INSPECTED PLANTS BE LABELED AND RESERVED FOR PROJECT. SUBSTITUTION OF THESE PLANTS WITH OTHER INDIVIDUALS, EVEN OF THE SAME SPECIES AND SIZE, IS UNACCEPTABLE.

MEASUREMENT OF PLANTS

- PLANTS SHALL CONFORM TO SIZES SPECIFIED UNLESS SUBSTITUTIONS ARE MADE AS OUTLINED IN THIS CONTRACT.
- HEIGHT AND SPREAD DIMENSIONS SPECIFIED REFER TO MAIN BODY OF PLANT AND NOT BRANCH OR ROOT TIP TO TIP. PLANT DIMENSIONS SHALL BE MEASURED WHEN THEIR BRANCHES OR ROOTS ARE IN THEIR NORMAL POSITION.
- WHERE A RANGE OF SIZE IS GIVEN, NO PLANT SHALL BE LESS THAN THE MINIMUM SIZE AND AT LEAST 50% OF THE PLANTS SHALL BE AS LARGE AS THE MEDIAN OF THE SIZE RANGE. (EXAMPLE: IF THE SIZE RANGE IS 12" TO 18", AT LEAST 50% OF PLANTS MUST BE 15" TALL.)

SUBMITTALS

PROPOSED PLANT SOURCES

- WITHIN 45 DAYS AFTER AWARD OF THE CONTRACT, SUBMIT A COMPLETE LIST OF PLANT MATERIALS PROPOSED TO BE PROVIDED DEMONSTRATING CONFORMANCE WITH THE REQUIREMENTS SPECIFIED. INCLUDE THE NAMES AND ADDRESSES OF ALL GROWERS AND NURSERIES.

PRODUCT CERTIFICATES

- PLANT MATERIALS LIST - SUBMIT DOCUMENTATION TO CONSULTANT AT LEAST 30 DAYS PRIOR TO START OF WORK UNDER THIS SECTION THAT PLANT MATERIALS HAVE BEEN ORDERED. ARRANGE PROCEDURE FOR INSPECTION OF PLANT MATERIAL WITH CONSULTANT AT TIME OF SUBMISSION.
- HAVE COPIES OF VENDOR'S OR GROWERS' INVOICES OR PACKING SLIPS FOR ALL PLANTS ON SITE DURING INSTALLATION. INVOICE OR PACKING SLIP SHOULD LIST SPECIES BY SCIENTIFIC NAME, QUANTITY, AND DATE DELIVERED (AND GENETIC ORIGIN IF THAT INFORMATION WAS PREVIOUSLY REQUESTED).

DELIVERY, HANDLING, & STORAGE

NOTIFICATION

CONTRACTOR MUST NOTIFY CONSULTANT 48 HOURS OR MORE IN ADVANCE OF DELIVERIES SO THAT CONSULTANT MAY ARRANGE FOR INSPECTION.

PLANT MATERIALS

- TRANSPORTATION - DURING SHIPPING, PLANTS SHALL BE PACKED TO PROVIDE PROTECTION AGAINST CLIMATE EXTREMES, BREAKAGE AND DRYING. PROPER VENTILATION AND PREVENTION OF DAMAGE TO BARK, BRANCHES, AND ROOT SYSTEMS MUST BE ENSURED.
- SCHEDULING AND STORAGE - PLANTS SHALL BE DELIVERED AS CLOSE TO PLANTING AS POSSIBLE. PLANTS IN STORAGE MUST BE PROTECTED AGAINST ANY CONDITION THAT IS DETRIMENTAL TO THEIR CONTINUED HEALTH AND VIGOR.
- HANDLING - PLANT MATERIALS SHALL NOT BE HANDLED BY THE TRUNK, LIMBS, OR FOLIAGE BUT ONLY BY THE CONTAINER, BALL, BOX, OR OTHER PROTECTIVE STRUCTURE, EXCEPT BAREROOT PLANTS SHALL BE KEPT IN BUNDLES UNTIL PLANTING AND THEN HANDLED CAREFULLY BY THE TRUNK OR STEM.
- LABELS - PLANTS SHALL HAVE DURABLE, LEGIBLE LABELS STATING CORRECT SCIENTIFIC NAME AND SIZE. TEN PERCENT OF CONTAINER GROWN PLANTS IN INDIVIDUAL POTS SHALL BE LABELED. PLANTS SUPPLIED IN FLATS, RACKS, BOXES, BAGS, OR BUNDLES SHALL HAVE ONE LABEL PER GROUP.

WARRANTY

PLANT WARRANTY

PLANTS MUST BE GUARANTEED TO BE TRUE TO SCIENTIFIC NAME AND SPECIFIED SIZE, AND TO BE HEALTHY AND CAPABLE OF VIGOROUS GROWTH.

REPLACEMENT

- PLANTS NOT FOUND MEETING ALL OF THE REQUIRED CONDITIONS AT THE CONSULTANT'S DISCRETION MUST BE REMOVED FROM SITE AND REPLACED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- PLANTS NOT SURVIVING AFTER ONE YEAR TO BE REPLACED AT THE CONTRACTOR'S EXPENSE.

PLANT MATERIAL

GENERAL

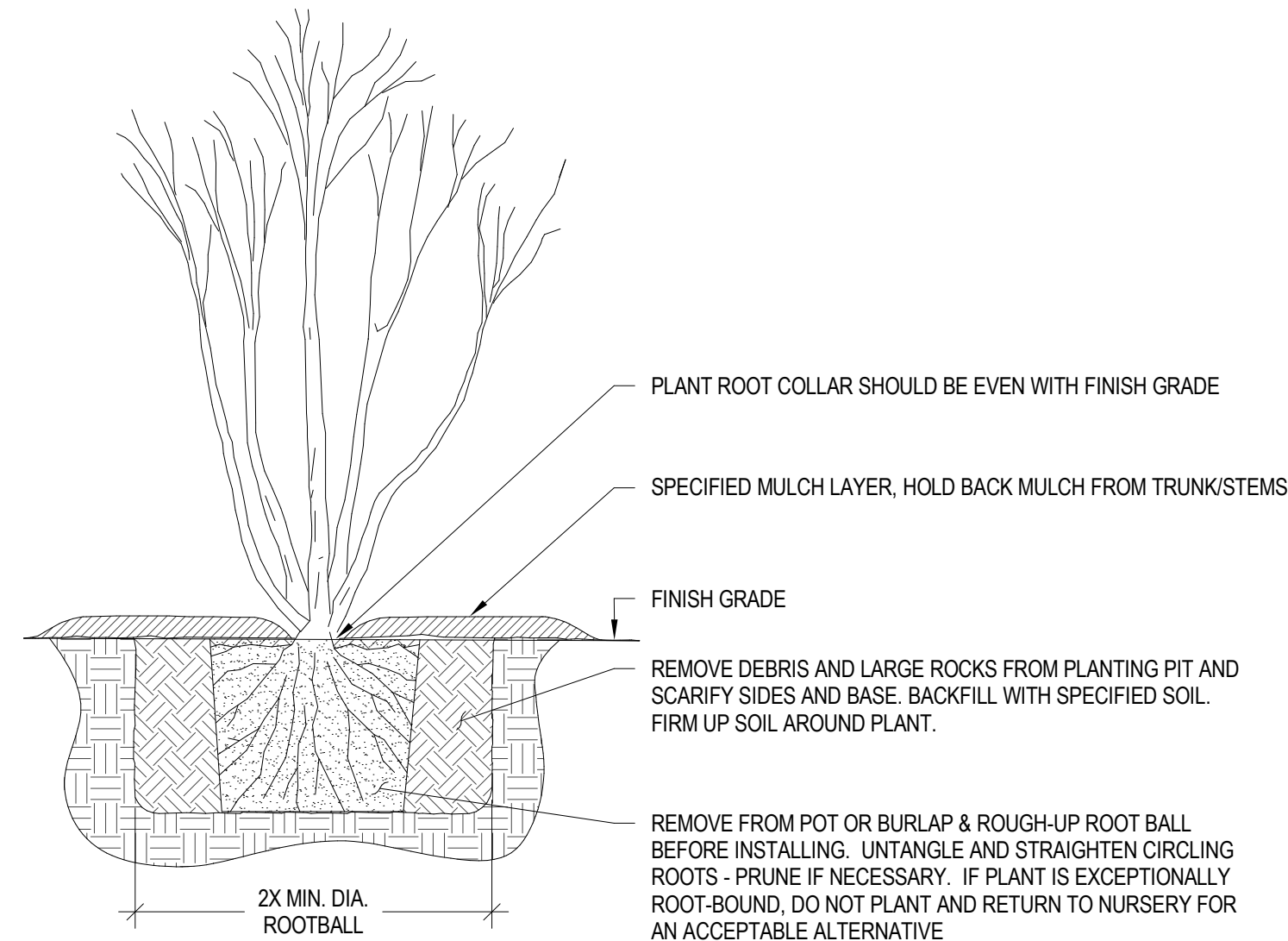
- PLANTS SHALL BE NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO OR MORE SEVERE THAN THOSE OF THE PROJECT SITE.
- PLANTS SHALL BE TRUE TO SPECIES AND VARIETY OR SUBSPECIES. NO CULTIVARS OR NAMED VARIETIES SHALL BE USED UNLESS SPECIFIED AS SUCH.

QUANTITIES

SEE PLANT LIST ON ACCOMPANYING PLANS AND PLANT SCHEDULES.

ROOT TREATMENT

- CONTAINER GROWN PLANTS (INCLUDES PLUGS): PLANT ROOT BALLS MUST HOLD TOGETHER WHEN THE PLANT IS REMOVED FROM THE POT, EXCEPT THAT A SMALL AMOUNT OF LOOSE SOIL MAY BE ON THE TOP OF THE ROOTBALL.
- PLANTS MUST NOT BE ROOT-BOUND; THERE MUST BE NO CIRCLING ROOTS PRESENT IN ANY PLANT INSPECTED.
- ROOTBALLS THAT HAVE CRACKED OR BROKEN WHEN REMOVED FROM THE CONTAINER SHALL BE REJECTED.

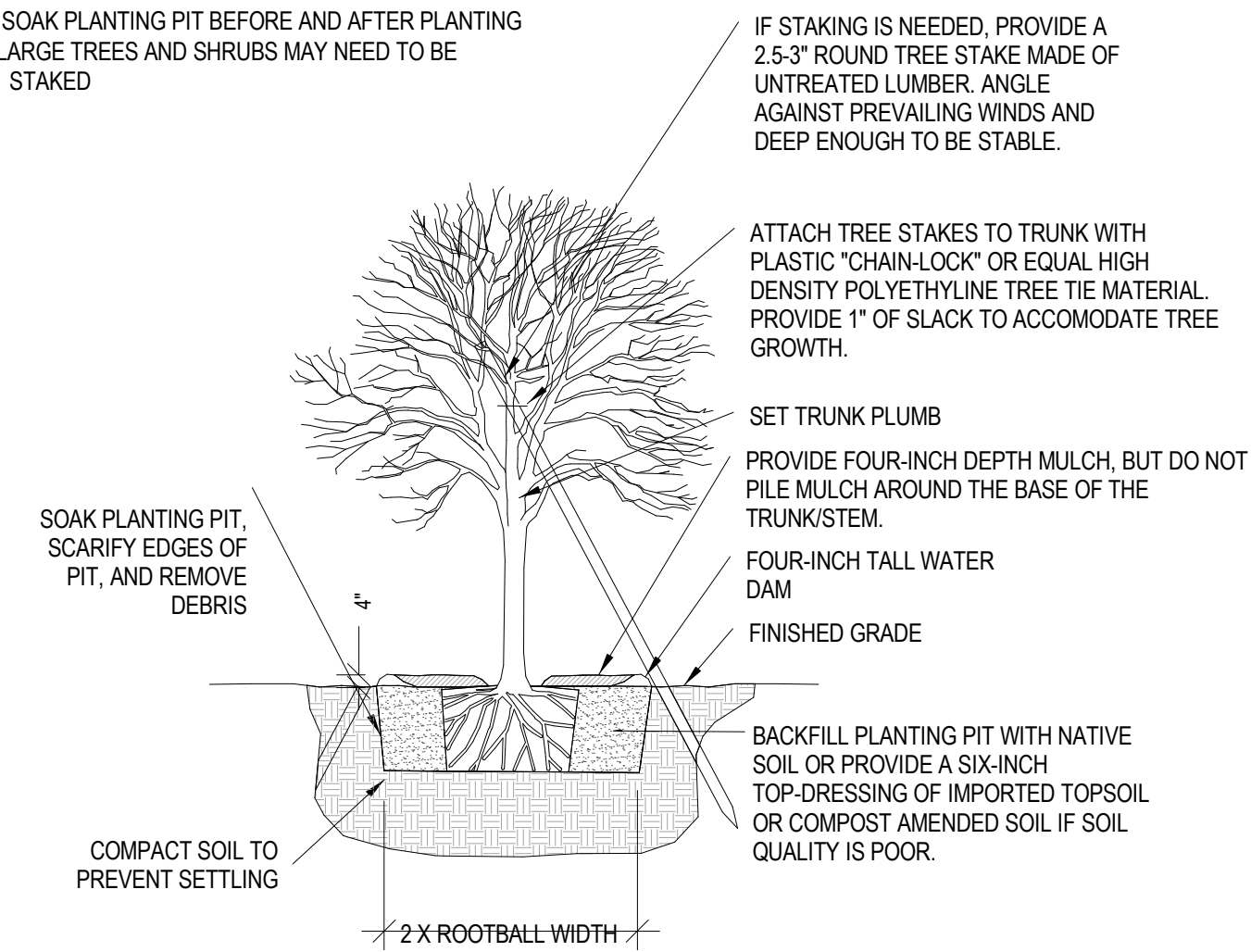


2 CONTAINER PLANTING

NTS

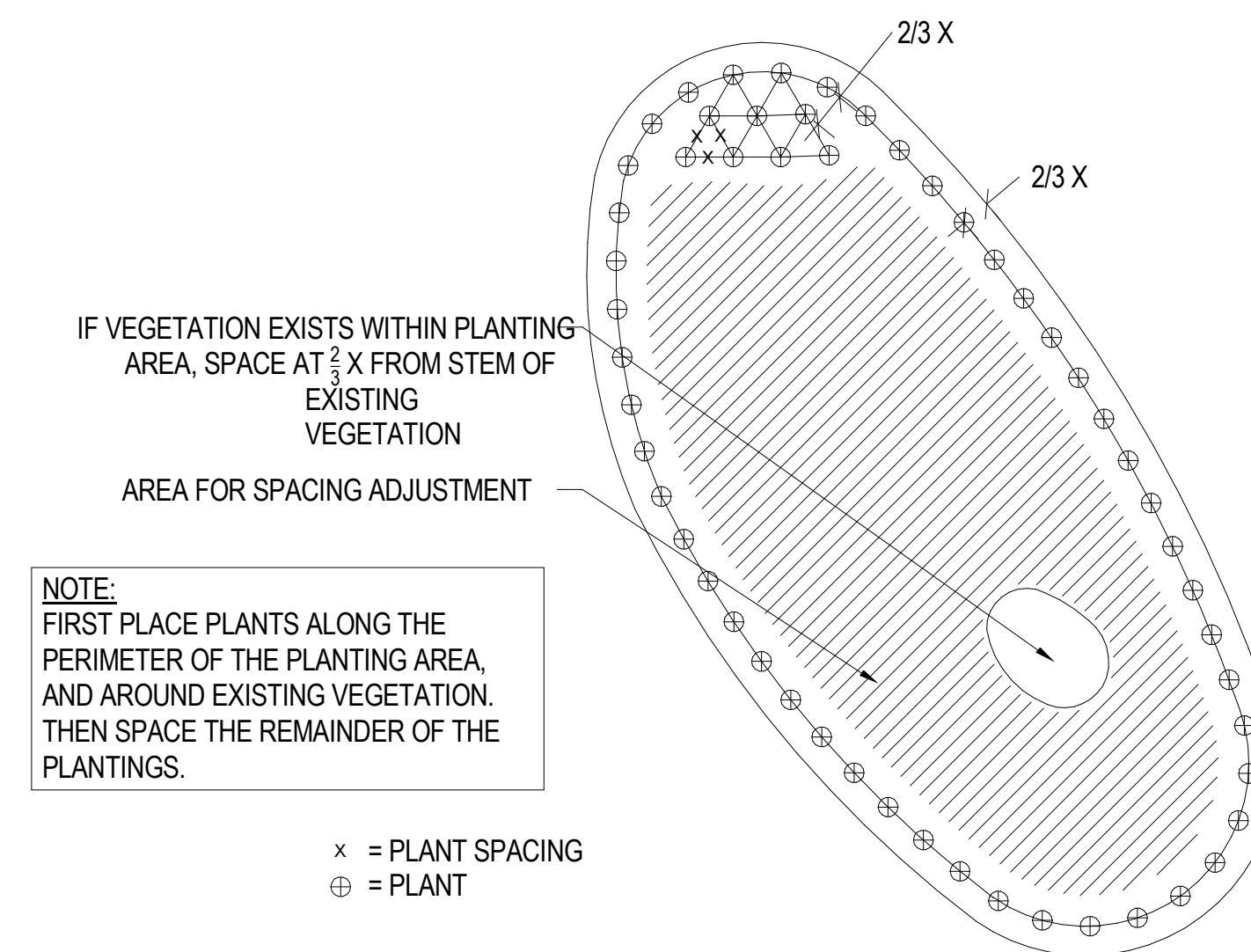
NOTES:

- PLANTING PIT SHALL NOT BE LESS THAN TWO TIMES WIDTH OF
- REMOVE BURLAP AROUND ROOT BALL
- LOOSEN ROOT-BOUND PLANTS BEFORE PLANTING
- SOAK PLANTING PIT BEFORE AND AFTER PLANTING
- LARGE TREES AND SHRUBS MAY NEED TO BE STAKED



1 B&B TREE PLANTING

NTS



3 PLANT SPACING

NTS

NO.	DATE	BY	DESCRIPTION

DCG WATERSHED
 P: 425.822.3242
 F: 425.822.3436
 www.dcgwatershed.com
 750 Sixth Street South
 Kirkland, WA 98033



CALL 811
 2 BUSINESS DAYS
 BEFORE YOU DIG
(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

HONG & KAO RESIDENCE
 5425 W. MERCER WAY
 MERCER ISLAND, WA 98040
 200306

SCHEMATIC DESIGN

PLANT INSTALLATION DETAILS & NOTES

DATE: 07/12/23
 PLAN NUMBER:

L009
 SHEET 10 OF 10

CHECK BY: Chester

DRAWN BY: Aubrey

DESIGNED BY: Daighe

PROJECT MANAGER: XXX

PRINCIPAL: XXX

GLAZING
 TO BE IN COMPLIANCE WITH IRC SEC. R308, AND WASHINGTON STATE SAFETY GLASS LAW, EXCEPTIONS ARE AS OUTLINED IN IRC R308.4.
 GLAZING IN HAZARDOUS LOCATIONS SUBJECT TO HUMAN IMPACT SHALL BE SAFETY OR TEMPERED GLASS.
 HAZARDOUS LOCATIONS ARE:
 GLAZING IN SWINGING DOORS EXCEPT JALOUSIES
 GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS.
 GLAZING IN STORM DOORS
 GLAZING IN ALL UNFRAMED SWINGING DOORS
 GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSED THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET.
 GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
 GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN THOSE ABOVE, THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 1. EXPOSED AREA ON AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET
 2. EXPOSED BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR
 3. EXPOSED TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR
 4. ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE PLANE OF THE GLAZING
 GLAZING IN RAILINGS REGARDLESS OF HEIGHT.
 GLAZING IN WARDROBE DOORS SHALL MEET THE IMPACT TEST REQUIREMENTS FOR SAFETY GLAZING AS SET FORTH IN UBC STANDARD NO. 24-2, PART II.
 GLAZING IN WALLS AND FENCES USED AS THE BARRIER FOR INDOOR AND OUTDOOR SWIMMING POOLS AND SPAS WHEN ALL OF THE FOLLOWING CONDITIONS ARE PRESENT:
 THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE
 THE GLAZING IS WITHIN 5 FEET OF A SWIMMING POOL OR SPA WATER'S EDGE
 GLAZING ADJACENT TO STARWAYS, LANDINGS AND RAMP WITHIN 36" HORIZONTALLY OF A WALKING SURFACE WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE
 GLAZING ADJACENT TO STAIRWAYS, WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.
 EGRESS IN EVERY SLEEPING ROOM SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24" MINIMUM NET CLEAR OPENING WIDTH DIMENSION OF 20" AND A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR. IRC SEC. R310.1

ENERGY
 ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE UNIFORM BUILDING CODE AND THE WASHINGTON STATE ENERGY CODE, LATEST EDITION.
 VERIFY ALL CONDITIONS BEFORE PROCEEDING WITH WORK.

APPLICATION AND INSTALLATIONS OF INSULATION AND VAPOR BARRIERS SHALL COMPLY WITH STATE OF WASHINGTON THERMAL INSULATION STANDARDS (H.B. 98).

WALLS: INSULATED WITH R-21 BATT, INSULATE HEADERS TO R-10.

ROOF AND CEILING: INSULATED WITH R-10 CLOSED CELL FOAMED IN-PLACE INSULATION, UNFACED FIBERGLAS BATTIS IN 2X RAFTERS TO R-38 IN VAULTED CEILING CONDITIONS.

FLOORS: PROVIDE R-30 BATT INSULATION OVER UNHEATED SPACE (UNLESS NOTED OTHERWISE).

SLAB ON GRADE: PROVIDE EXTRUDED RIGID CLOSED CELL INSULATION R-10. INSULATION TO PROVIDE THERMAL BREAK BETWEEN SLAB AND FOOTING AND RUN FROM THE TOP OF THE SLAB TO THE BOTTOM OF THE FOOTING. INSULATION MAY BE INTERRUPTED FOR 6" EVERY 2'-0" TO ALLOW FOR DOWELING TO THE SLAB AND FOOTING TOGETHER.

VAPOR BARRIERS: AN APPROVED VAPOR BARRIER SHALL BE INSTALLED AT EXTERIOR WALLS.

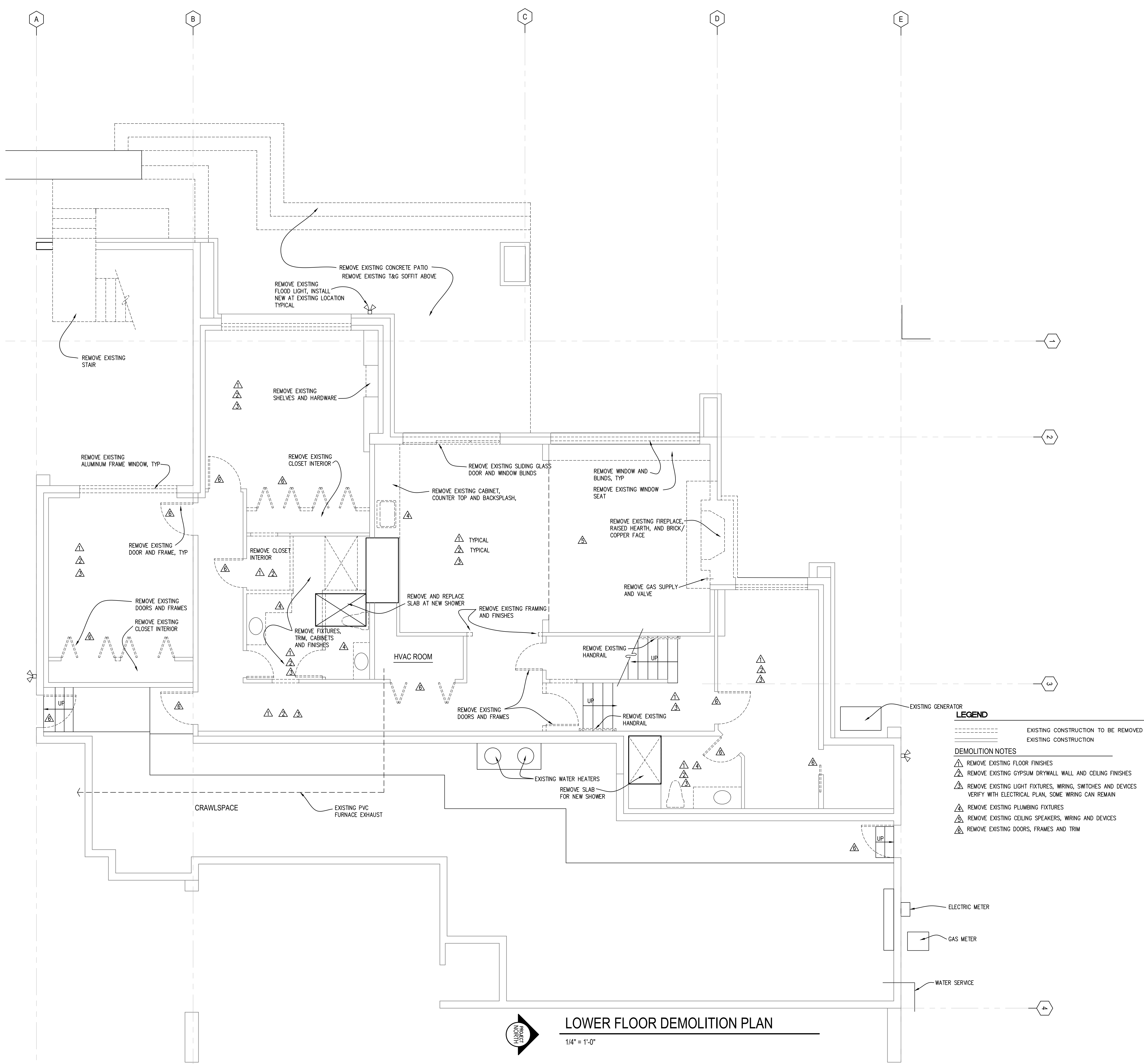
THIS VAPOR BARRIER MAY BE A COMPONENT OF THE INSULATION MATERIAL. APPLICATION AND INSTALLATIONS OF INSULATION AND VAPOR BARRIERS SHALL COMPLY WITH STATE OF WASHINGTON THERMAL INSULATION STANDARDS (H.B. 98).

CERTIFICATE: PRIOR TO SUBSTANTIAL COMPLETION POST ON A WALL NEAR THE HEATING EQUIPMENT OR ON AN ELECTRICAL PANEL THE FOLLOWING: PREDOMINATE R- VALUES, U- VALUES OF FENESTRATION, RESULTS FROM DUCT SYSTEM AND BUILDING AIR LEAKAGE TESTING, THE RESULTS FROM THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FLOW RATE TEST, AND THE TYPES AND EFFICIENCIES OF HEATING/COOLING/WHOLE-HOUSE MECHANICAL VENTILATION/WATER HEATING EQUIPMENT.

LEAK TESTING: DUCTS MUST BE LEAK TESTED IN ACCORDANCE WITH WSU RS-33 USING THE MAXIMUM DUCT LEAKAGE RATES SPECIFIED. TOTAL LEAKAGE MUST BE VERIFIED BY EITHER THE ROUGH-IN TEST OR POSTCONSTRUCTION TEST PER WSEC R403.3.3. TOTAL LEAKAGE MUST BE LESS THAN OR EQUAL TO 4CFM PER 100 SF OF CONDITIONED FLOOR AREA WHEN TESTED AT A PRESSURE DIFFERENTIAL OF 0.1" W.G. (25 PA) ACROSS THE ENTIRE SYSTEM.

SECTION R406 ADDITIONAL ENERGY EFFICIENCY REQUIREMENTS	
R406.3 MEDIUM DWELLING UNIT	6.0 CREDITS REQUIRED
FUEL NORMALIZATION CREDITS	
SYSTEM TYPE 2 LISTED HEAT PUMP	1.0 CREDITS
2. AIR LEAKAGE CONTROL	
2.3 REDUCE AIR LEAKAGE TO 1.5 AIR CHANGES MAXIMUM PER HOUR AT 50 PASCALS AND ALL WHOLE HOUSE VENTILATION REQUIREMENTS OR IRC M1505.4 OR MC 403.4 SHALL BE MET WITH HEAT RECOVERY VENTILATION SYSTEM WITH MIN. SENSIBLE HEAT RECOVERY EFFICIENCY OF 0.75	1.5 CREDITS
3. HIGH EFFICIENCY HVAC EQUIPMENT	
3.5 AIR SOURCE DUCTED HEAT PUMP MIN. HSPF 11.0	1.5 CREDITS
5. EFFICIENT WATER HEATING	
5.3 ENERGY STAR UEF 0.91 WATER HEATER	1.0 CREDITS
6. RENEWABLE ELECTRIC ENERGY OPTION	
6.1 1200 WATT PHOTO VOLTAGE SYSTEM SYSTEM TO BE INSTALLED IN COMPLIANCE WITH IRC R324	1.0 CREDITS
TOTAL PROVIDED	6.0 CREDITS
TESTING	
TEST AIR LEAKAGE CHANGES WITH A BLOWER DOOR AT A PRESSURE OF 0.2" W.G. (50 PASCALS)	

WHOLE HOUSE VENTILATION
 INTEGRATE WHOLE HOUSE VENTILATION WITH AIR HANDLER FANS THAT ARE VARIABLE SPEED WITH LOW SPEED OPERATION NOT GREATER THAN 25% OF RATED SUPPLY AIRFLOW. OUTDOOR AIR INTAKE OPENINGS MUST MEET THE PROVISIONS OF R303.5 AND R303.6 AND MUST INCLUDE MOTORIZED DAMPERS ACTIVATED BY THE WHOLE HOUSE VENTILATION CONTROLLER. TEST AND VERIFY THAT OUTDOOR AIR INTAKE AT MINIMUM VENTILATION FAN SPEED AND MAXIMUM HEATING OR COOLING FAN SPEED. FAN MUST BE SOUND RATED TO ONE SONE.



- LEGEND**
- EXISTING CONSTRUCTION TO BE REMOVED
 - EXISTING CONSTRUCTION
- DEMOLITION NOTES**
- ▲ REMOVE EXISTING FLOOR FINISHES
 - ▲ REMOVE EXISTING GYPSUM DRYWALL WALL AND CEILING FINISHES
 - ▲ REMOVE EXISTING LIGHT FIXTURES, WIRING, SWITCHES AND DEVICES VERIFY WITH ELECTRICAL PLAN, SOME WIRING CAN REMAIN
 - ▲ REMOVE EXISTING PLUMBING FIXTURES
 - ▲ REMOVE EXISTING CEILING SPEAKERS, WIRING AND DEVICES
 - ▲ REMOVE EXISTING DOORS, FRAMES AND TRIM

LOWER FLOOR DEMOLITION PLAN

1/4" = 1'-0"

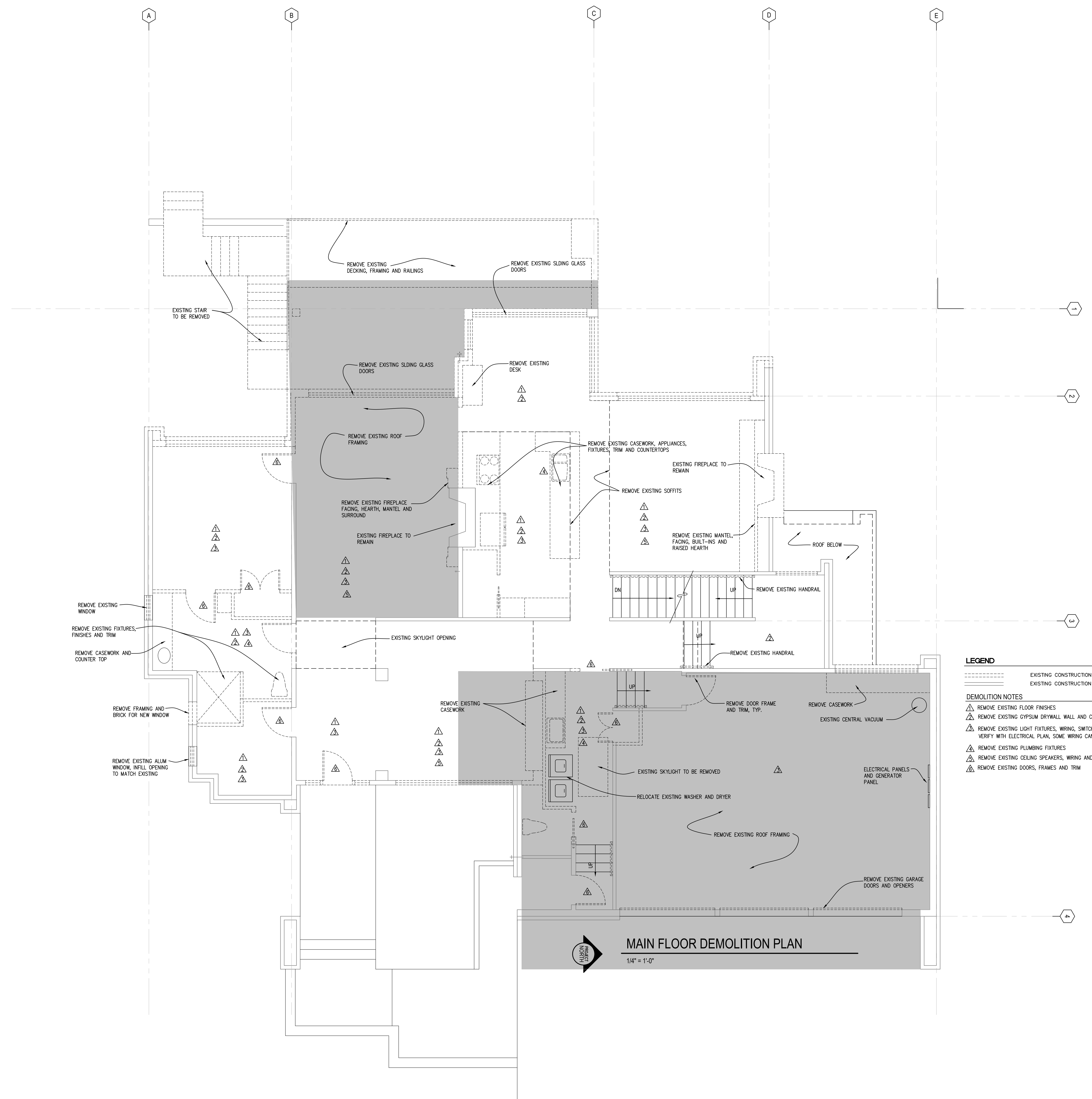


10/16/23 RESPONSE
 9/28/23 PRICING SET

No. Date Revision

DEMOLITION PLAN

Sheet No. **2.0**
 Project No. 2222
 Date: 9/8/23



- LEGEND**
- EXISTING CONSTRUCTION TO 1
 - EXISTING CONSTRUCTION
- DEMOLITION NOTES**
- △ REMOVE EXISTING FLOOR FINISHES
 - △ REMOVE EXISTING GYPSUM DRYWALL WALL AND CEILING
 - △ REMOVE EXISTING LIGHT FIXTURES, WIRING, SWITCHES & VERIFY WITH ELECTRICAL PLAN, SOME WIRING CAN REM
 - △ REMOVE EXISTING PLUMBING FIXTURES
 - △ REMOVE EXISTING CEILING SPEAKERS, WIRING AND DEV
 - △ REMOVE EXISTING DOORS, FRAMES AND TRIM

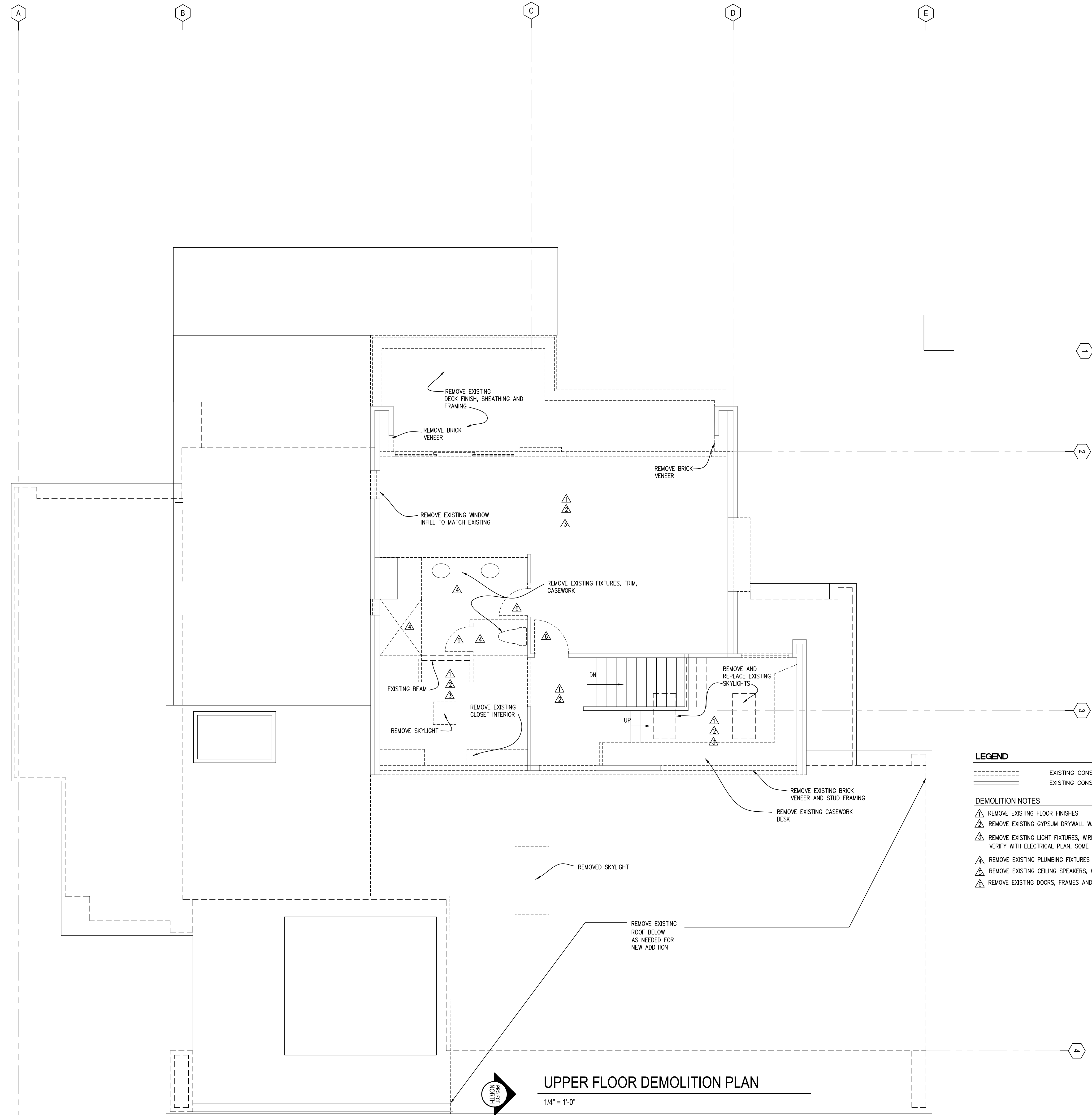
MAIN FLOOR DEMOLITION PLAN
1/4" = 1'-0"



1	10/16/23	RESPONSE
	9/28/23	PRICING SET
No.	Date	Revision

DEMOLITION PLAN

Sheet No.	2.1
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UPPER FLOOR DEMOLITION PLAN

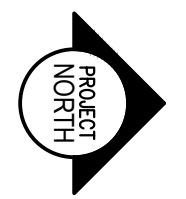
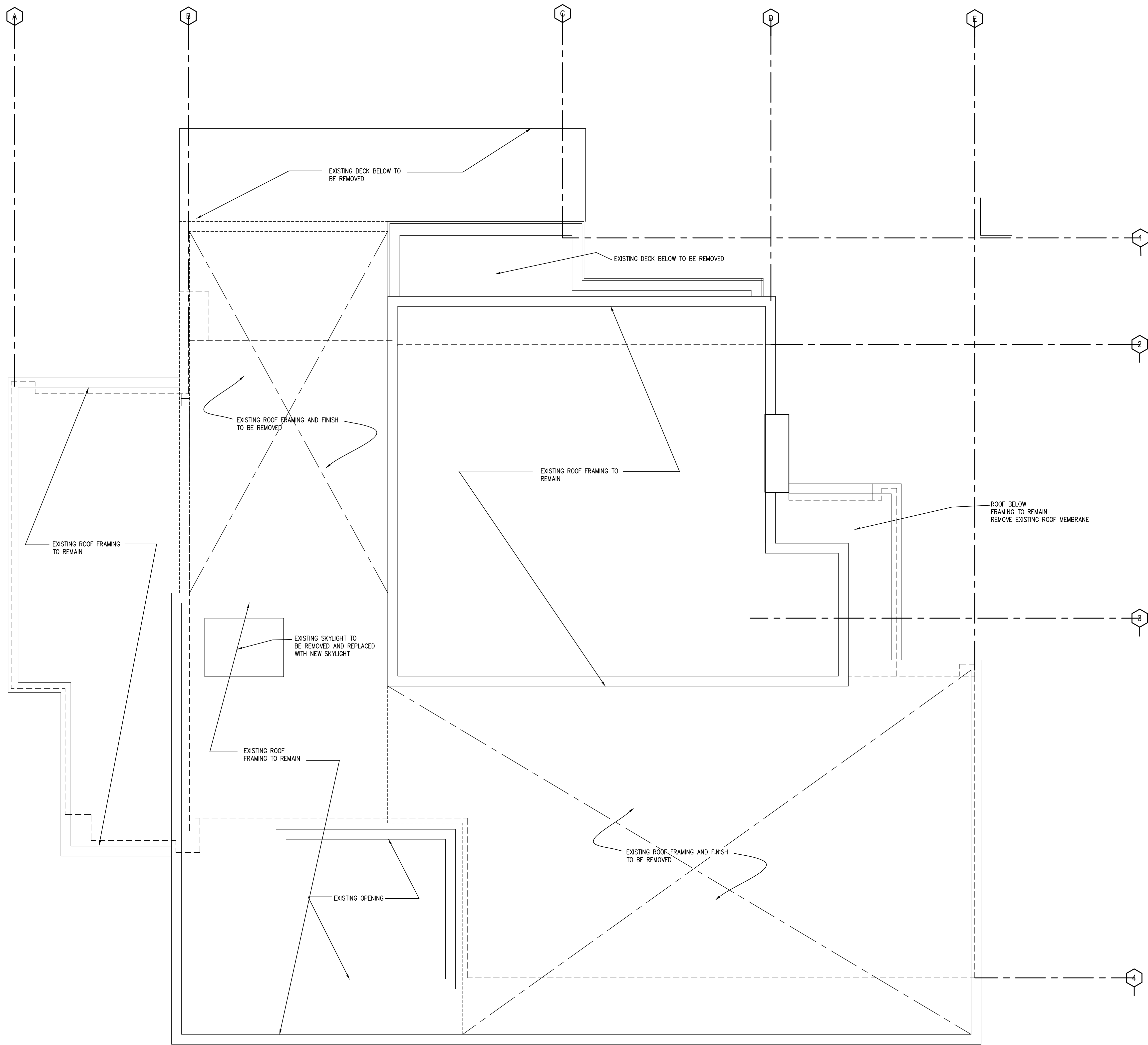
1/4" = 1'-0"

- LEGEND**
- EXISTING CONSTRUCTION TO BE REMOVED
 - EXISTING CONSTRUCTION
- DEMOLITION NOTES**
- ▲ REMOVE EXISTING FLOOR FINISHES
 - ▲ REMOVE EXISTING GYPSUM DRYWALL WALL AND CEILING FINISHES
 - ▲ REMOVE EXISTING LIGHT FIXTURES, WIRING, SWITCHES AND DEVICES. VERIFY WITH ELECTRICAL PLAN, SOME WIRING CAN REMAIN
 - ▲ REMOVE EXISTING PLUMBING FIXTURES
 - ▲ REMOVE EXISTING CEILING SPEAKERS, WIRING AND DEVICES
 - ▲ REMOVE EXISTING DOORS, FRAMES AND TRIM



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DEMOLITION PLAN



ROOF DEMOLITION PLAN

1/4" = 1'-0"

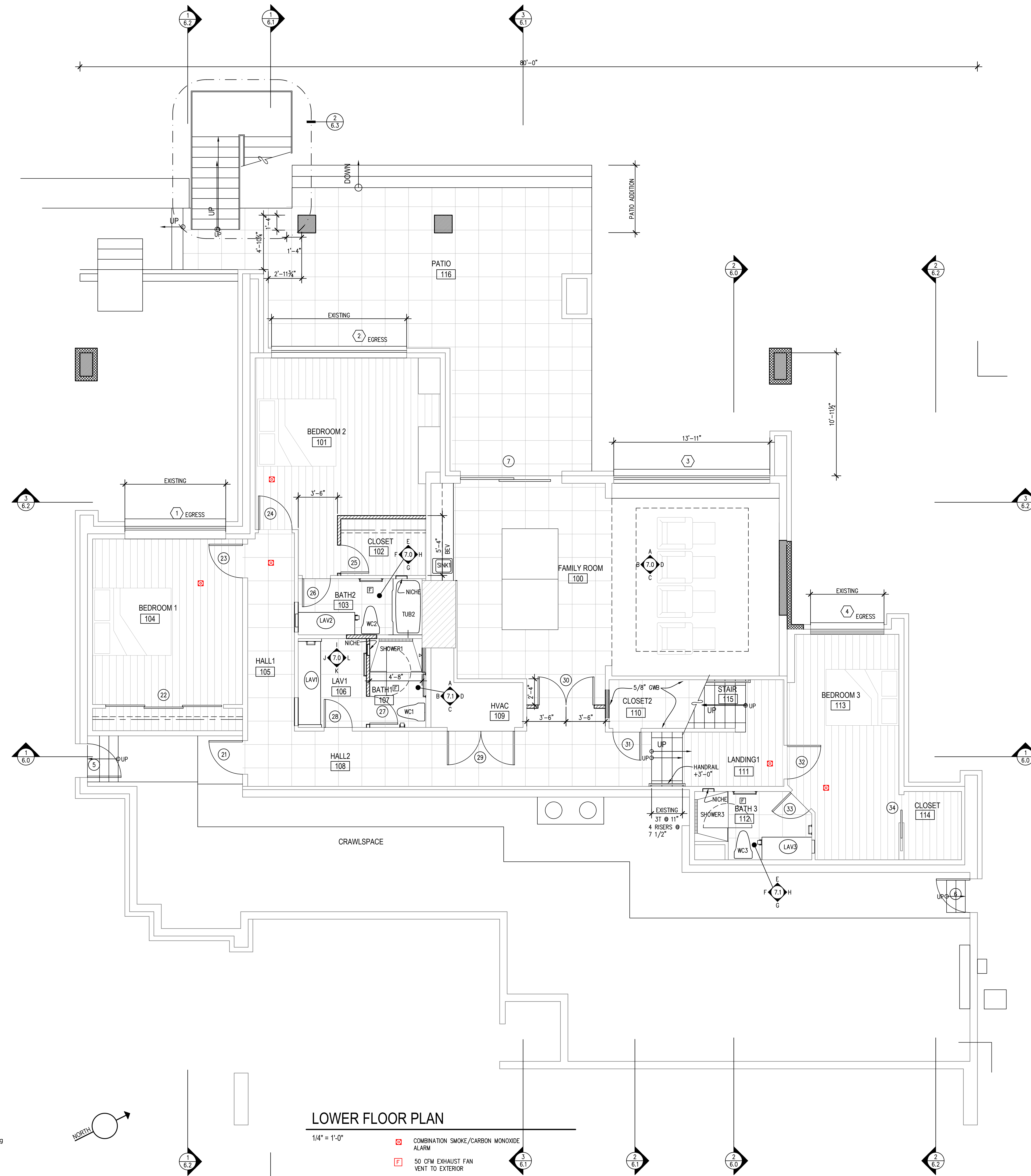
NOTE:
ALL EXISTING ROOF MEMBRANE TO BE REMOVED.



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1	10/16/23	RESPONSE
	9/28/23	PRICING SET

DEMOLITION PLAN

Sheet No.	2.3
Project No.	2222
Date:	9/8/23



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LOWER FLOOR PLAN

1/4" = 1'-0"

- COMBINATION SMOKE/CARBON MONOXIDE ALARM
- 50 CFM EXHAUST FAN VENT TO EXTERIOR

LEGEND

- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING CONSTRUCTION TO REMAIN
- NEW 2X6 STUDS @ 16" O.C.
- NEW 2X4 STUDS @ 16" O.C.
- NEW BRICK VENEER

1994 SQUARE FEET EXISTING HEATED FLOOR AREA PER IRC R202
1994 SQUARE FEET PROPOSED HEATED FLOOR AREA

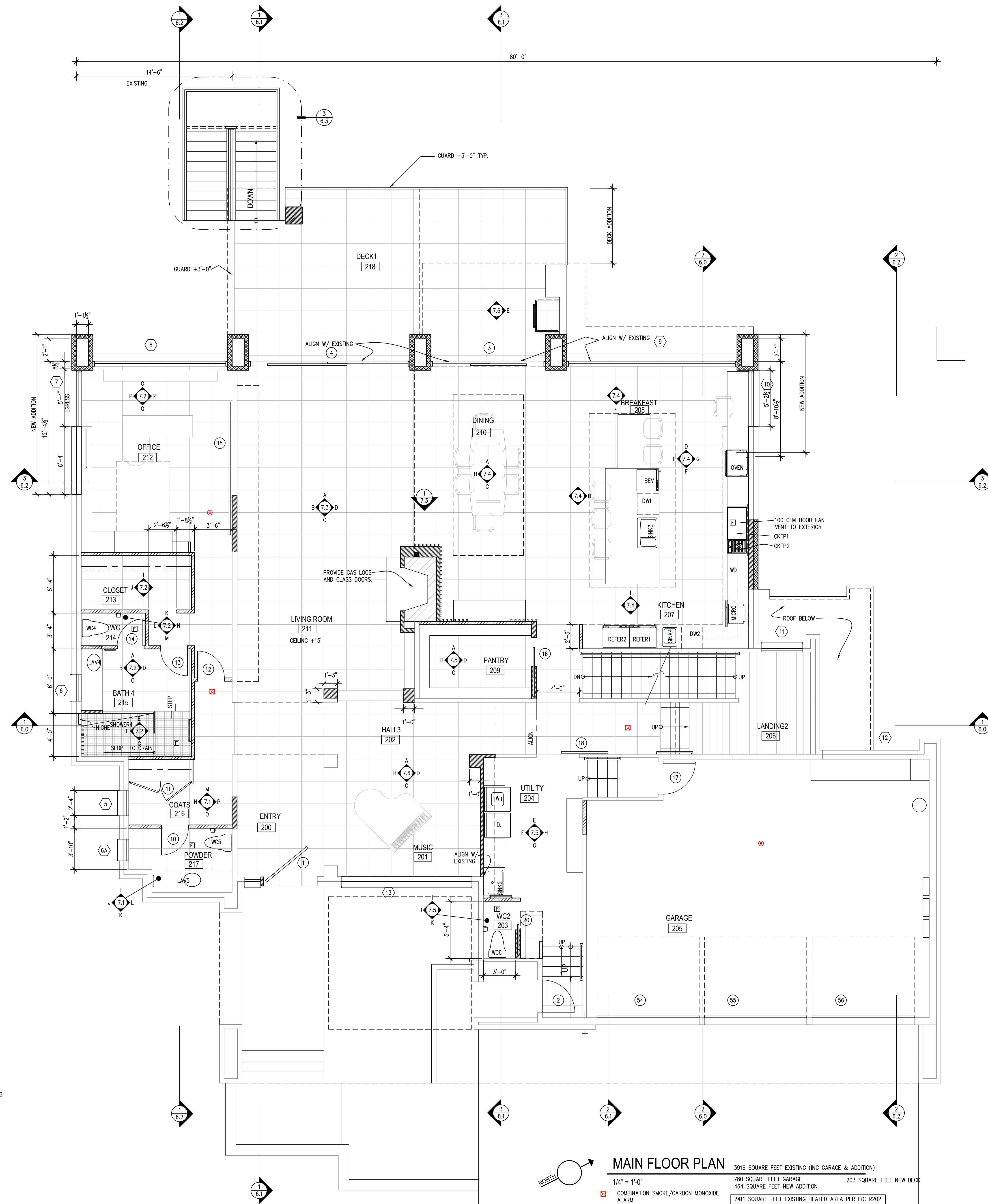
NOTE:
SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS.



1 10/16/23 RESPONSE
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LOWER FLOOR

Sheet No. **3.0**
Project No. 2222
Date: 9/8/23



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MAIN FLOOR PLAN 3916 SQUARE FEET EXISTING (INC GARAGE & ADDITION)

1/4" = 1'-0"

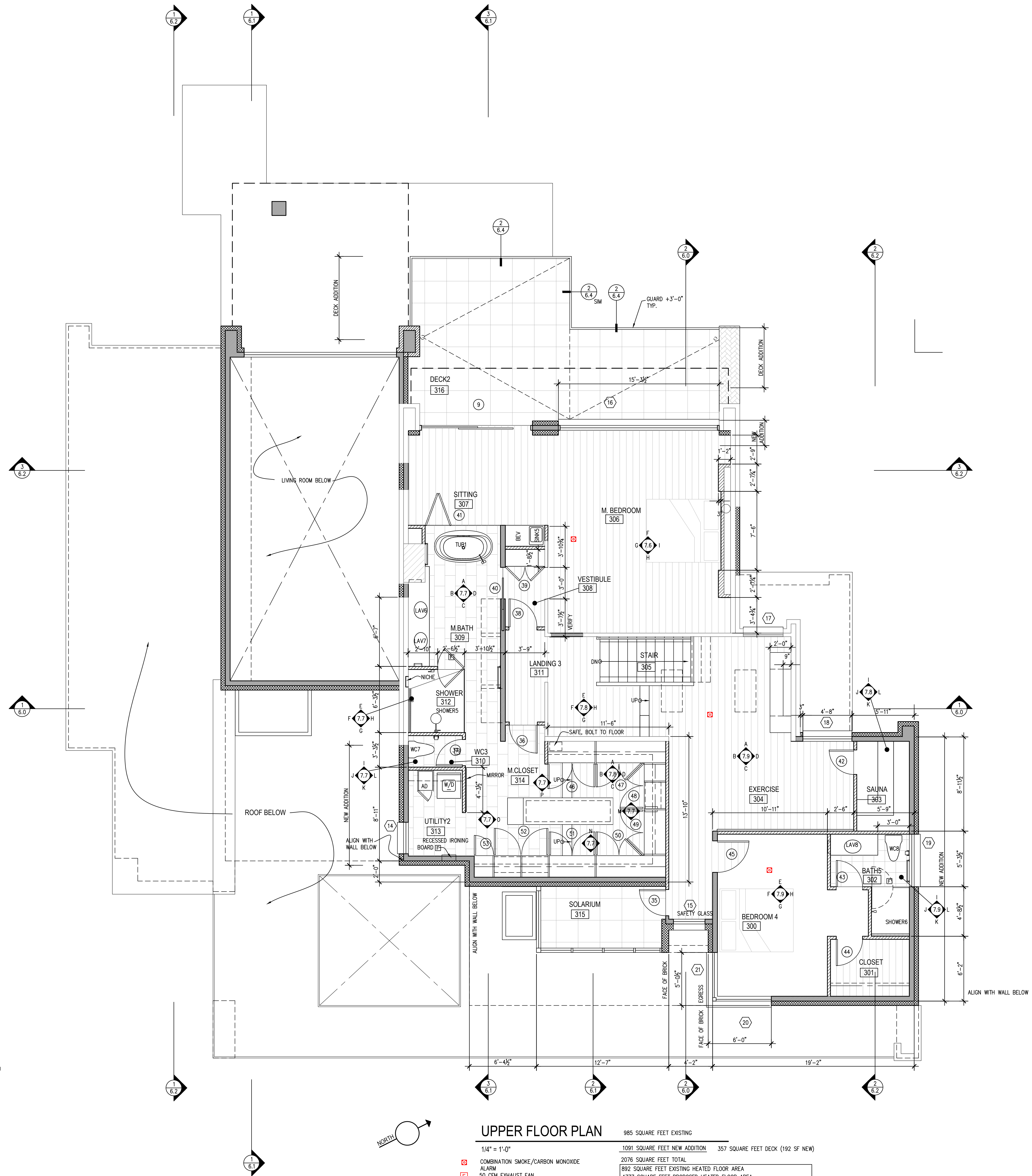
<ul style="list-style-type: none"> ◻ COMBINATION SMOKE/CARBON MONOXIDE ALARM ◻ 50 CFM EXHAUST FAN VENT TO EXTERIOR ◻ HEAT DETECTOR 	<ul style="list-style-type: none"> 780 SQUARE FEET GARAGE 464 SQUARE FEET NEW ADDITION 2411 SQUARE FEET EXISTING HEATED AREA PER IRC R202 2901 SQUARE FEET PROPOSED HEATED AREA 730 SQUARE FEET EXISTING GARAGE 739 SQUARE FEET PROPOSED GARAGE 415 SQUARE FEET EXISTING DECK 452 SQUARE FEET PROPOSED DECK
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10/16/23 RESPONSE
9/28/23 PRICING SET

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UPPER FLOOR PLAN

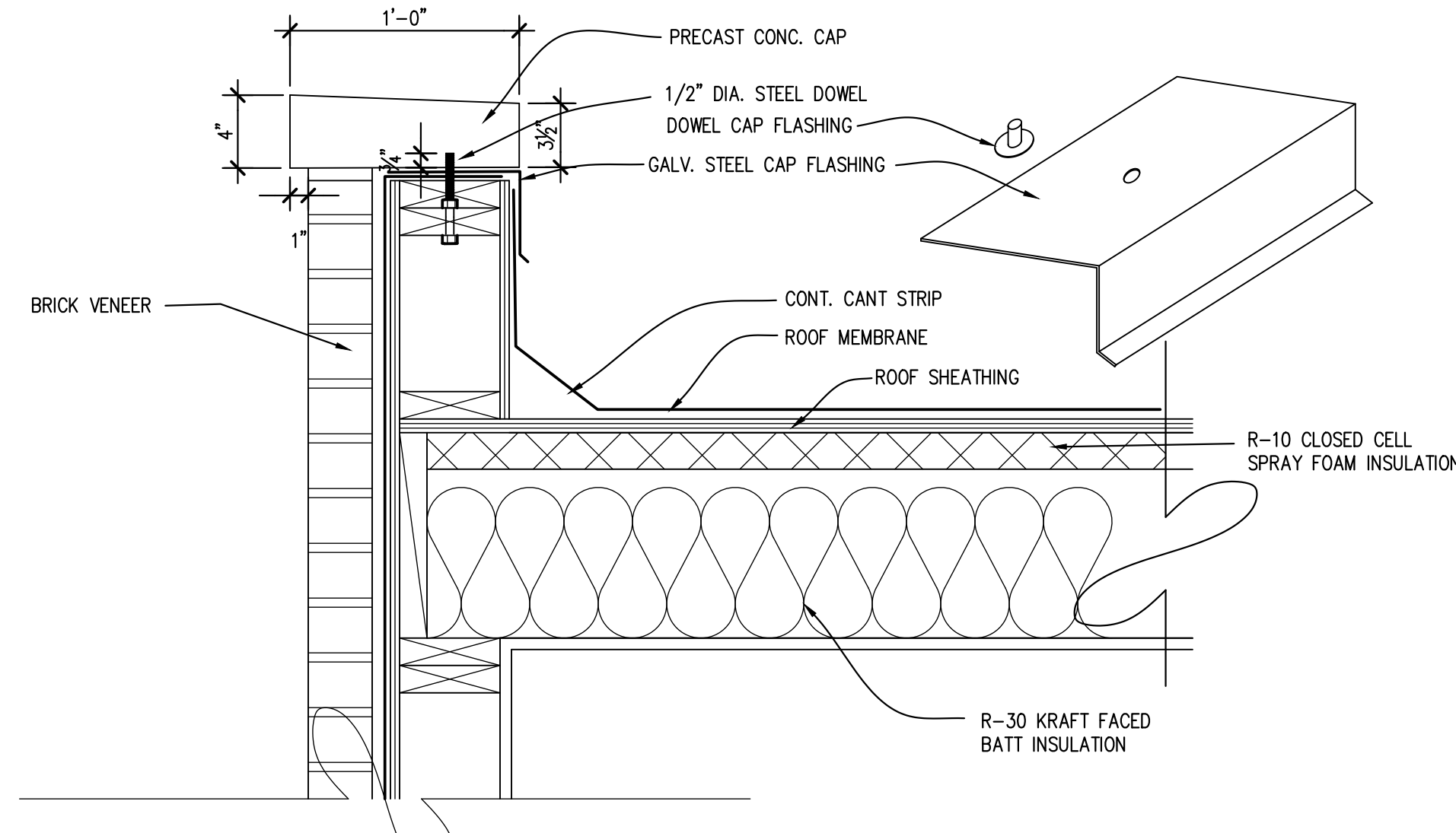
985 SQUARE FEET EXISTING	1091 SQUARE FEET NEW ADDITION	357 SQUARE FEET DECK (192 SF NEW)
2076 SQUARE FEET TOTAL		
892 SQUARE FEET EXISTING HEATED FLOOR AREA		
1777 SQUARE FEET PROPOSED HEATED FLOOR AREA		
69 SQUARE FEET UNCONDITIONED SOLARIUM		
229 SQUARE FEET EXISTING DECK		
356 SQUARE FEET PROPOSED DECK		

- 1/4" = 1'-0"
- COMBINATION SMOKE/CARBON MONOXIDE ALARM
- 50 CFM EXHAUST FAN VENT TO EXTERIOR

1	10/16/23	RESPONSE
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No.	Date	Revision

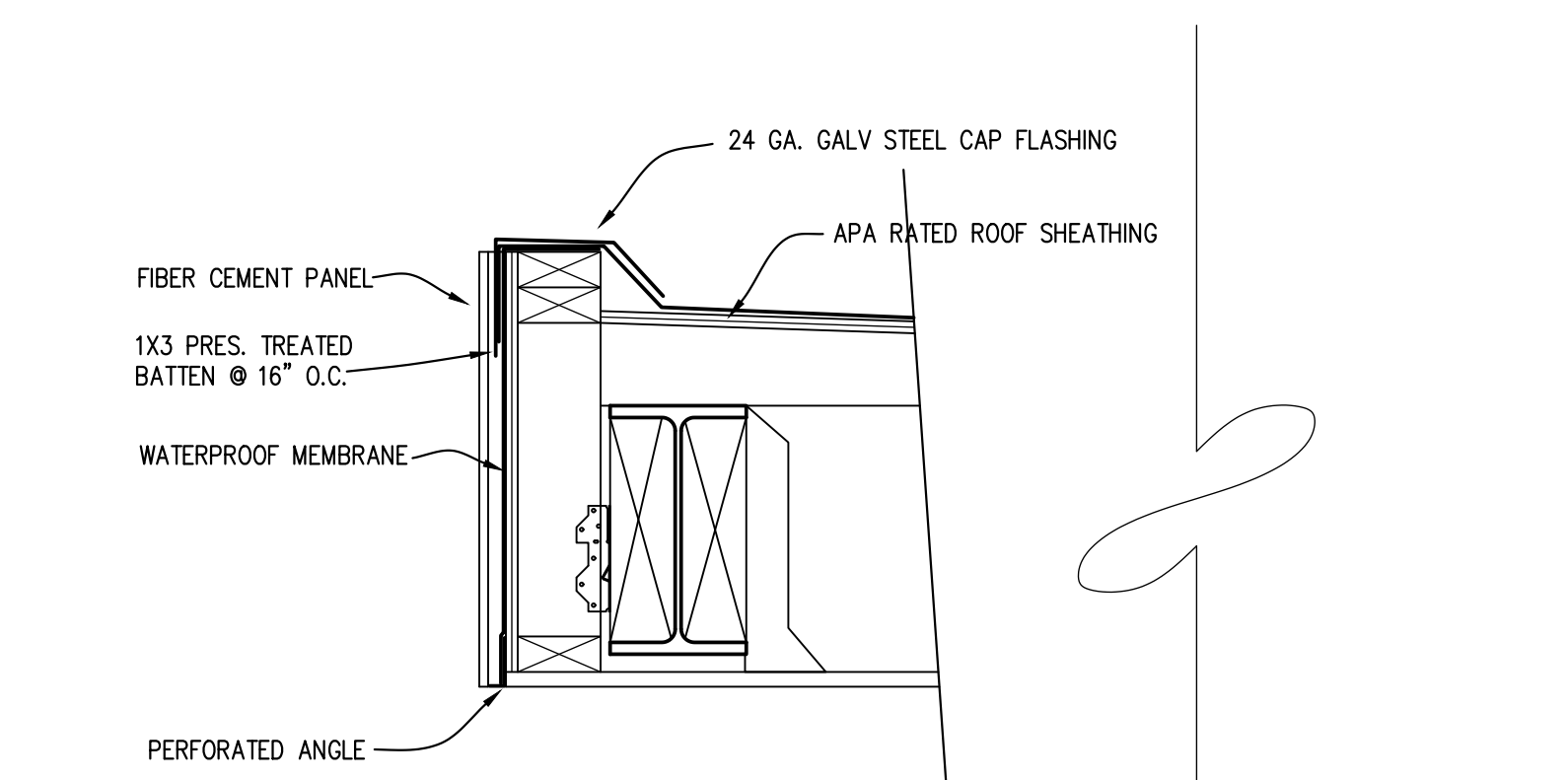
UPPER FLOOR

Sheet No.	3.2
Project No.	2222
Date:	9/8/23



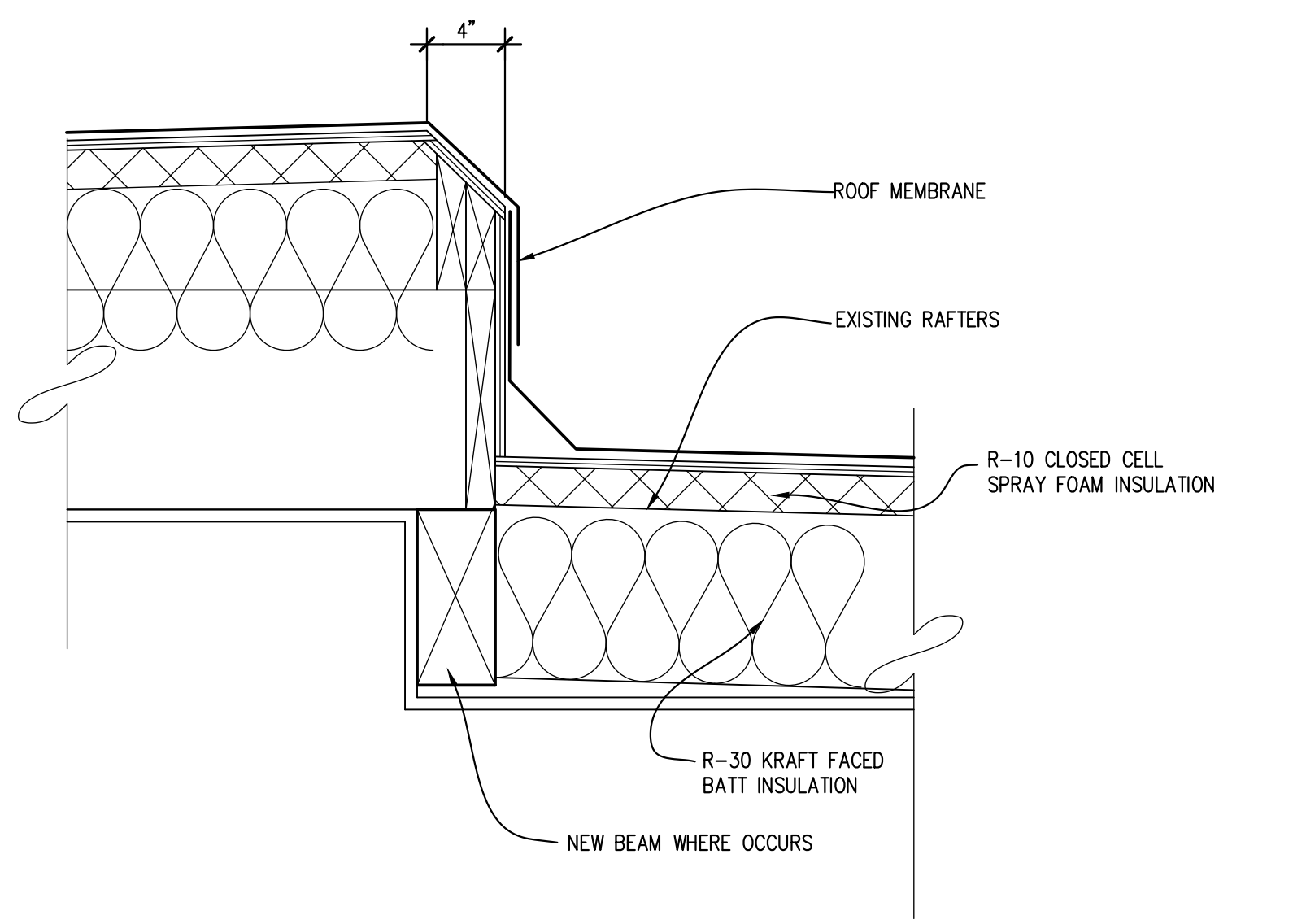
1 DETAIL

1-1/2" = 1'-0"



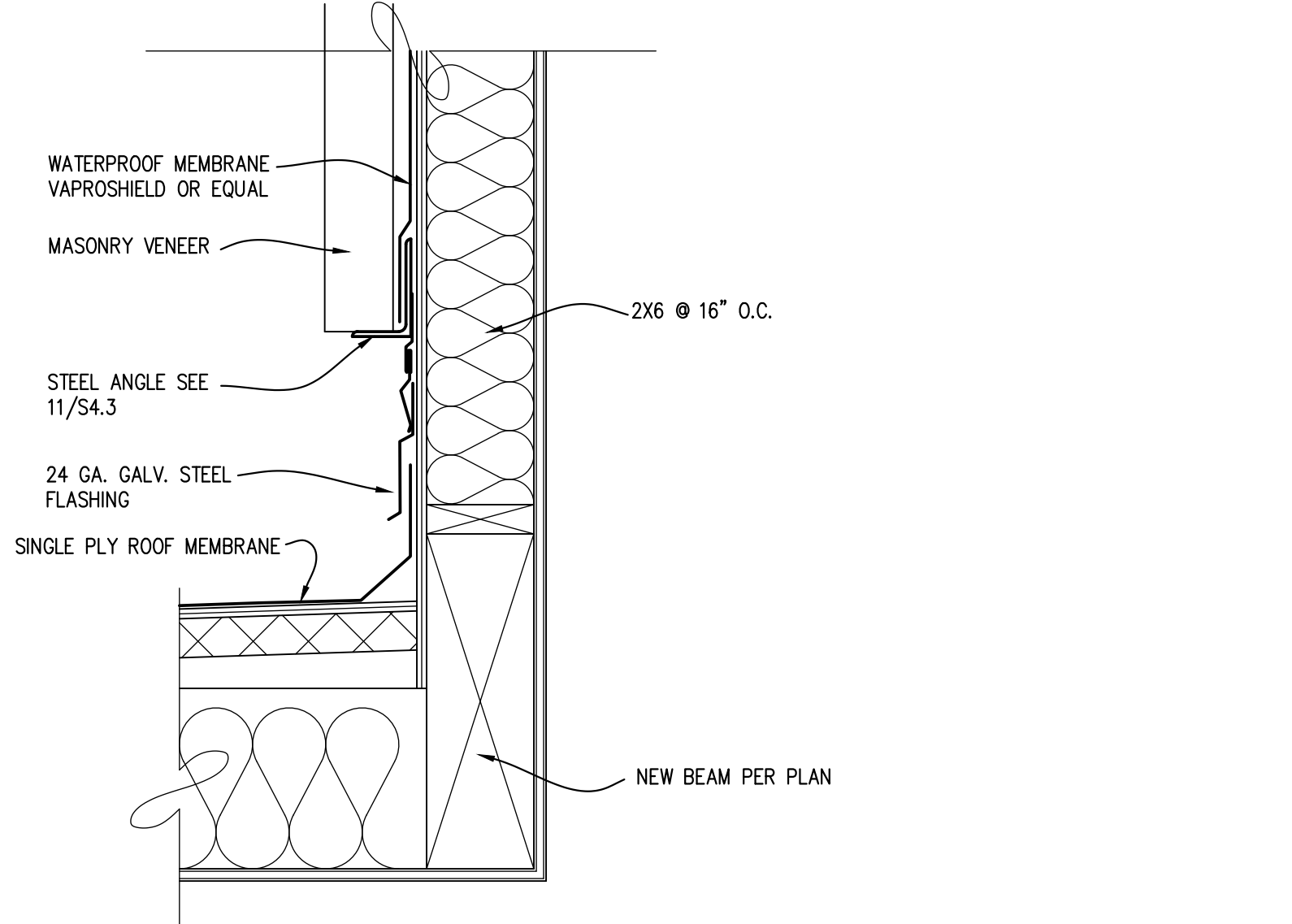
2 DETAIL

1-1/2" = 1'-0"



3 DETAIL

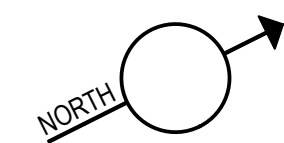
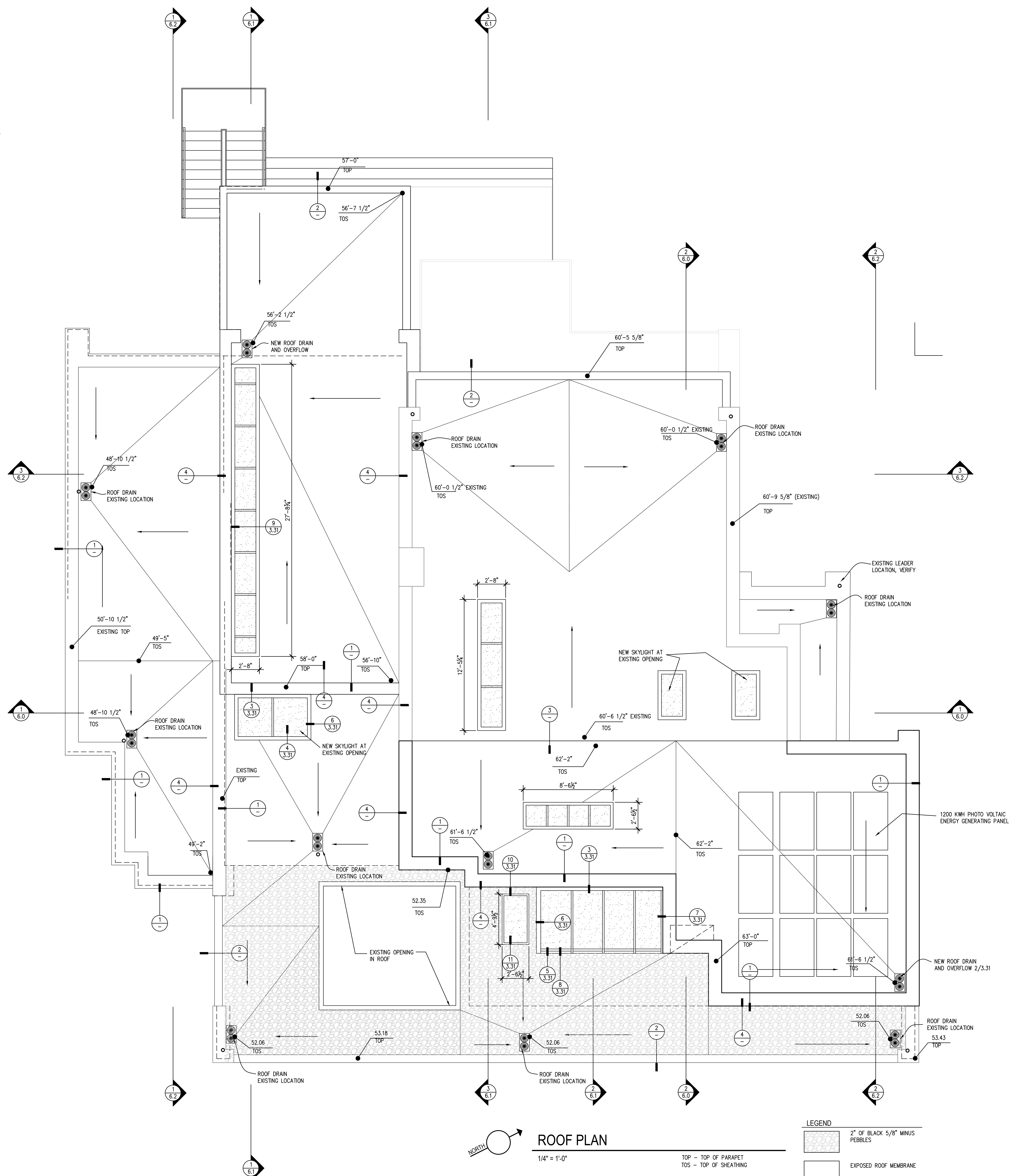
1-1/2" = 1'-0"



4 DETAIL

1-1/2" = 1'-0"

X-GRID.dwg



ROOF PLAN

1/4" = 1'-0"

TOP - TOP OF PARAPET
TOS - TOP OF SHEATHING

LEGEND

	2" OF BLACK 5/8" MINUS PEBBLES
	EXPOSED ROOF MEMBRANE

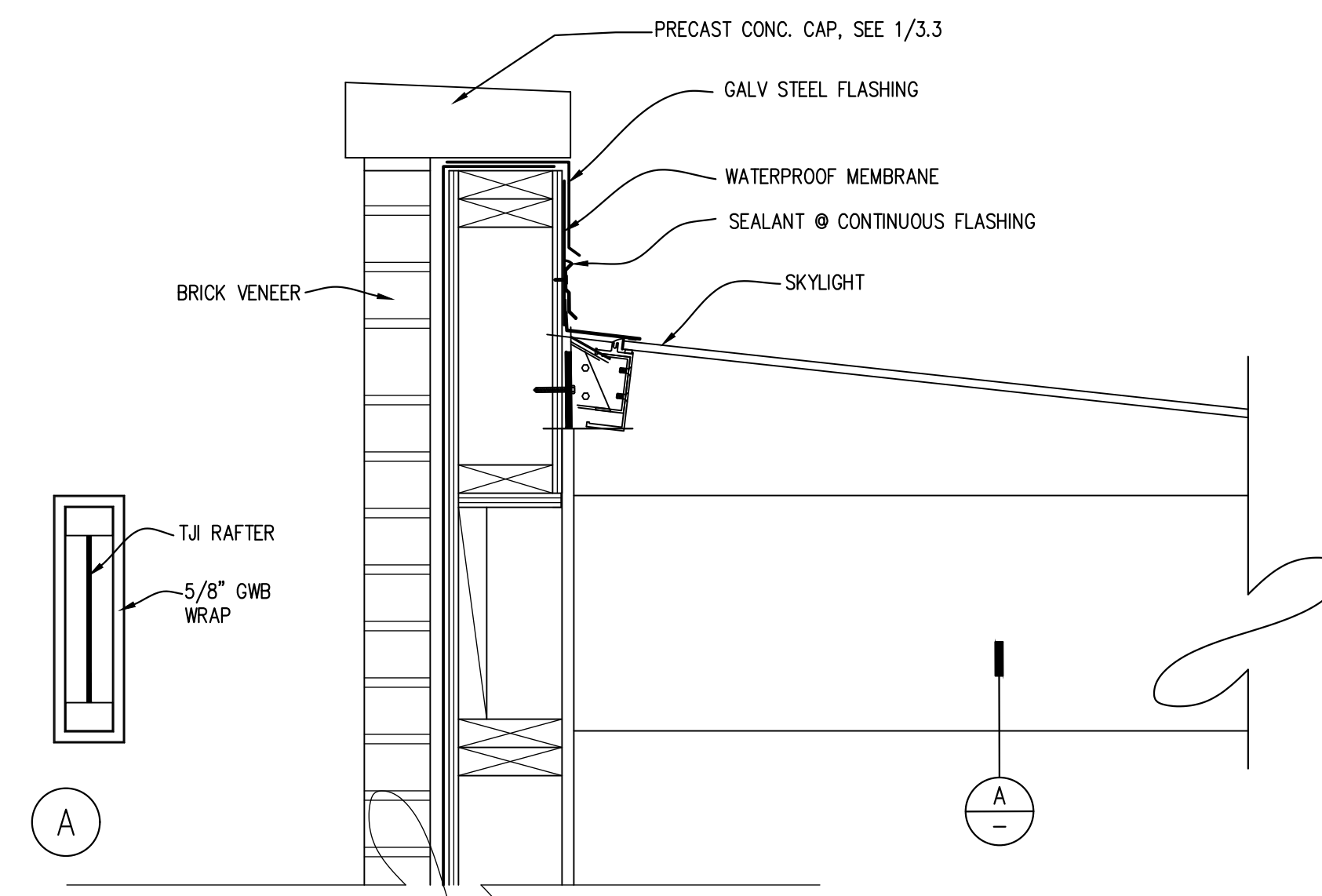
NOTE:
1 SKYLIGHTS TO BE 3/4" WITH 1" THICK 1" MINIMUM DIA. SSC



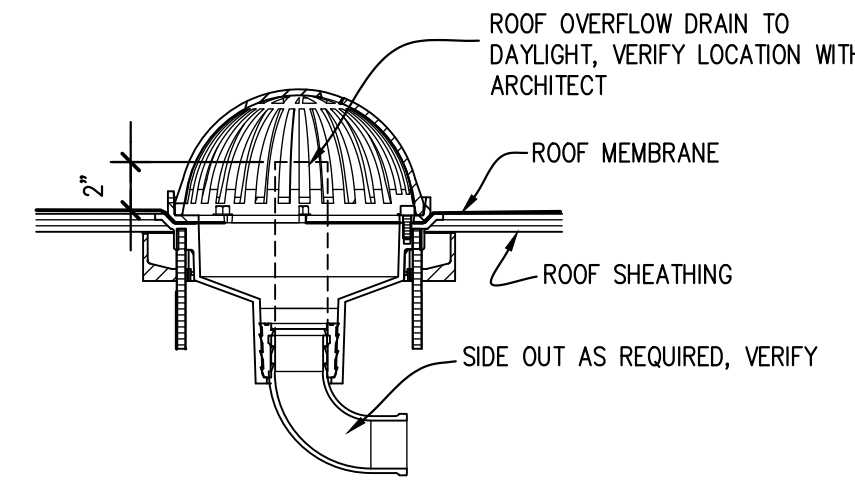
10/16/23 RESPONSE
9/28/23 PRICING SET
No. Date Revision

ROOF PLAN

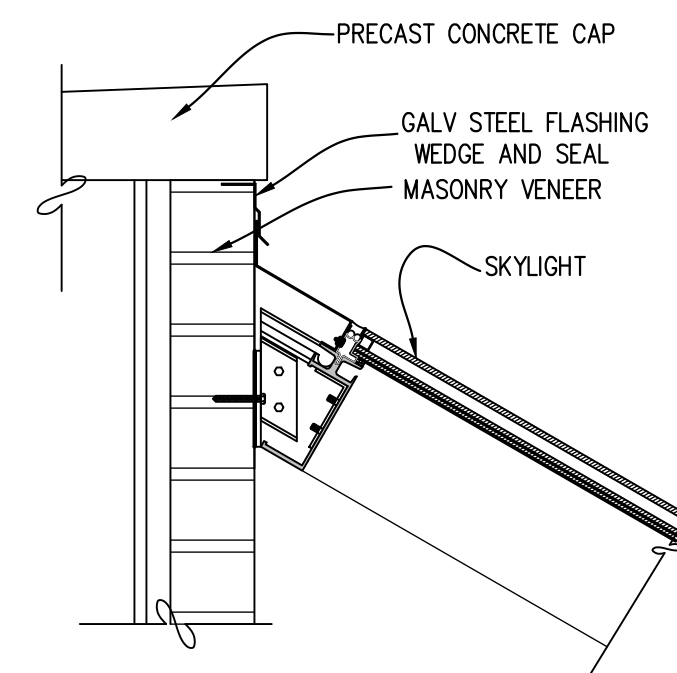
Sheet No. **3.3**
Project No. 2222
Date: 9/8/23



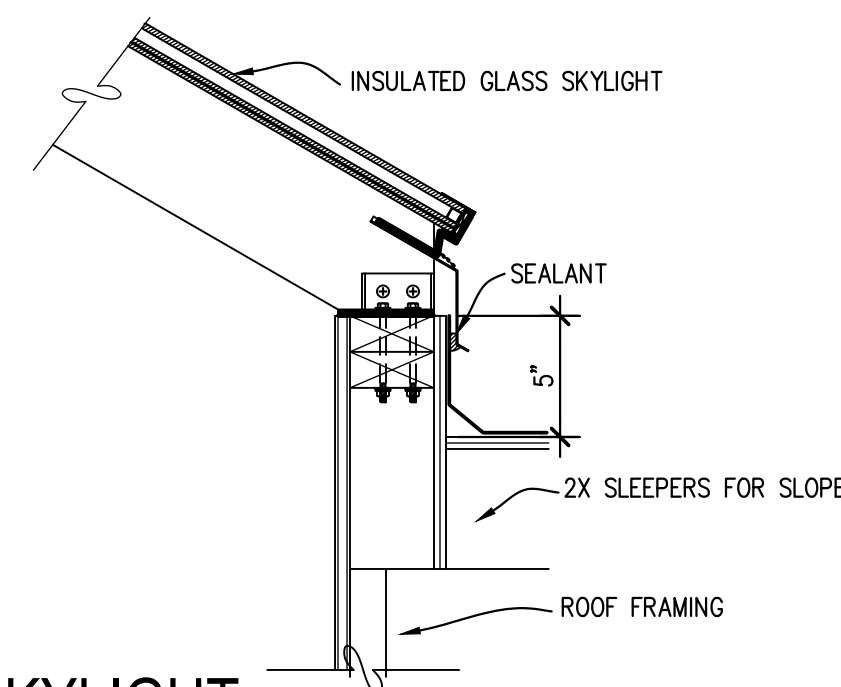
1 DETAIL
1-1/2" = 1'-0"



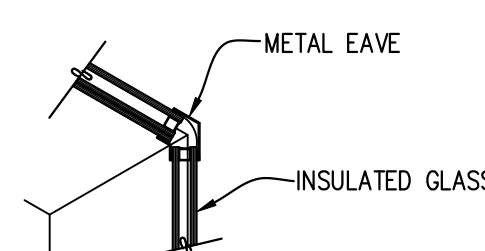
2 ROOF DRAIN
1-1/2" = 1'-0"



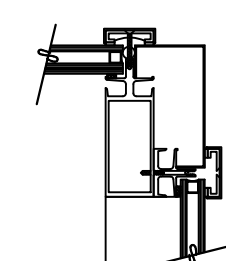
3 GREENHOUSE
1-1/2" = 1'-0"



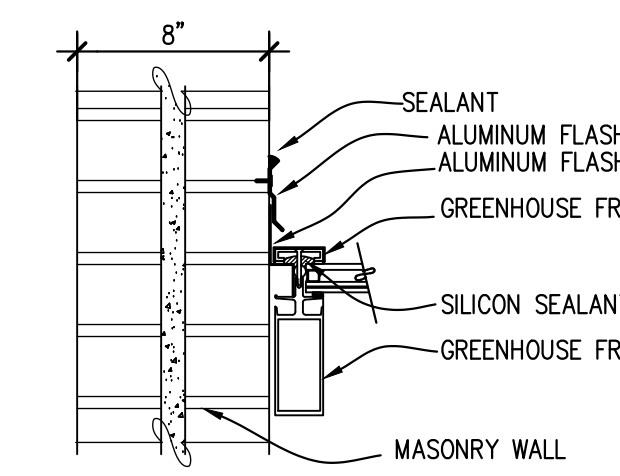
4 SKYLIGHT
1-1/2" = 1'-0"



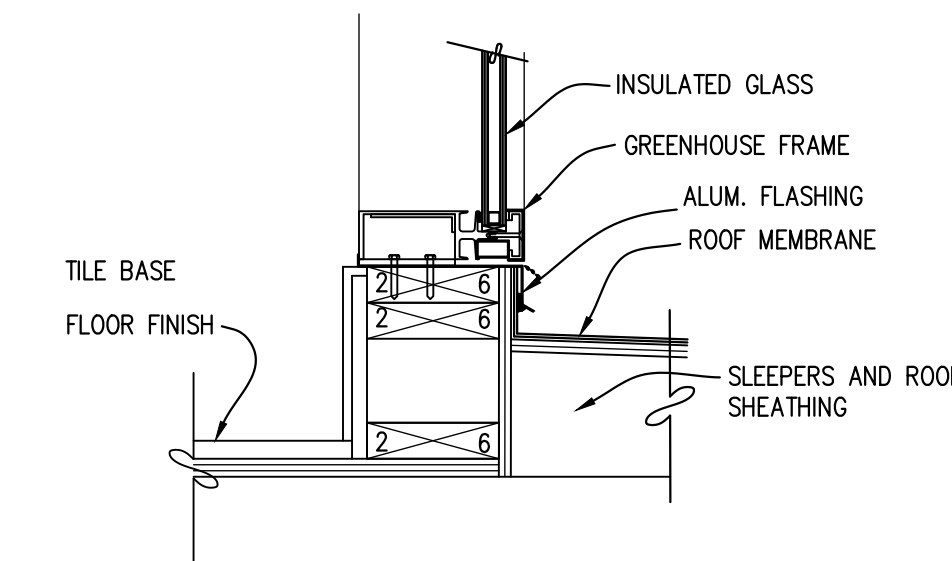
5 GREEN HOUSE
1-1/2" = 1'-0"



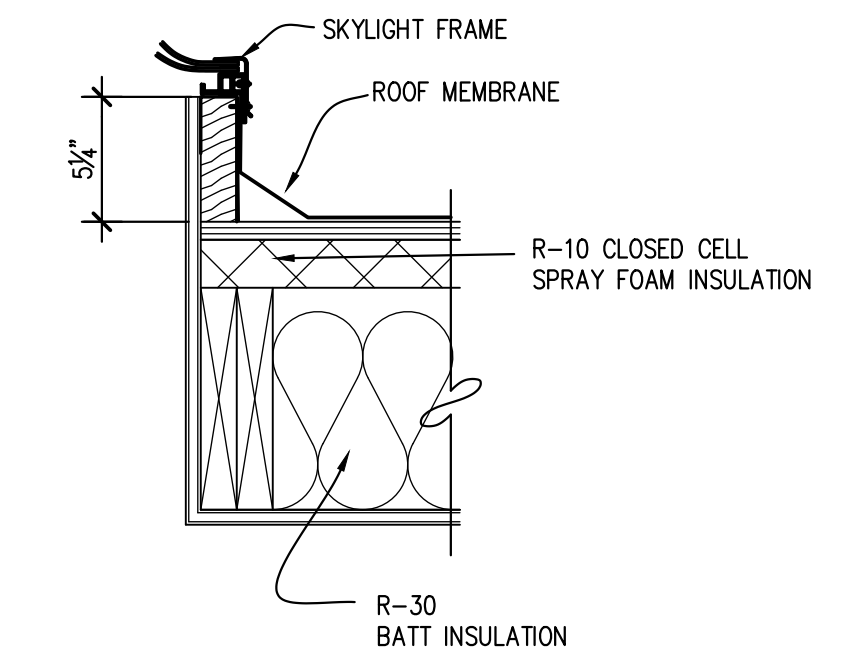
6 GREENHOUSE
1-1/2" = 1'-0"



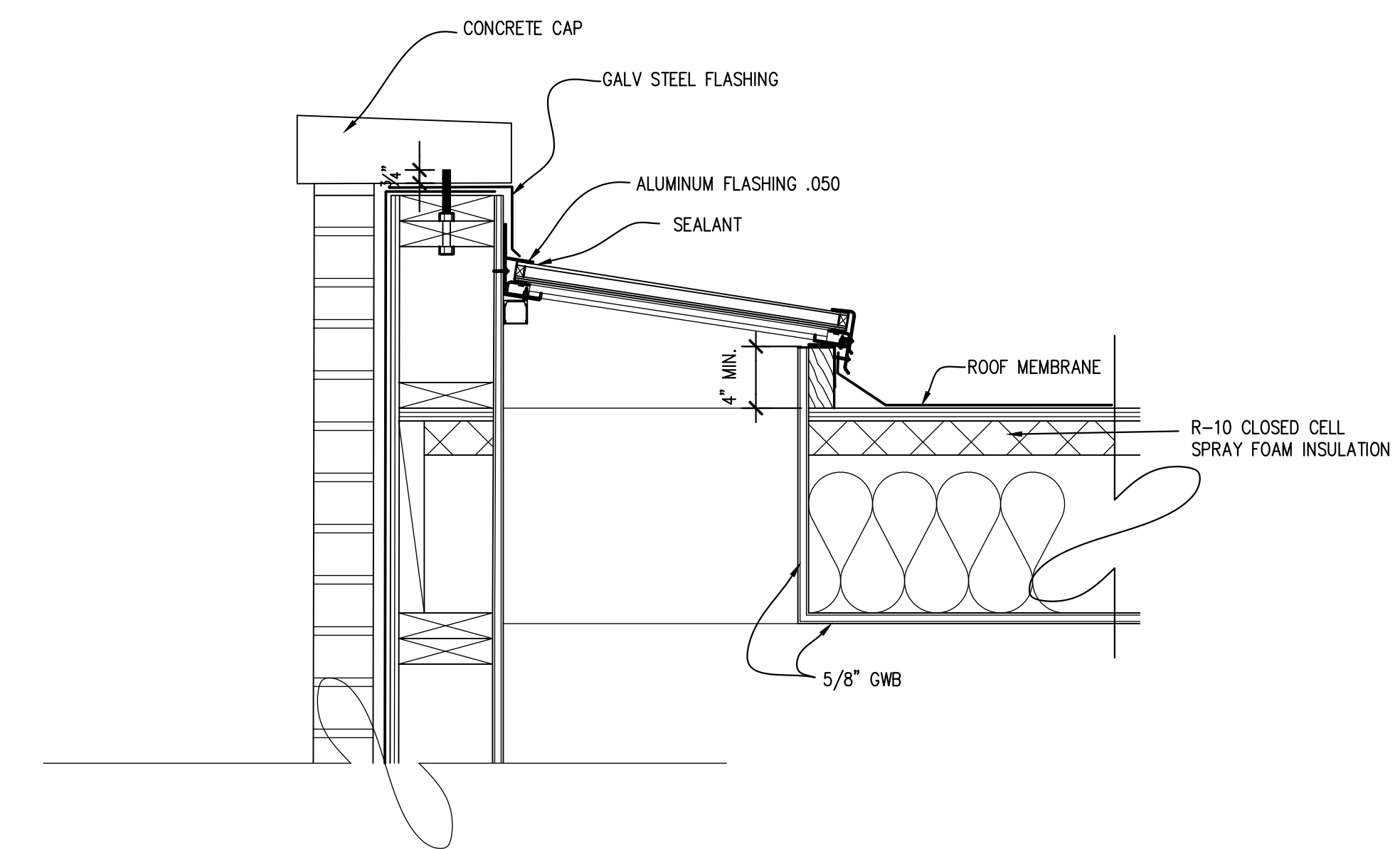
7 GREENHOUSE RAKE
1-1/2" = 1'-0"



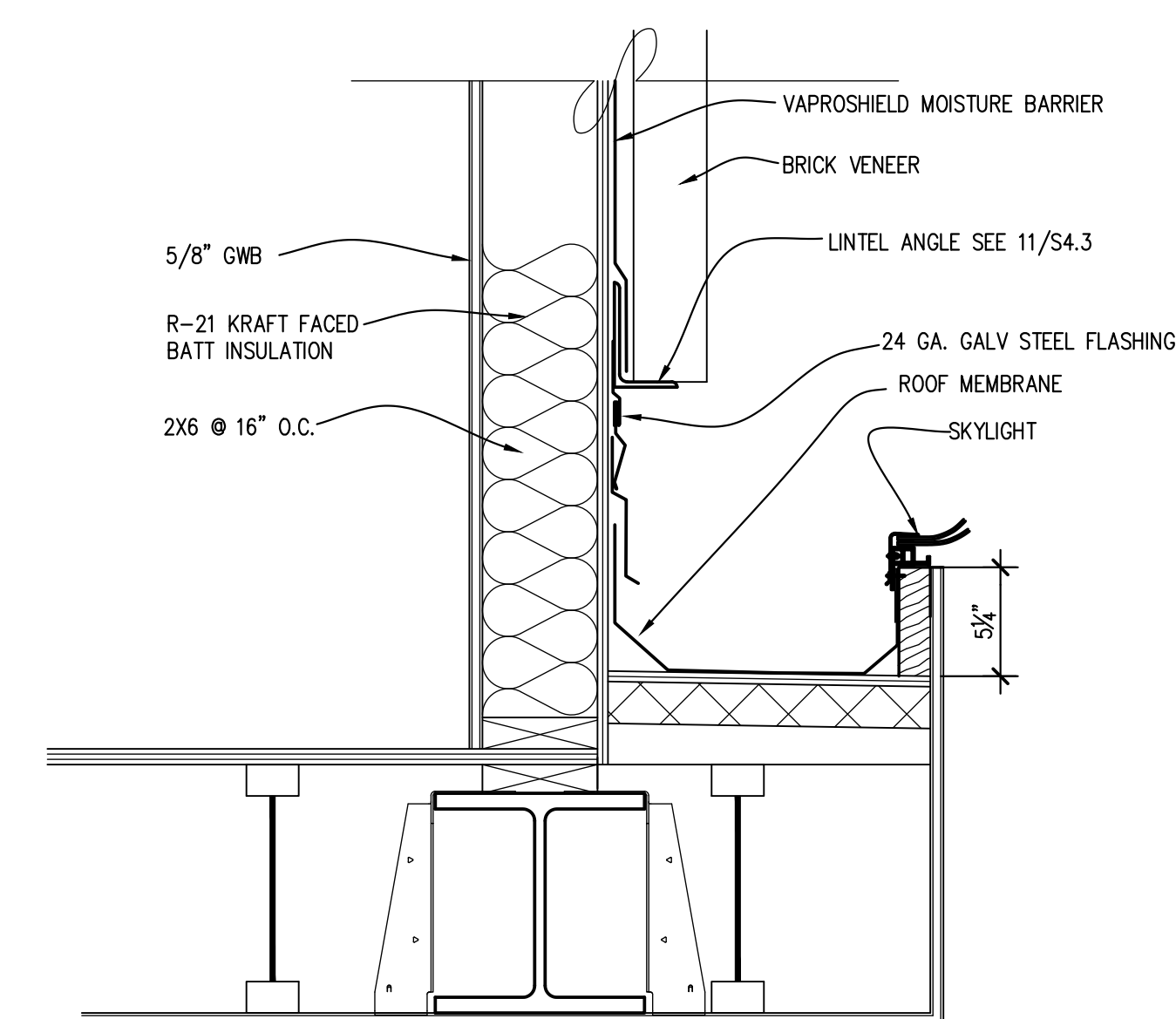
8 GREENHOUSE
1-1/2" = 1'-0"



11 SKYLIGHT
1-1/2" = 1'-0"



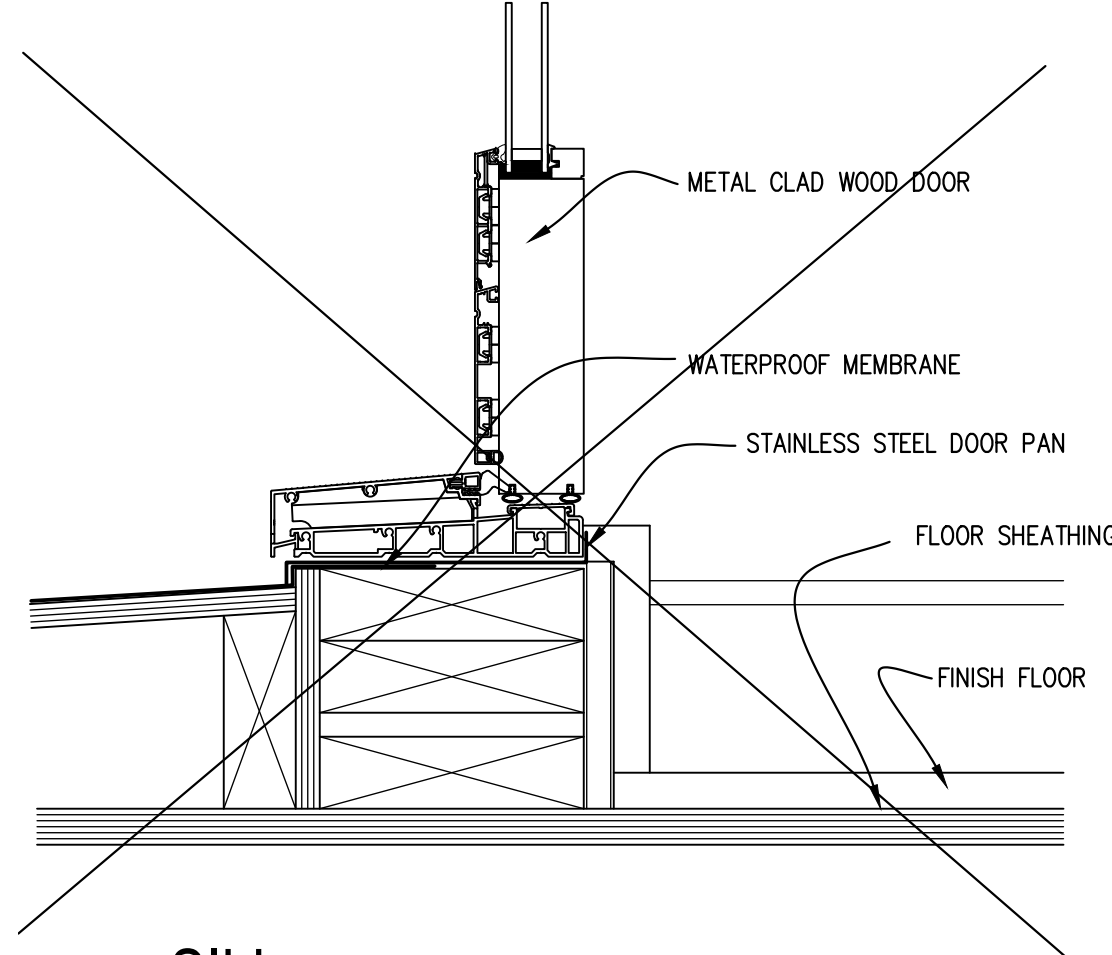
9 SKYLIGHT
1-1/2" = 1'-0"



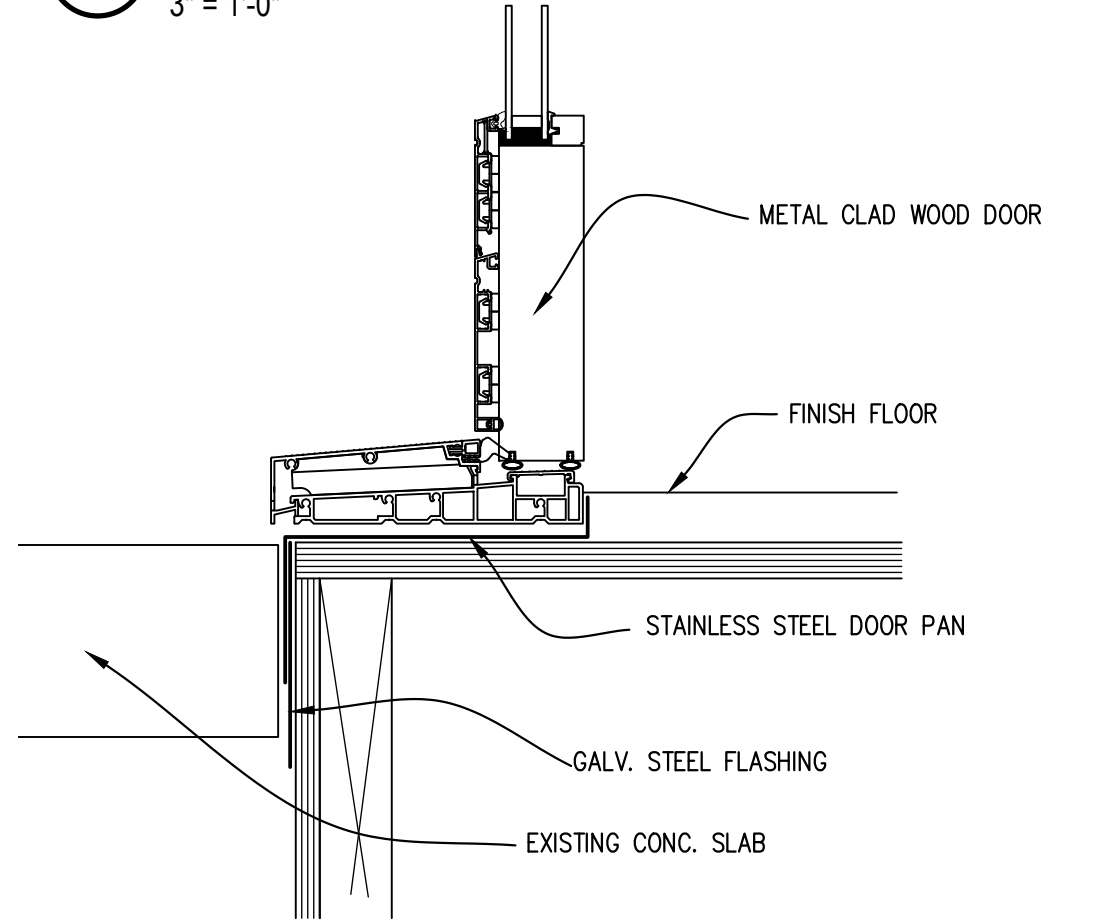
10 SKYLIGHT
1-1/2" = 1'-0"



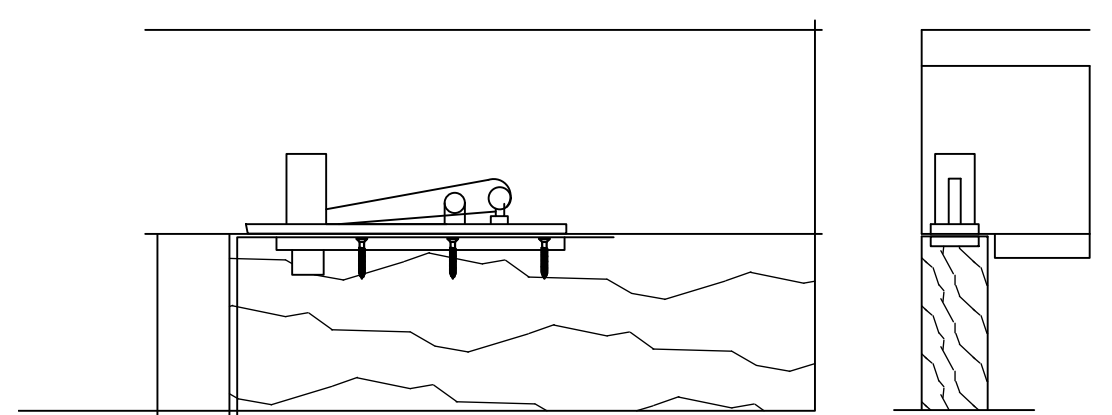
1	10/16/23	RESPONSE
	9/28/23	PRICING SET
No.	Date	Revision



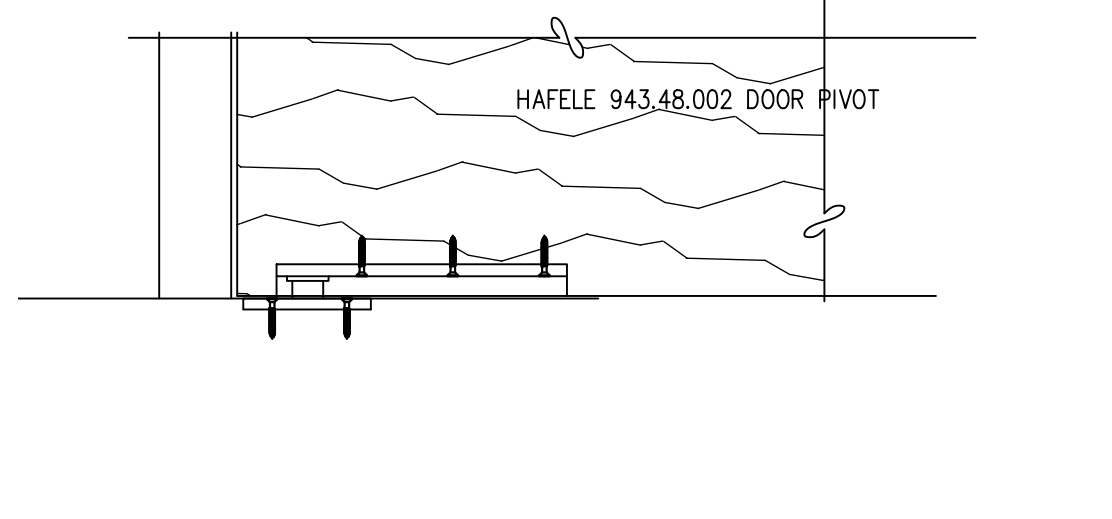
36 SILL
3" = 1'-0"



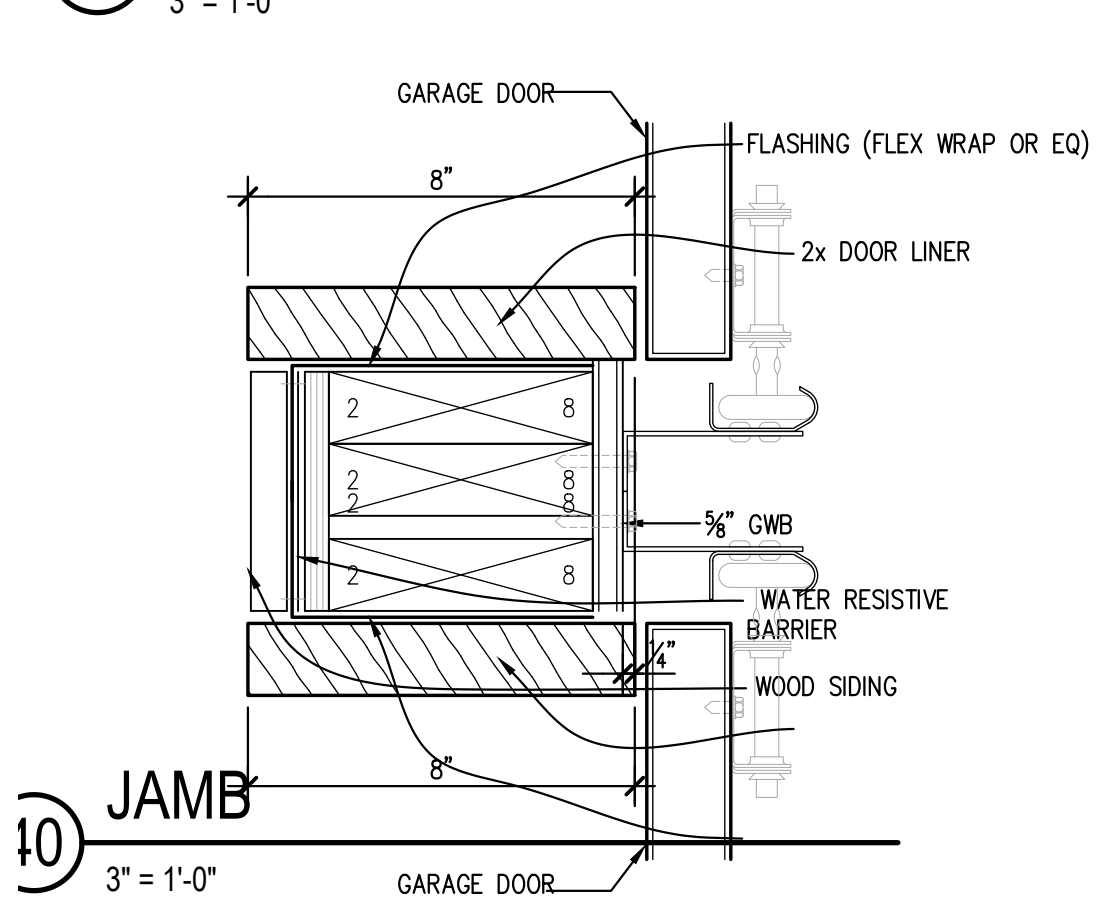
37 THRESHOLD
3" = 1'-0"



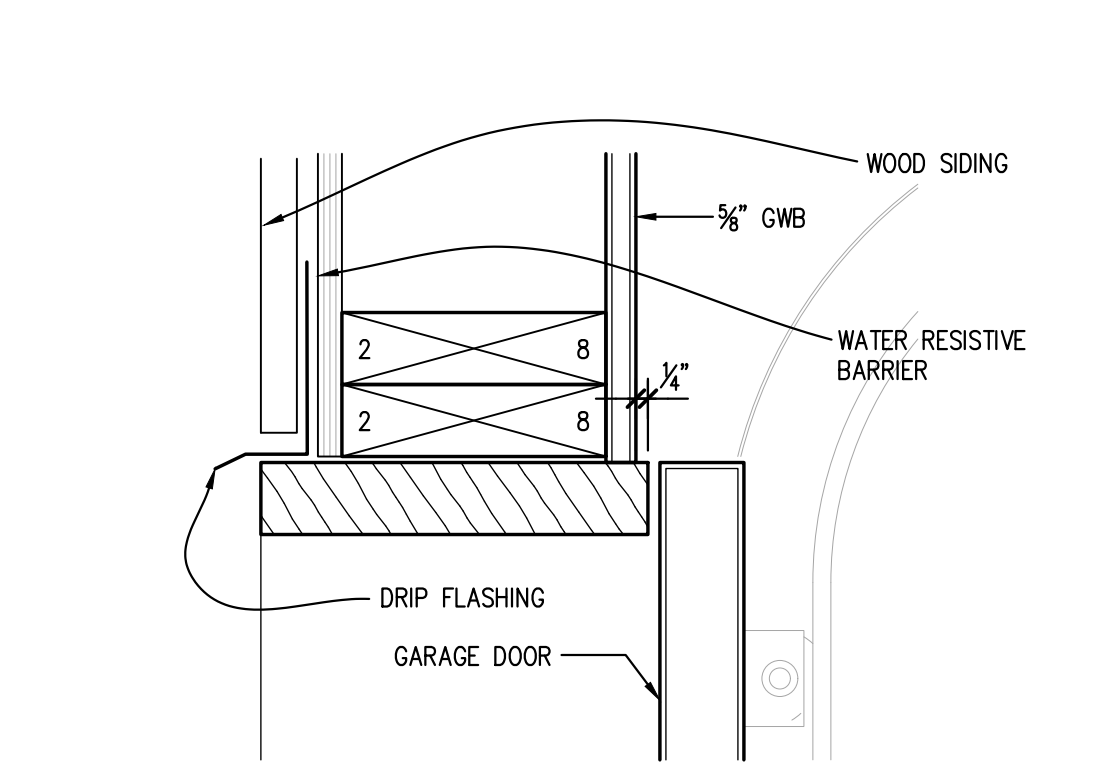
38 HEAD
3" = 1'-0"



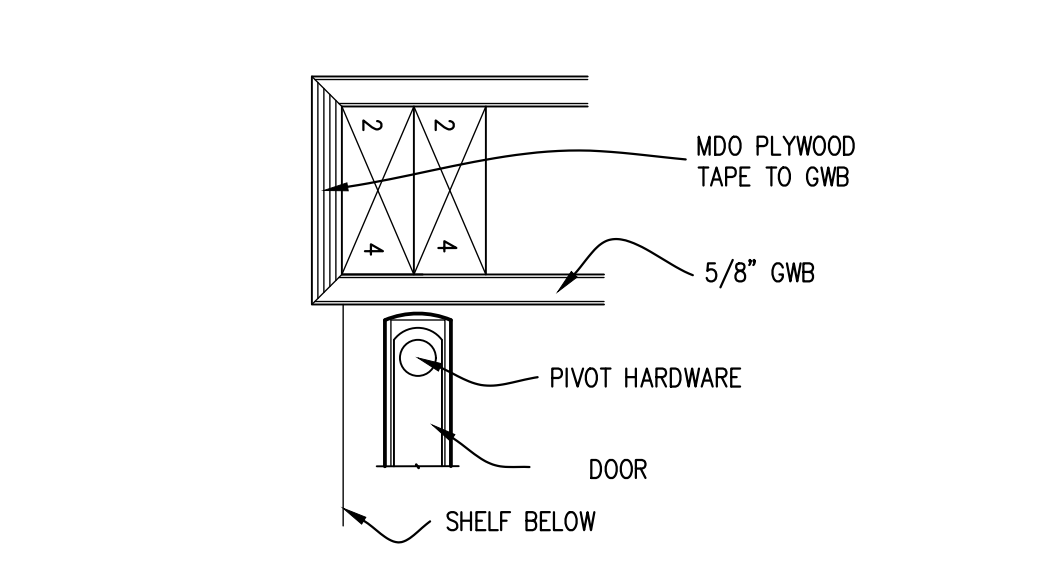
39 THRESHOLD
3" = 1'-0"



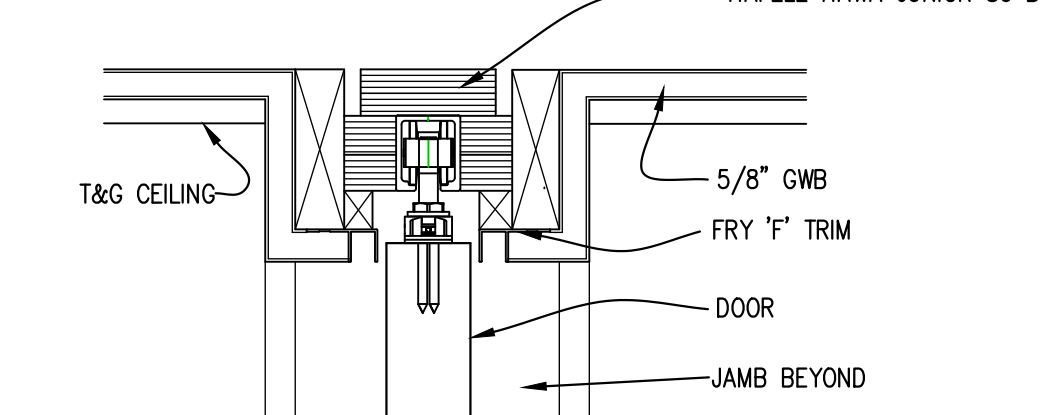
10 JAMB
3" = 1'-0"



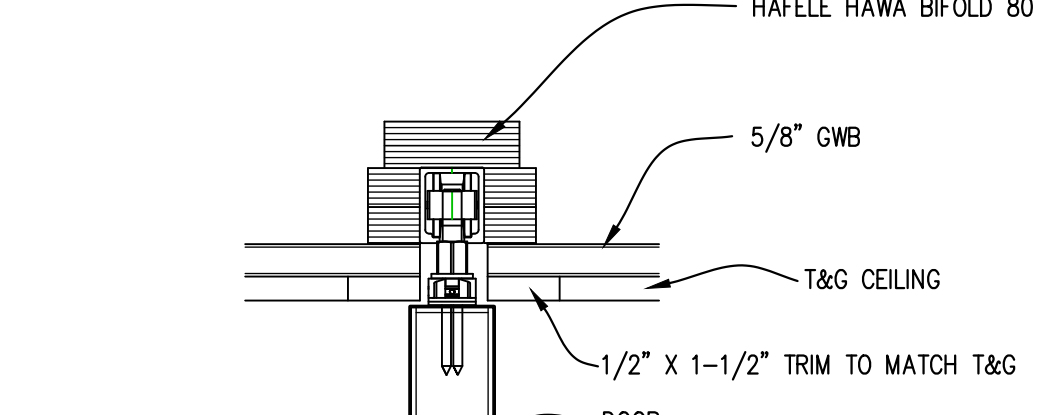
1 HEAD
3" = 1'-0"



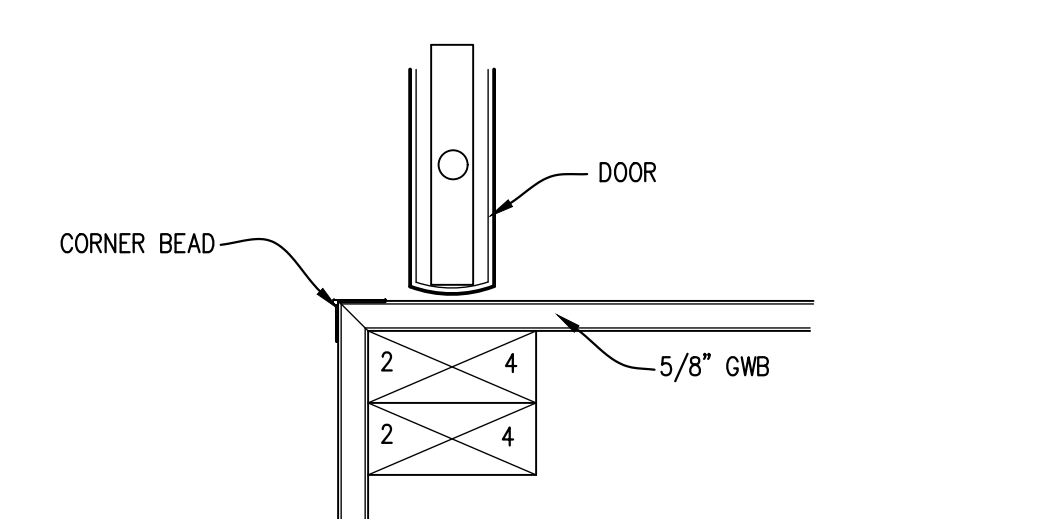
29 JAMB
3" = 1'-0"



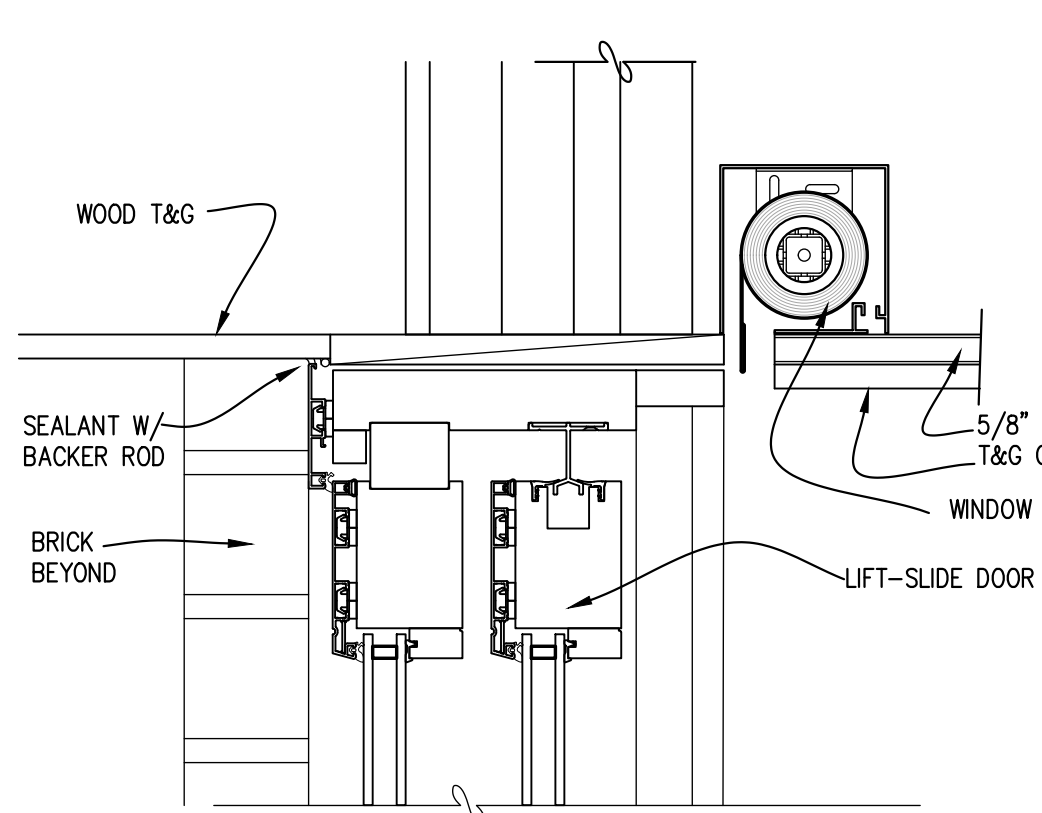
30 HEAD
3" = 1'-0"



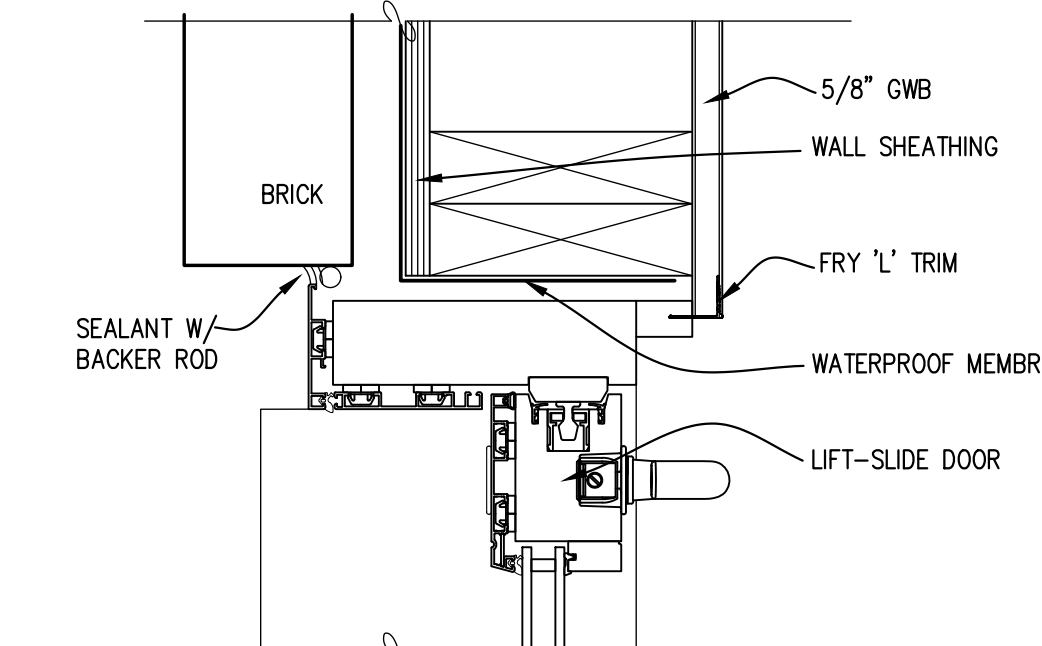
31 HEAD
3" = 1'-0"



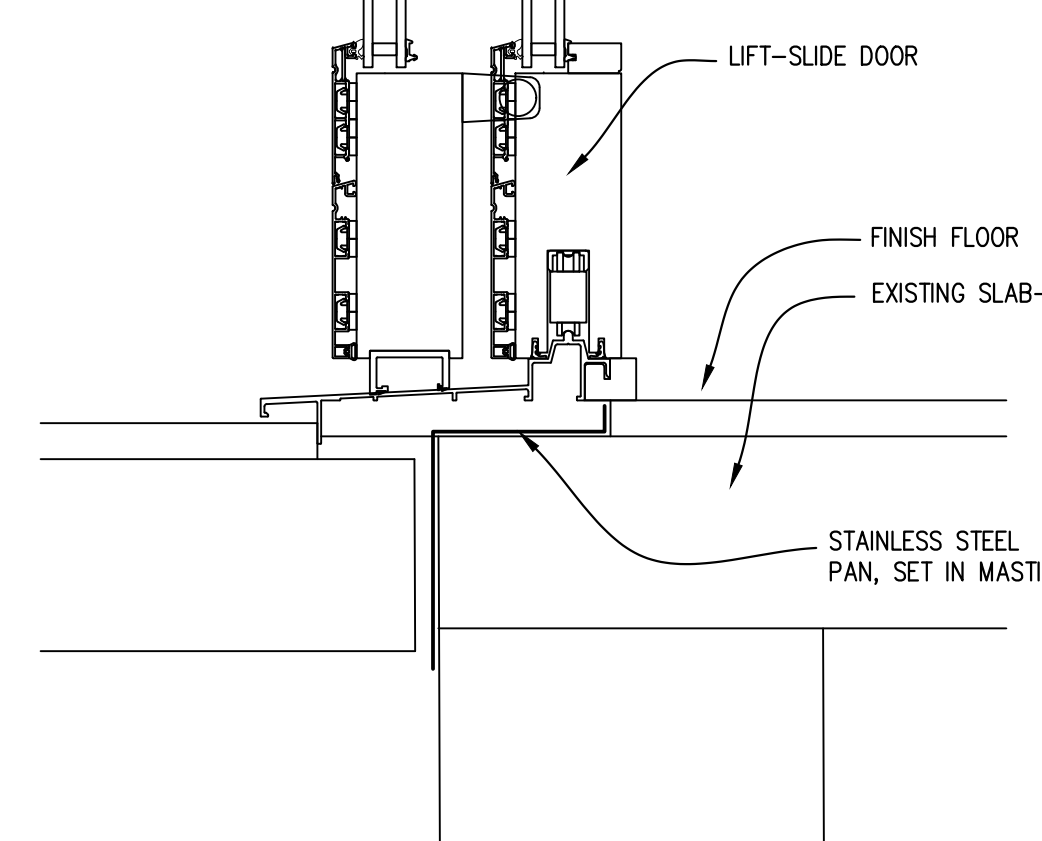
32 JAMB
3" = 1'-0"



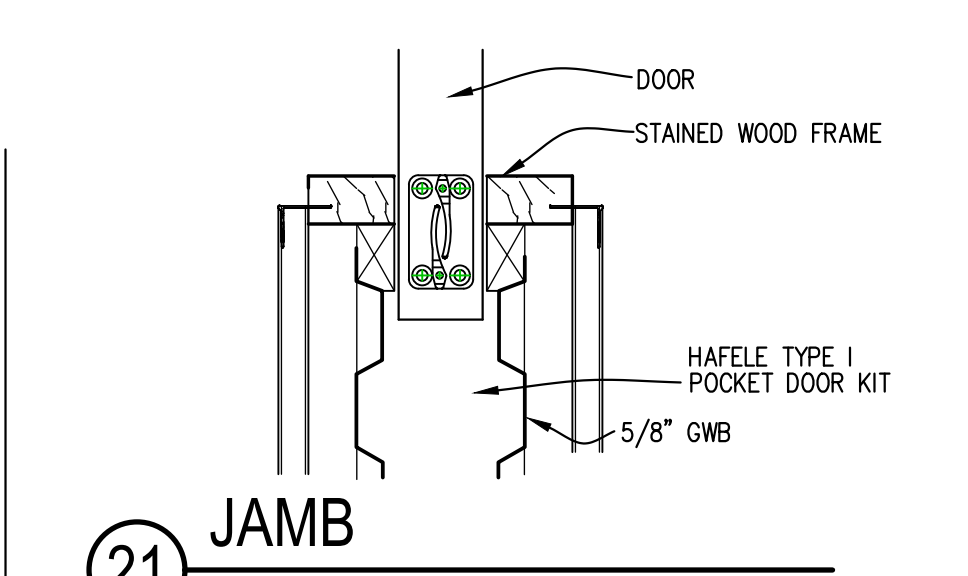
33 HEAD
3" = 1'-0"



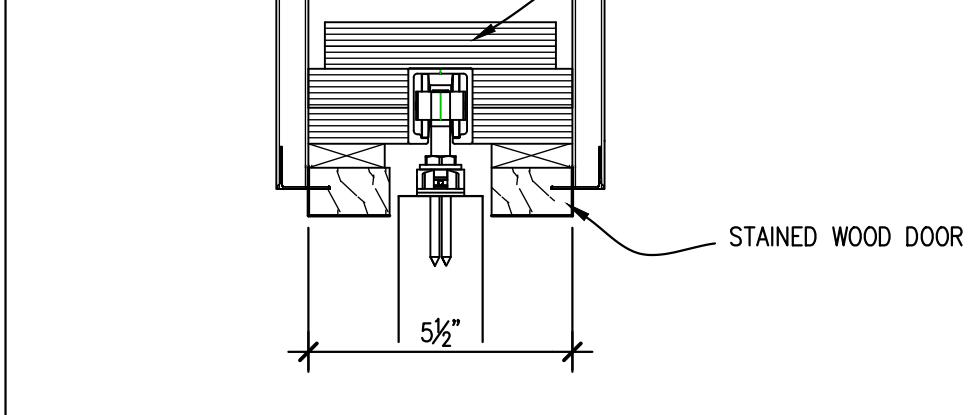
34 JAMB
3" = 1'-0"



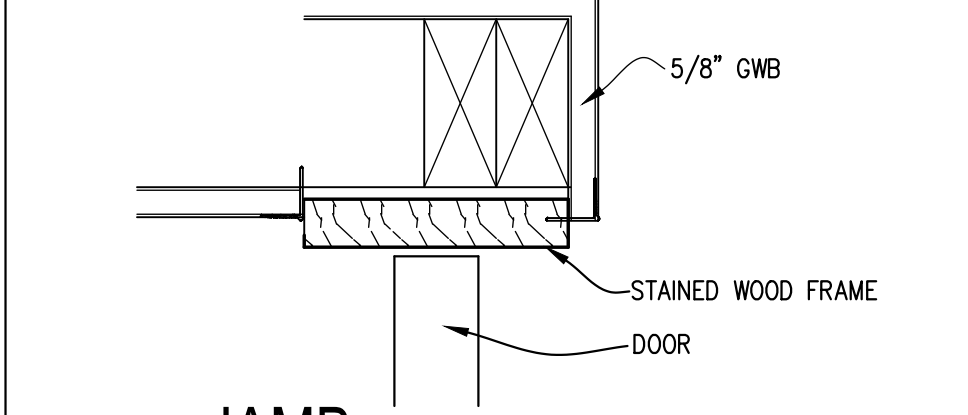
35 SILL
3" = 1'-0"



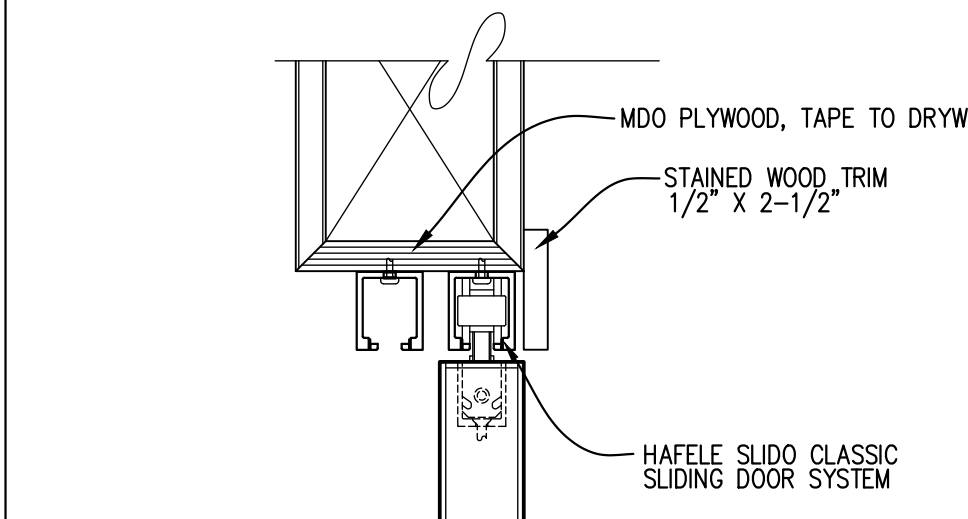
21 JAMB
3" = 1'-0"



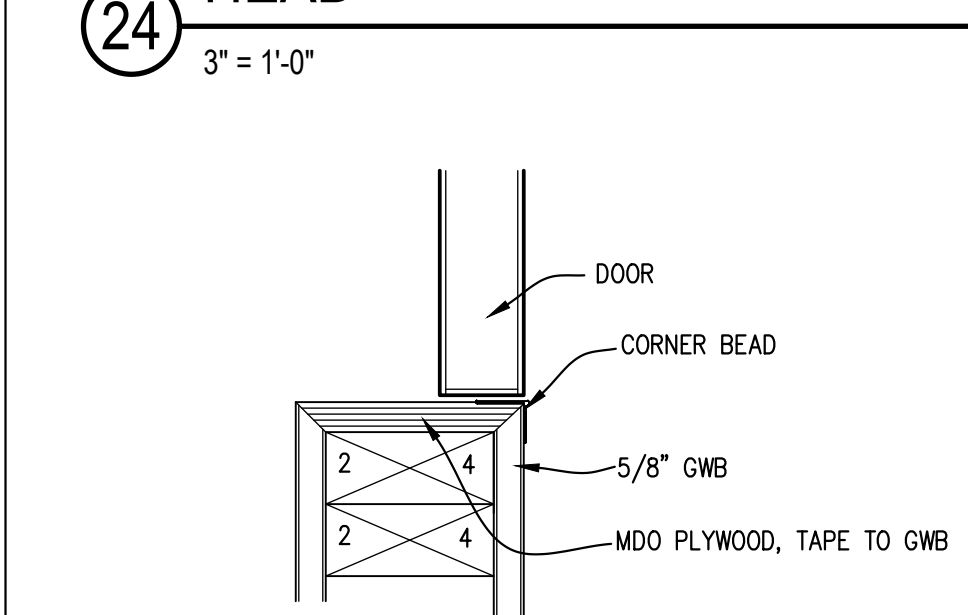
22 HEAD
3" = 1'-0"



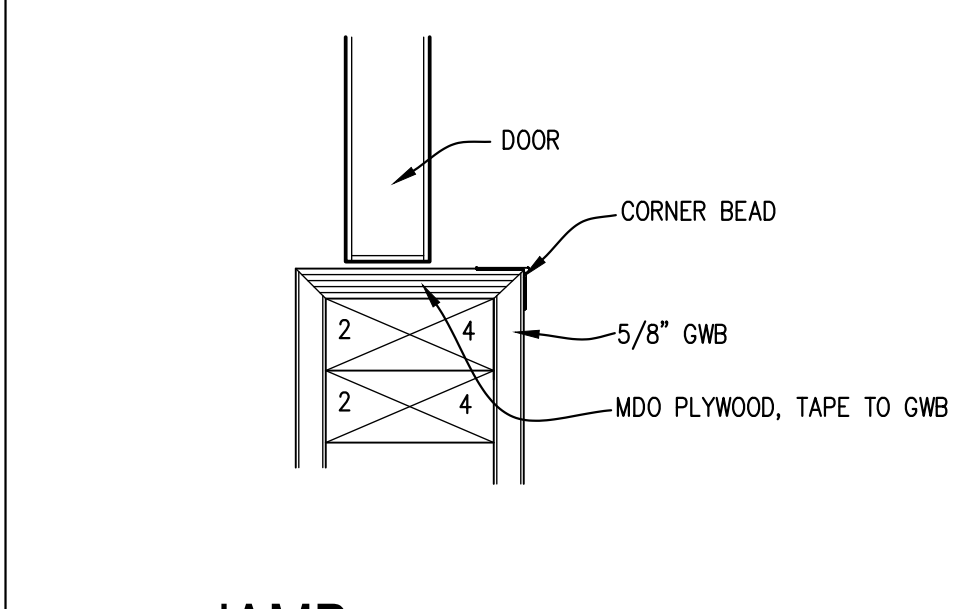
23 JAMB
3" = 1'-0"



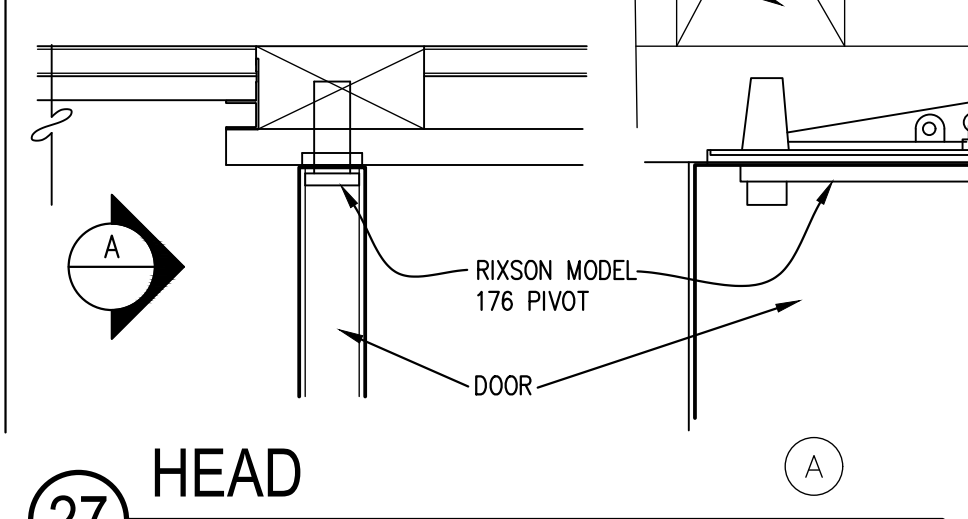
24 HEAD
3" = 1'-0"



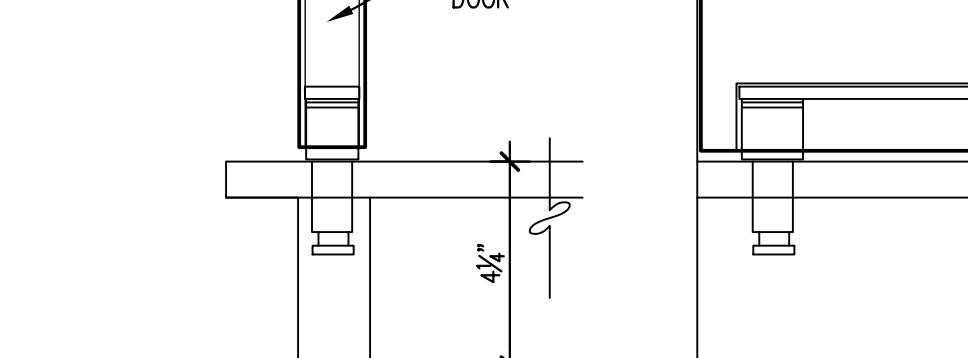
25 JAMB
3" = 1'-0"



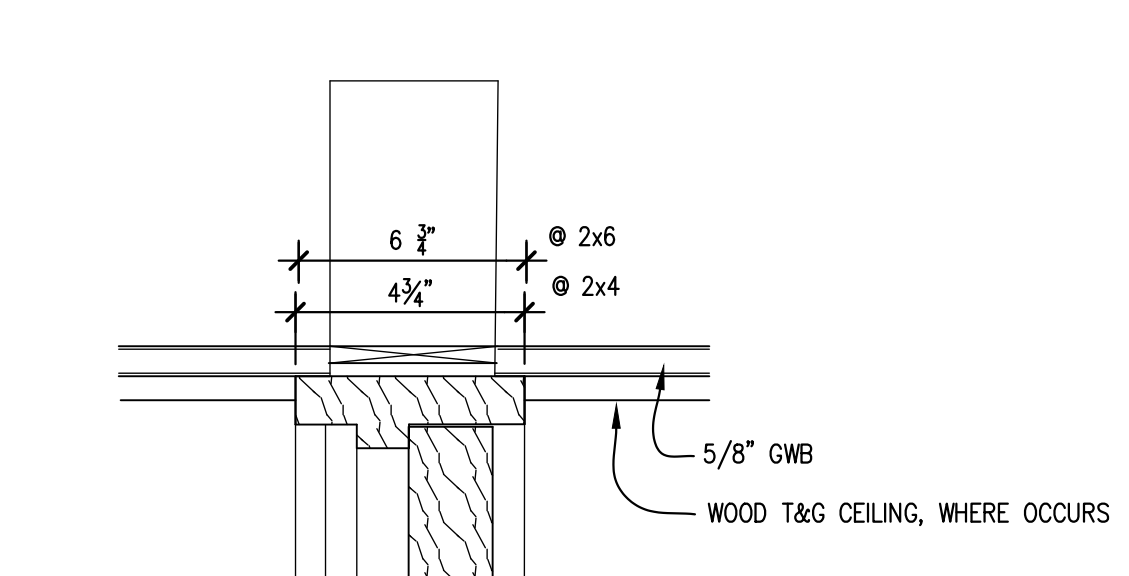
26 JAMB
3" = 1'-0"



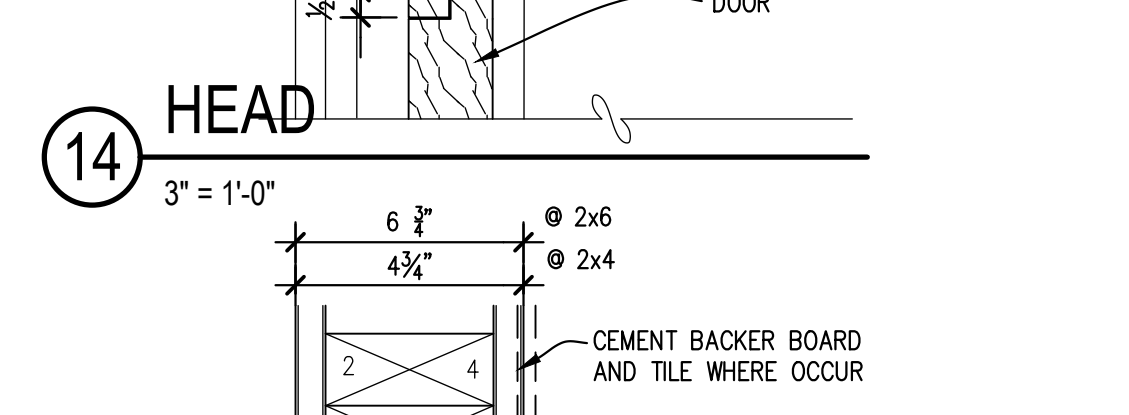
27 HEAD
3" = 1'-0"



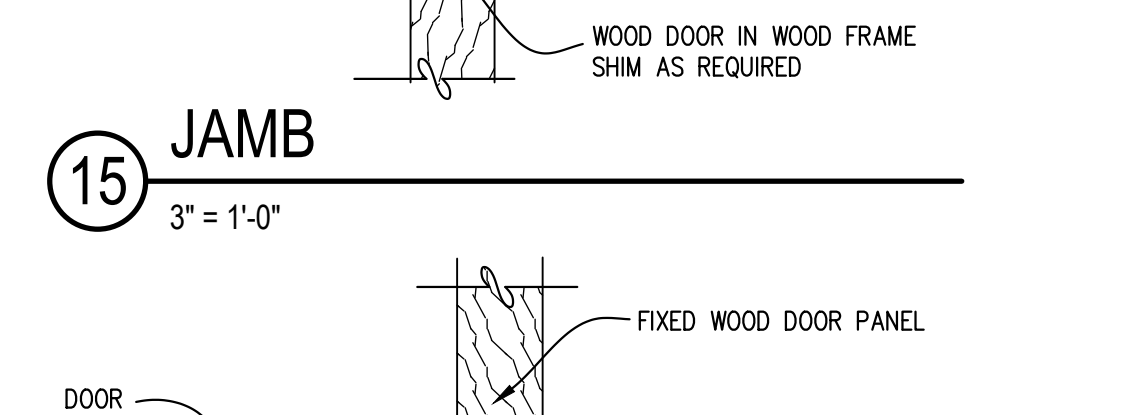
28 SILL
3" = 1'-0"



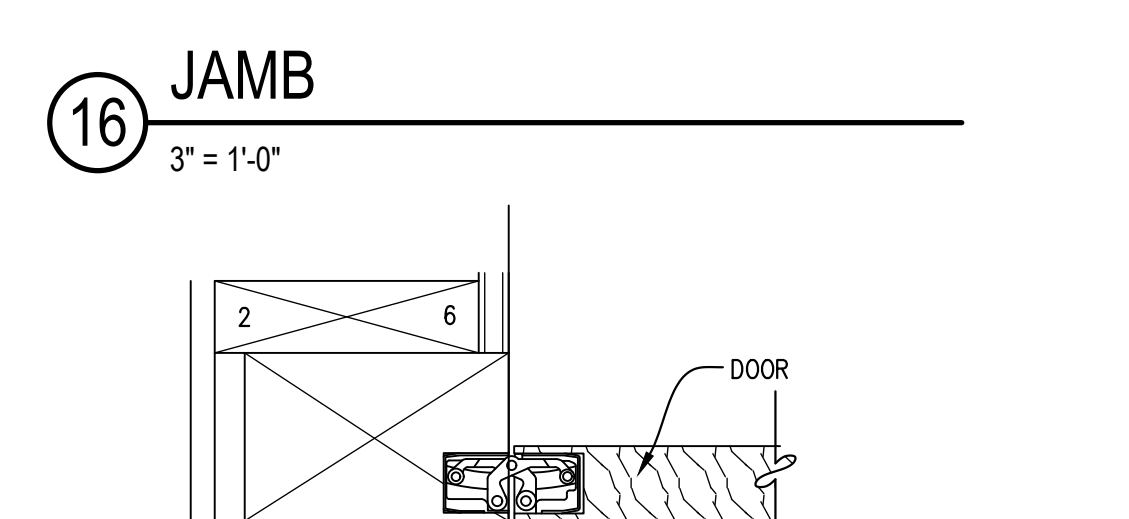
14 HEAD
3" = 1'-0"



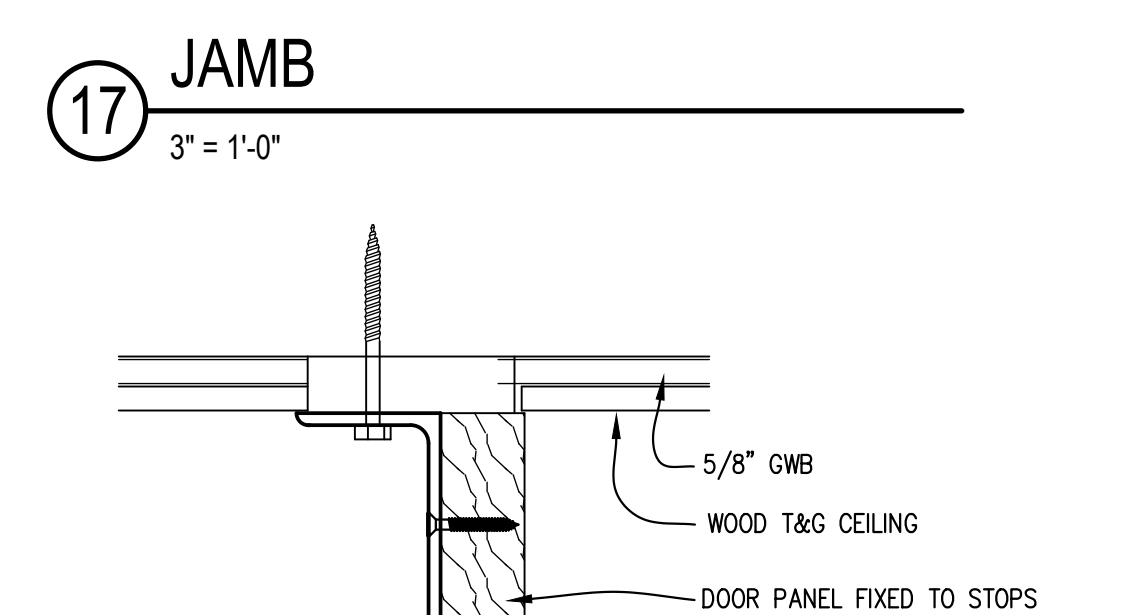
15 JAMB
3" = 1'-0"



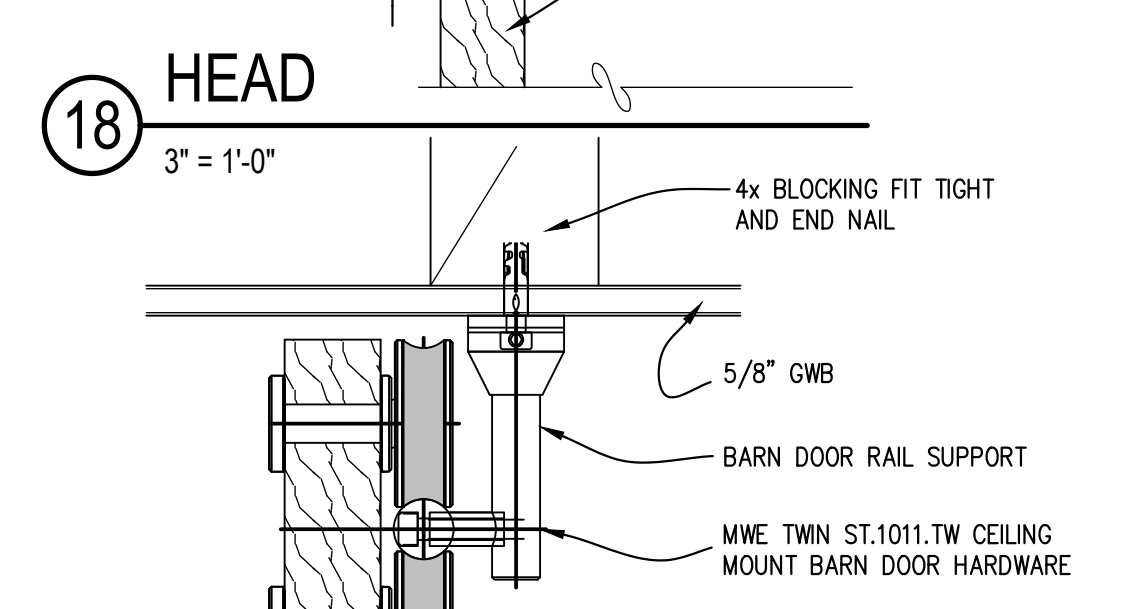
16 JAMB
3" = 1'-0"



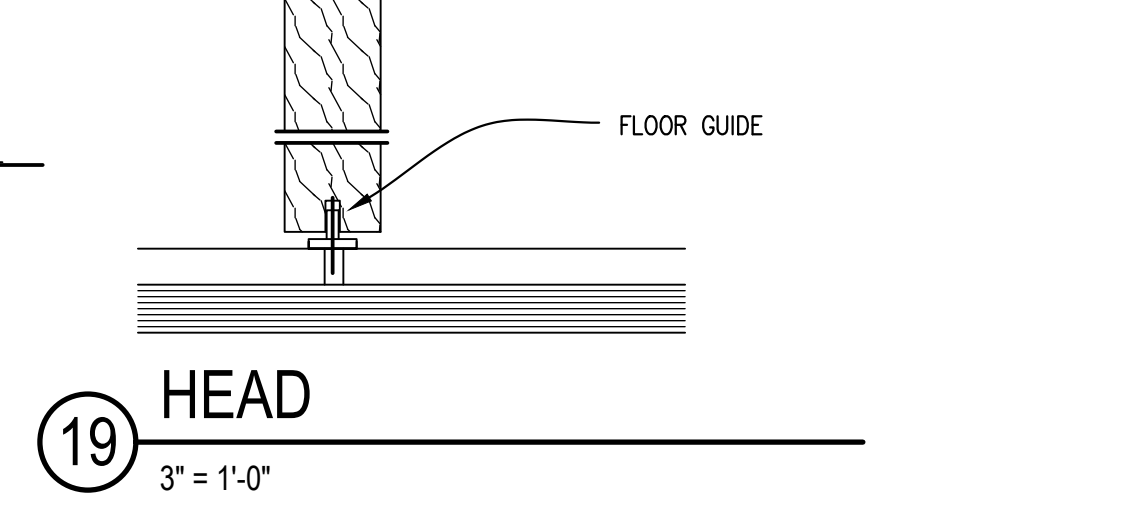
17 JAMB
3" = 1'-0"



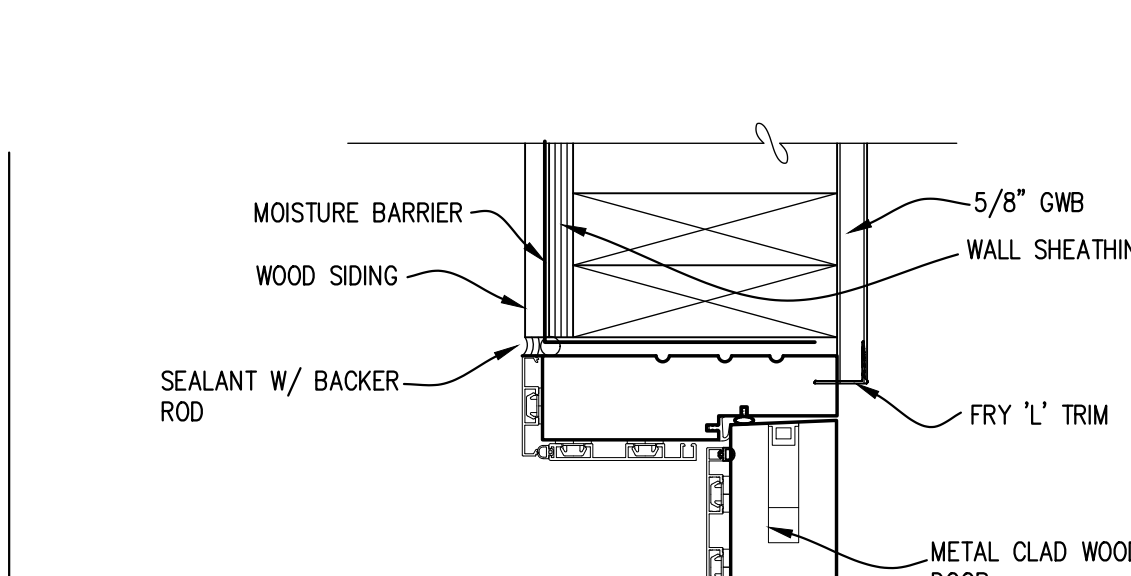
18 HEAD
3" = 1'-0"



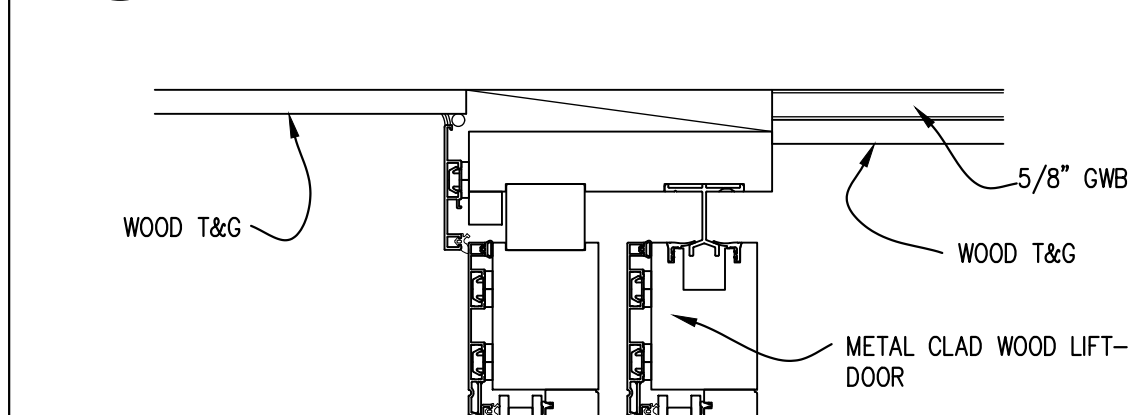
19 HEAD
3" = 1'-0"



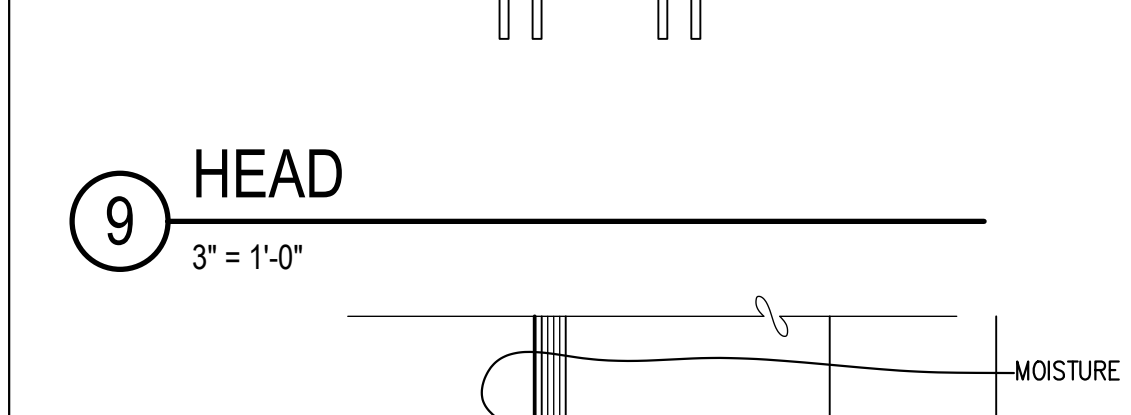
20 JAMB
3" = 1'-0"



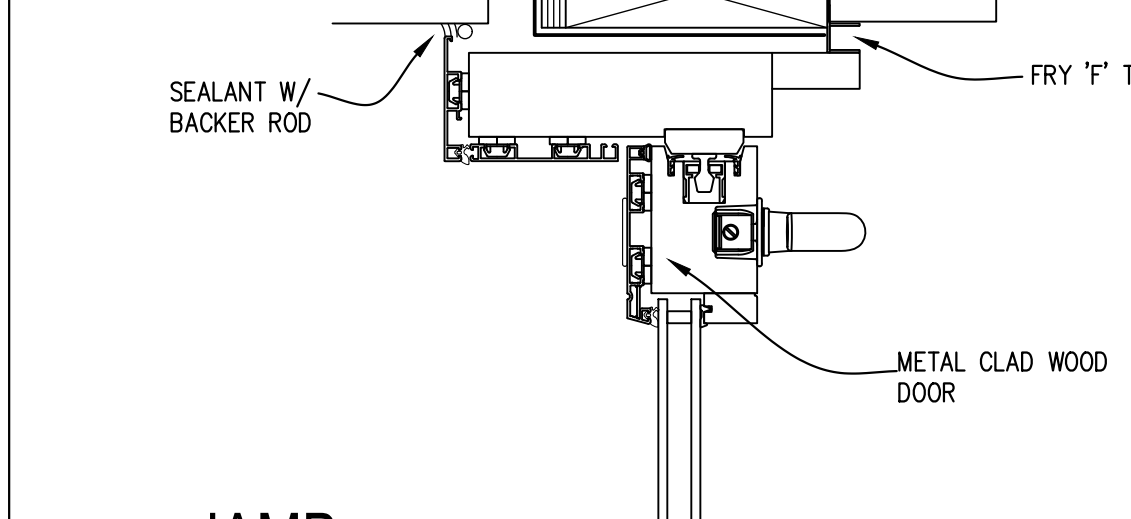
8 JAMB
3" = 1'-0"



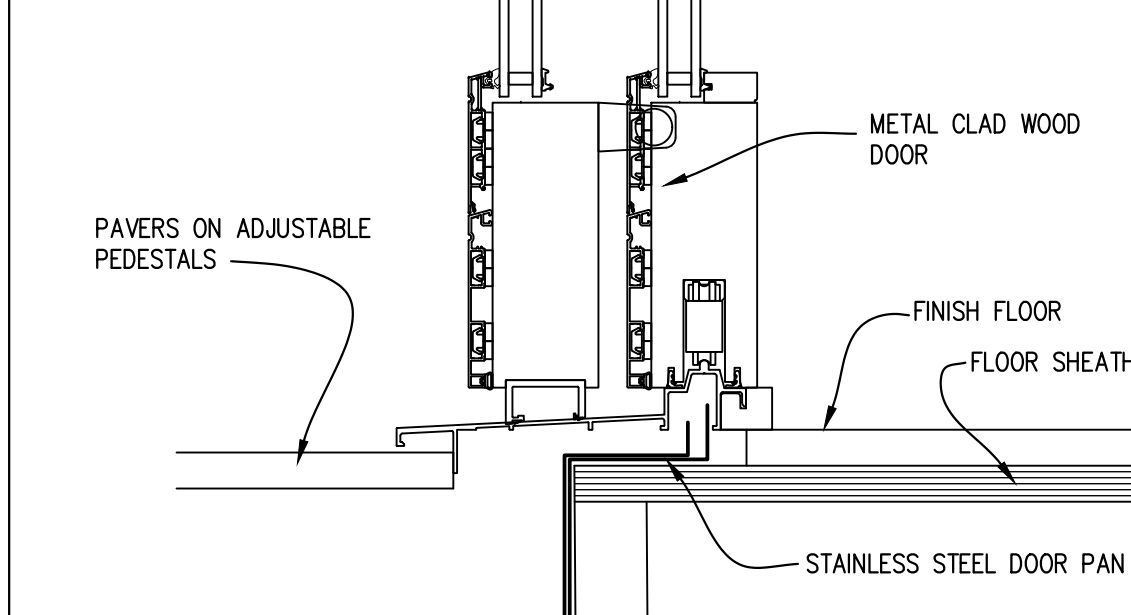
9 HEAD
3" = 1'-0"



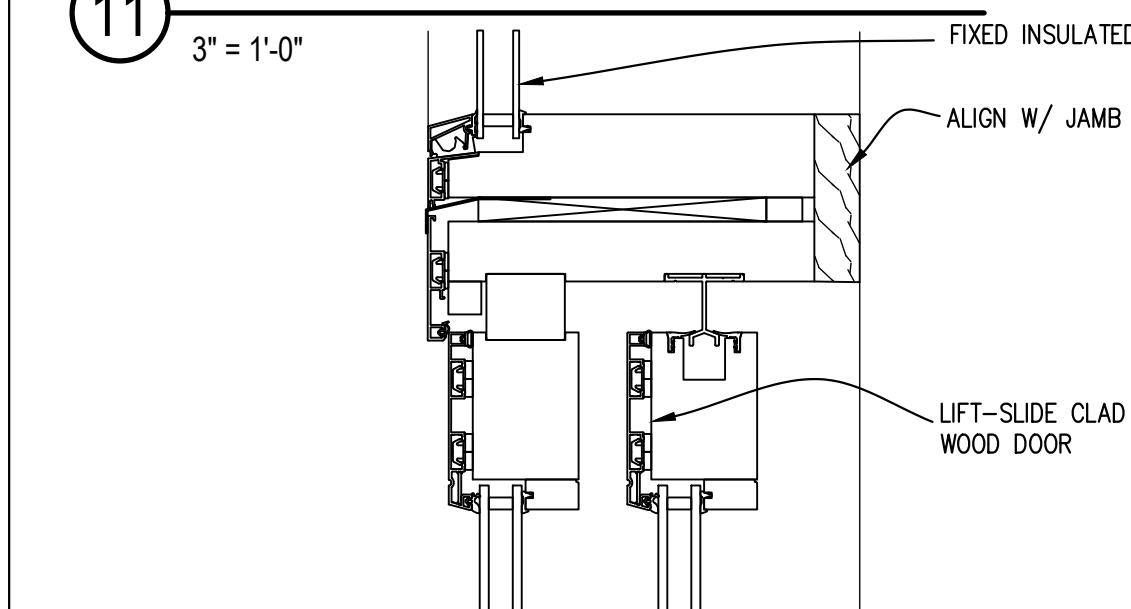
10 JAMB
3" = 1'-0"



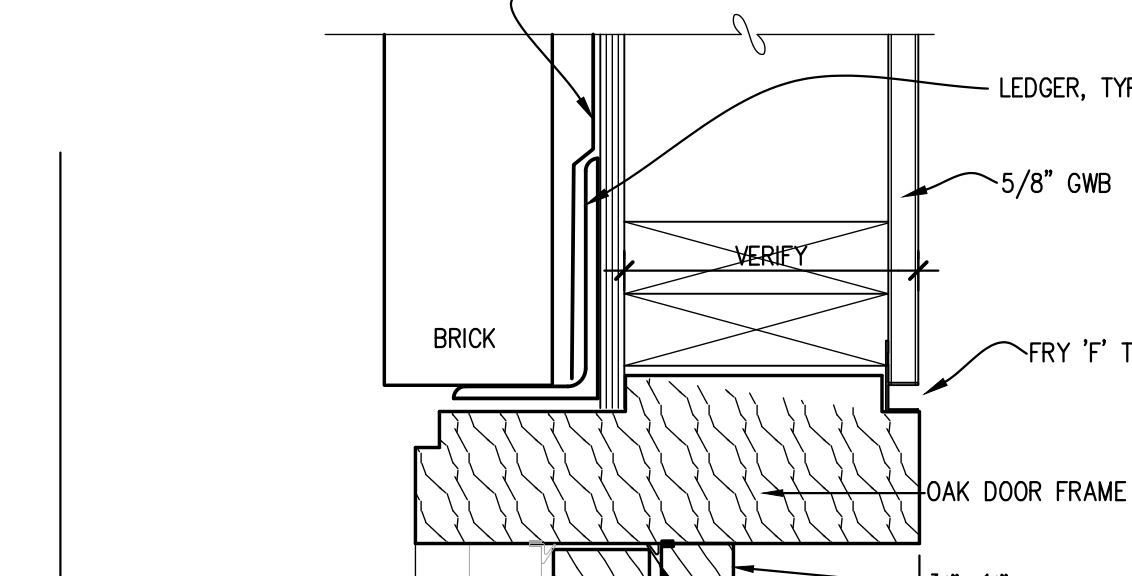
11 THRESHOLD
3" = 1'-0"



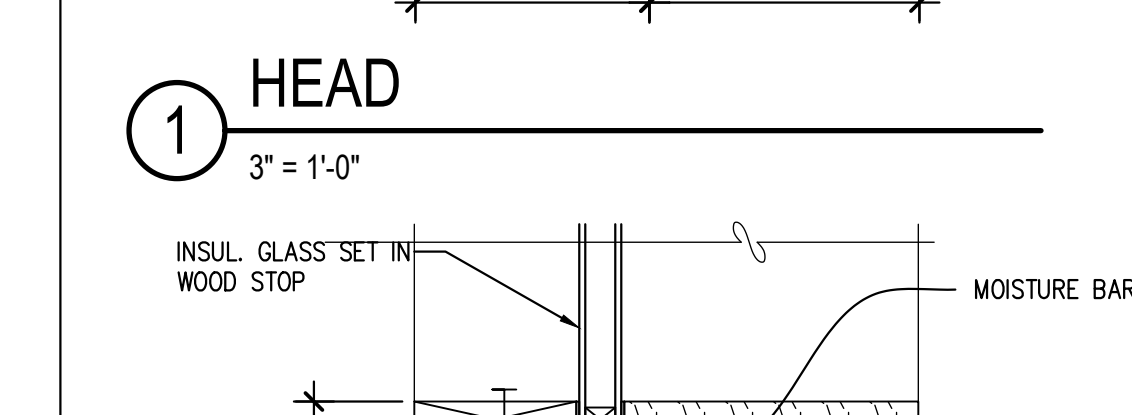
12 HEAD
3" = 1'-0"



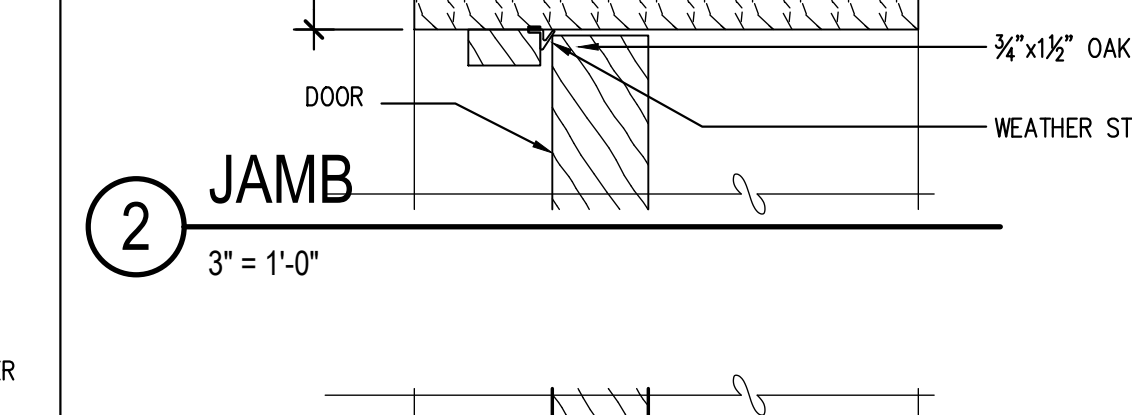
13 HEAD/JAMB SIM.
3" = 1'-0"



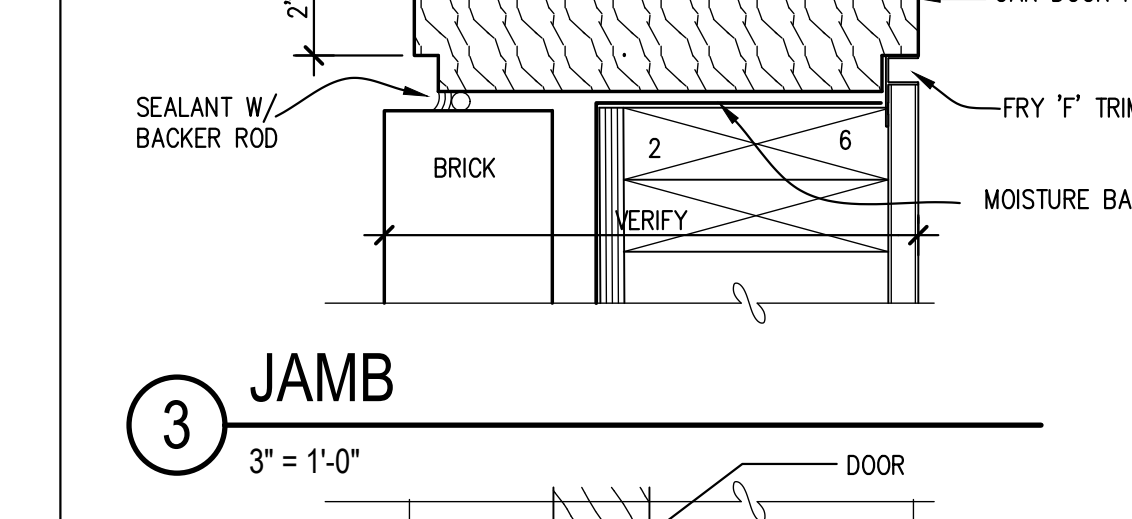
1 HEAD
3" = 1'-0"



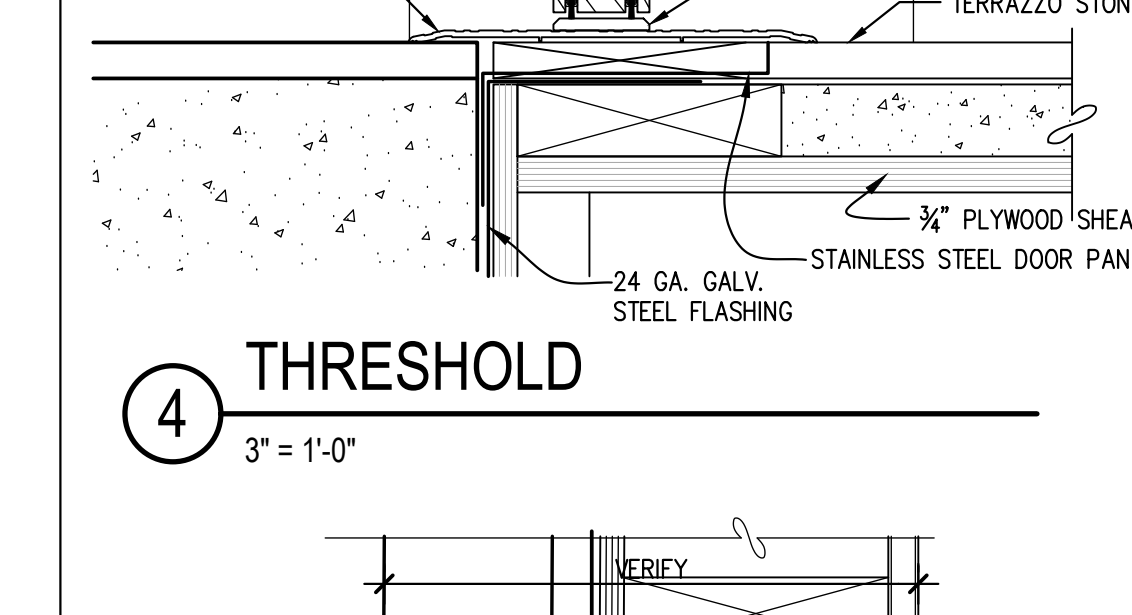
2 JAMB
3" = 1'-0"



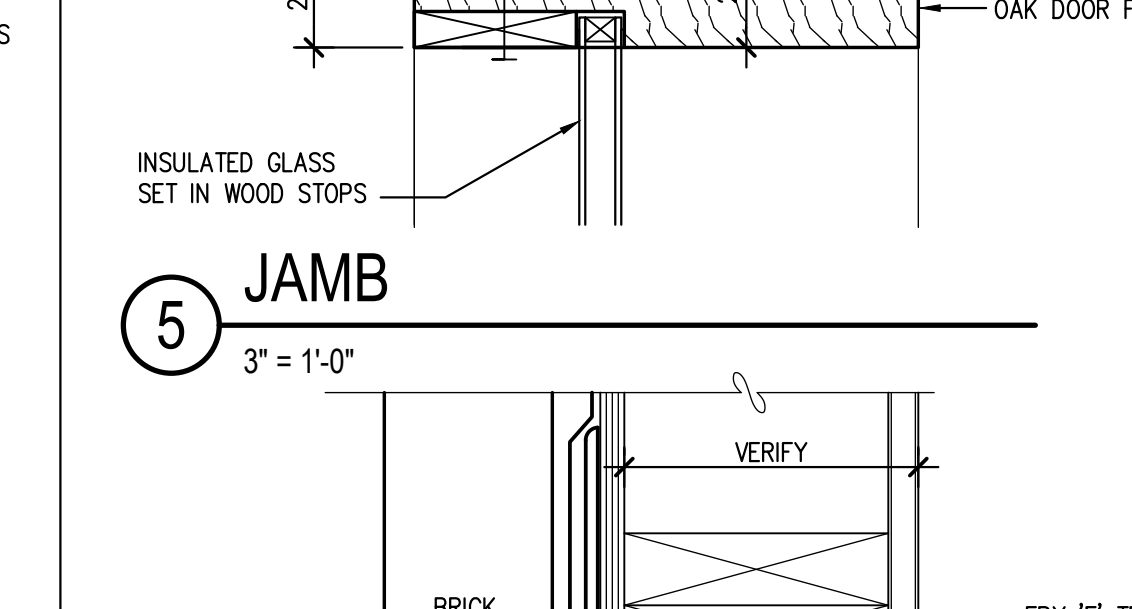
3 JAMB
3" = 1'-0"



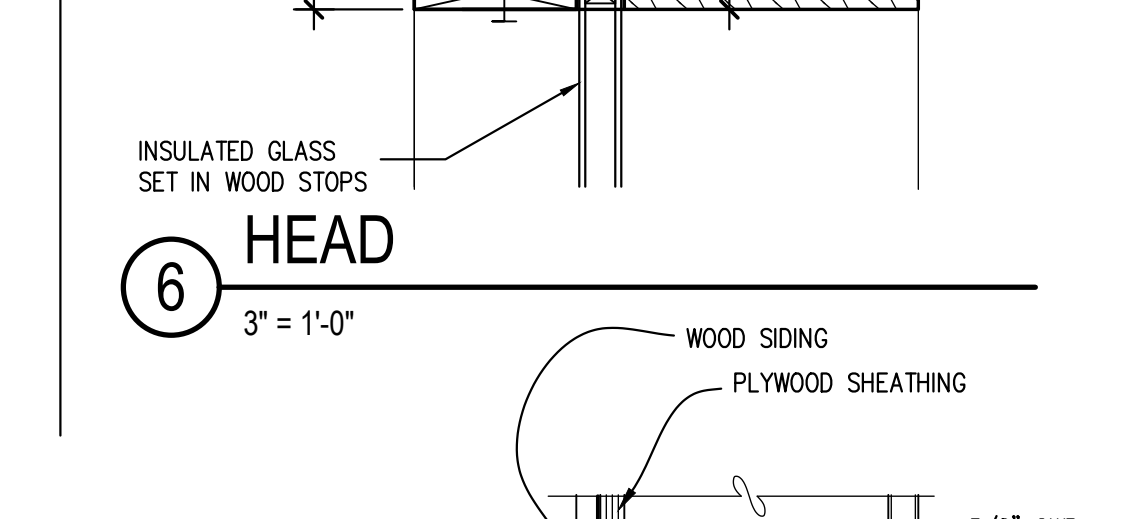
4 THRESHOLD
3" = 1'-0"



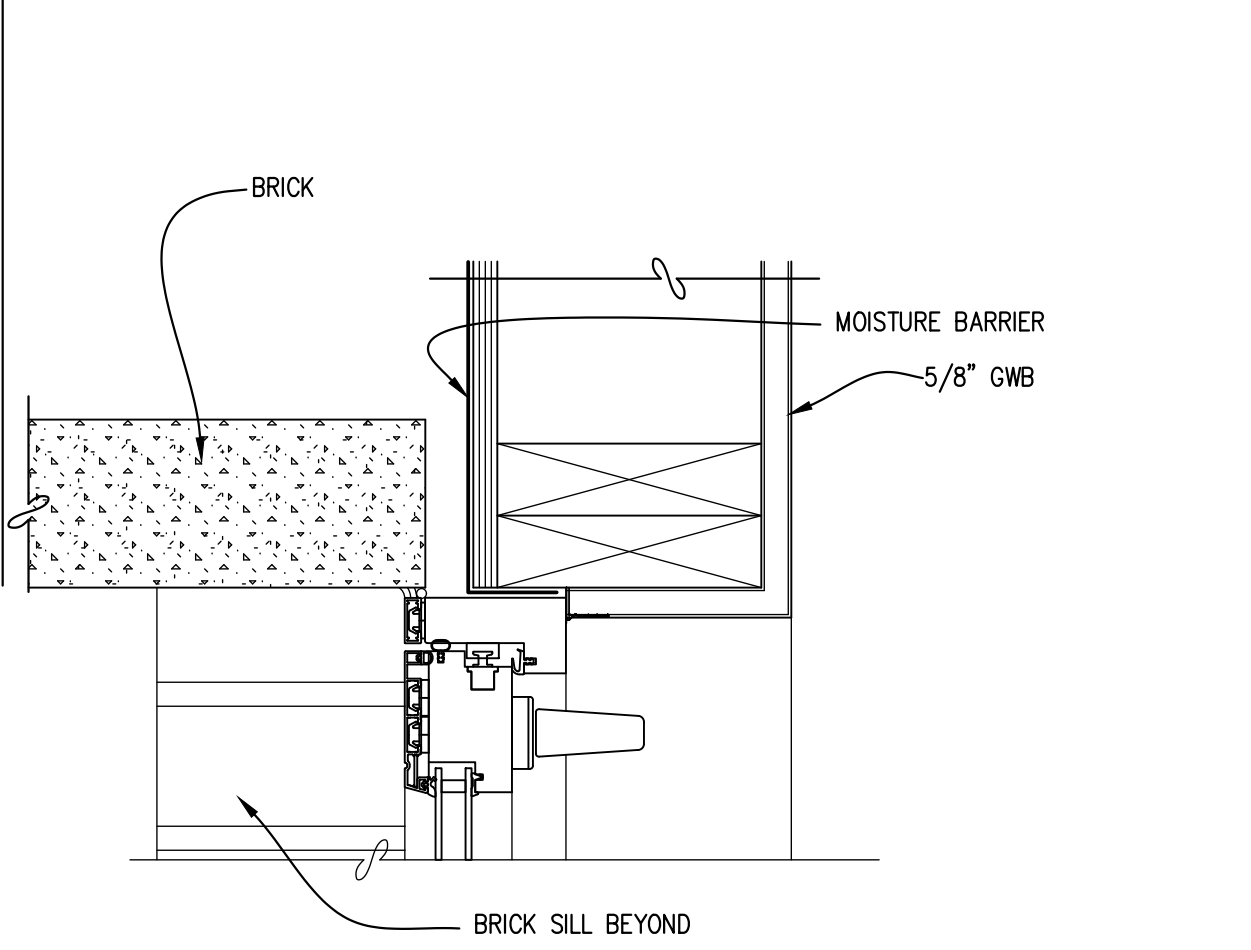
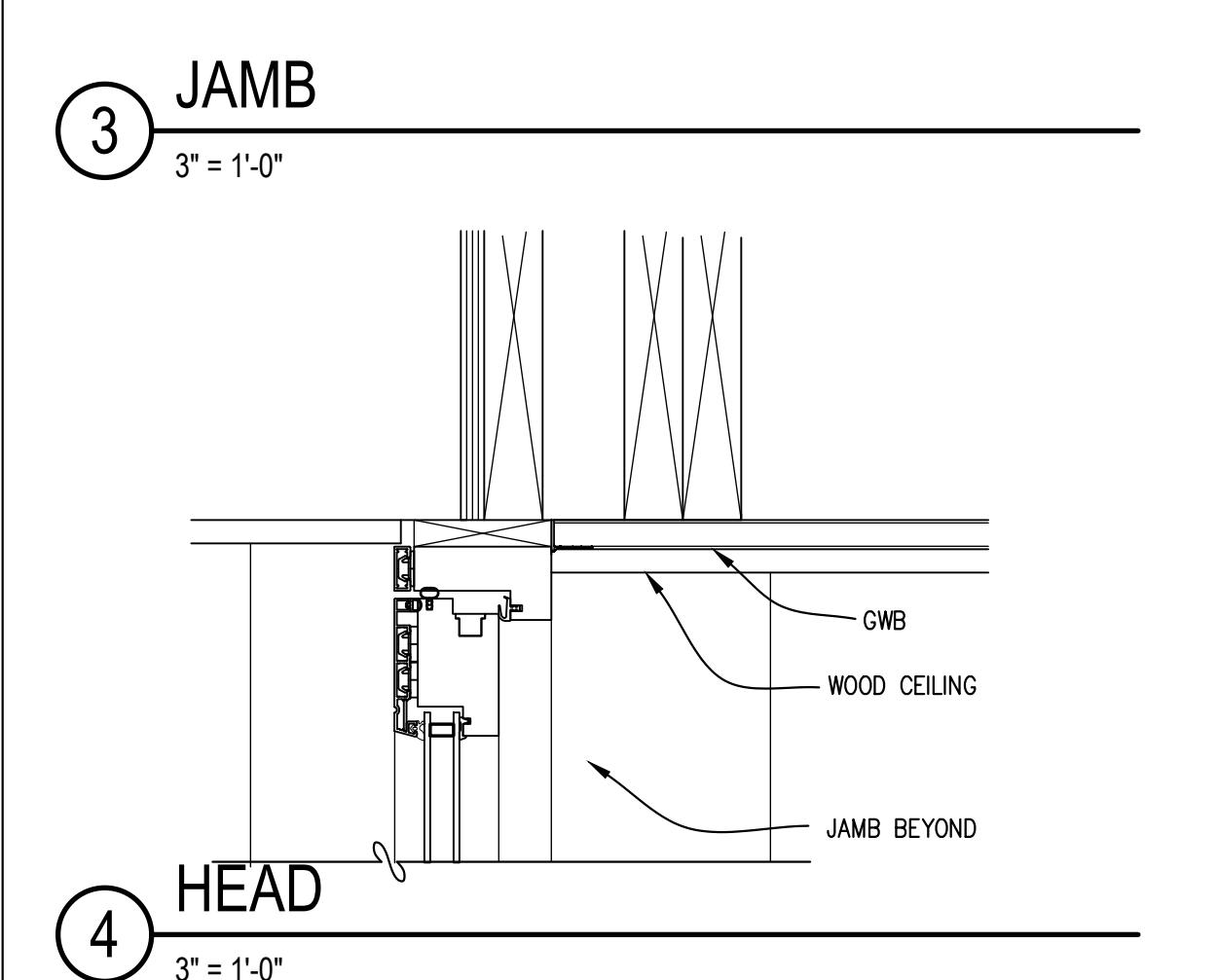
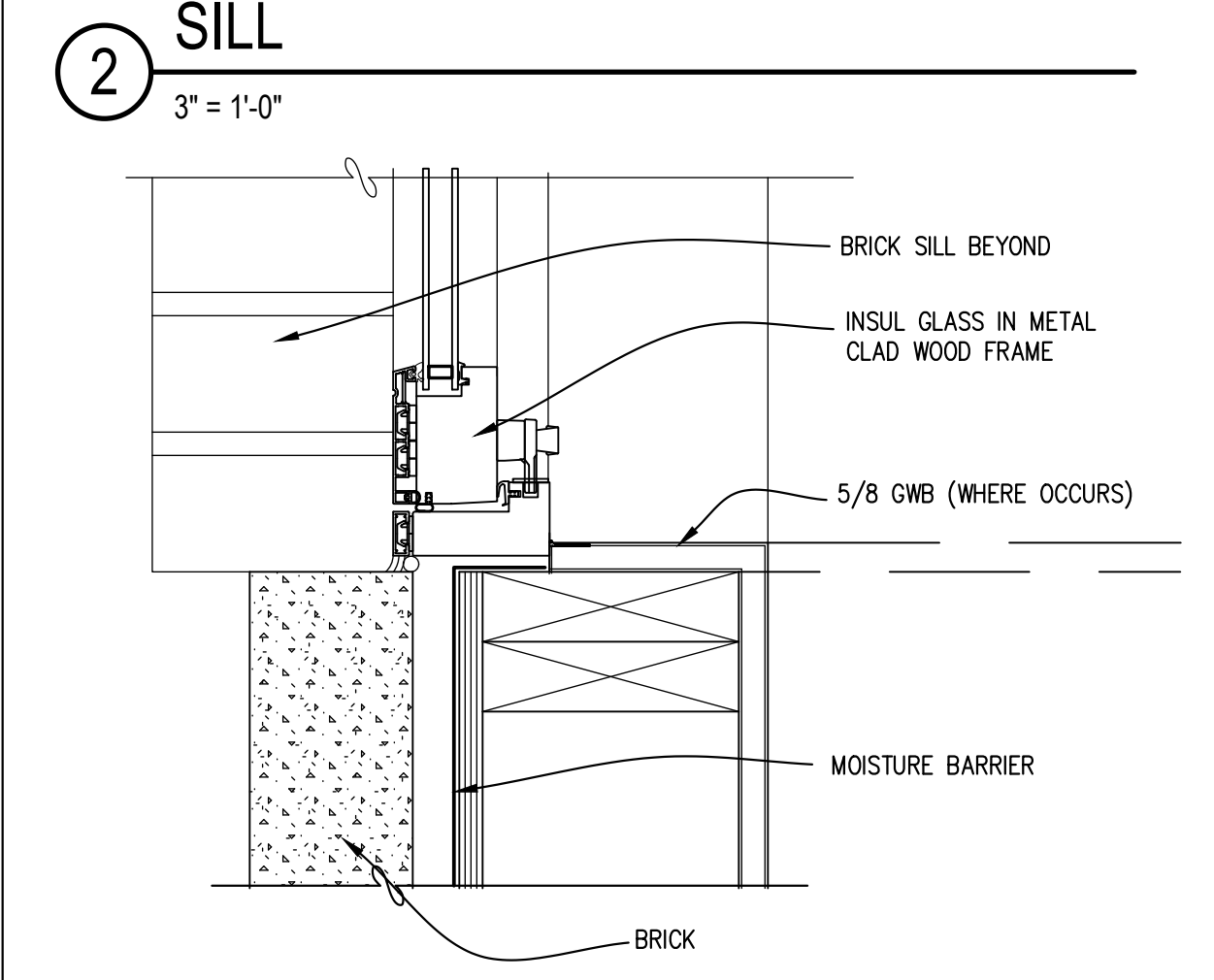
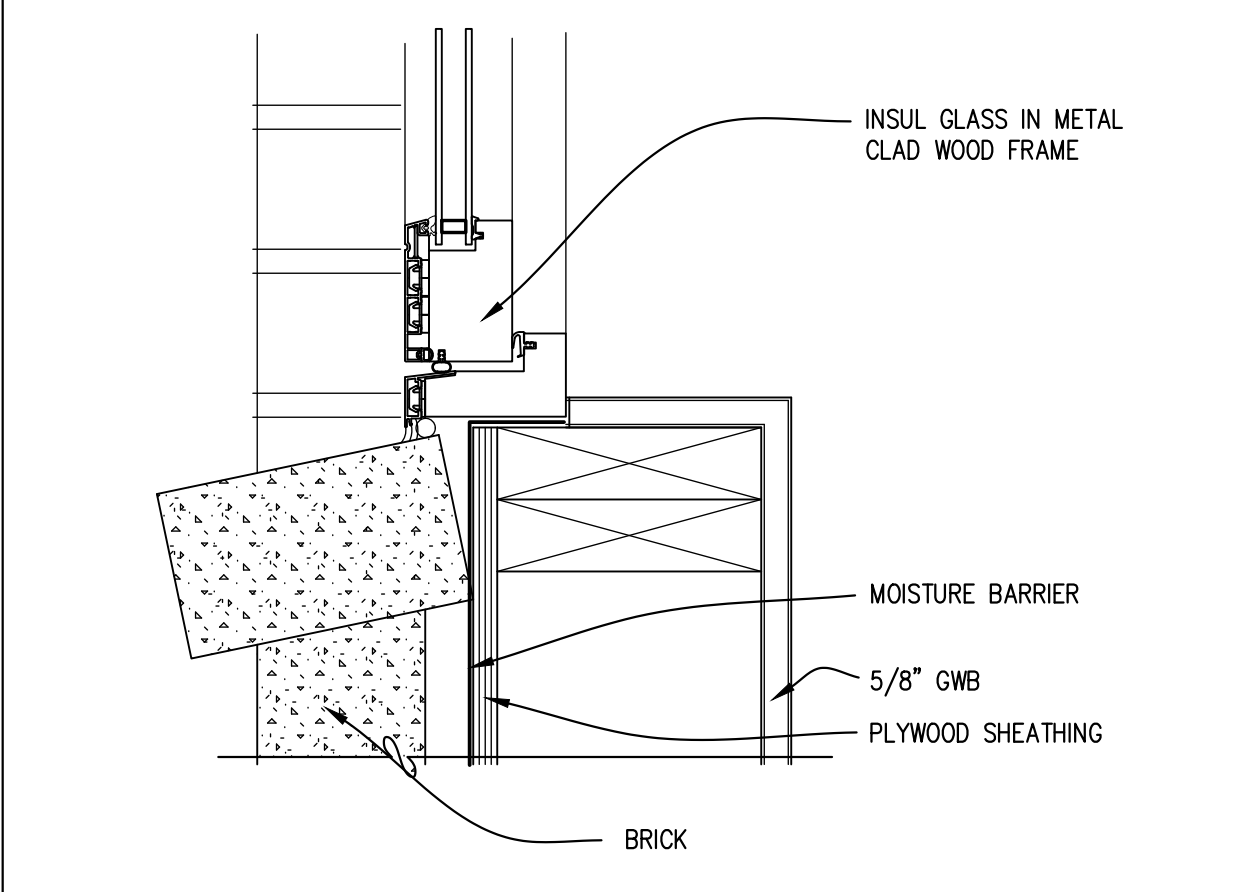
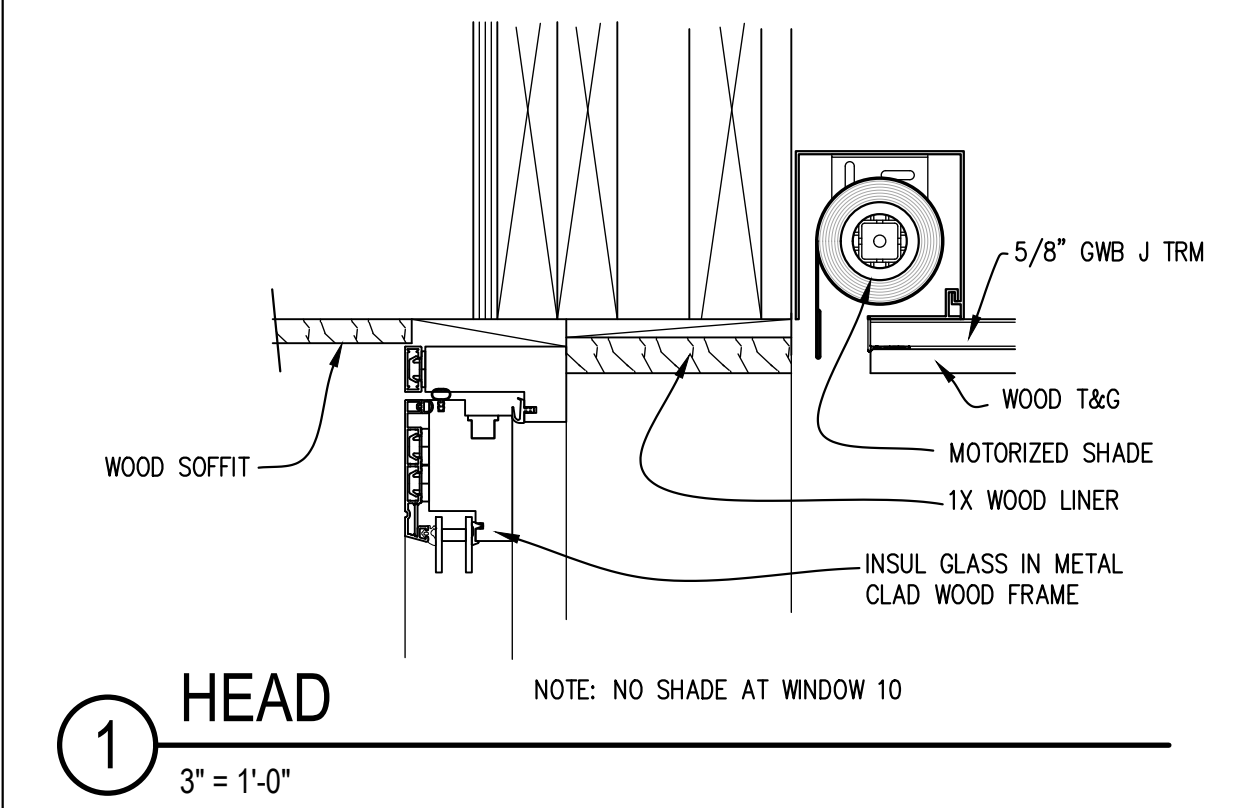
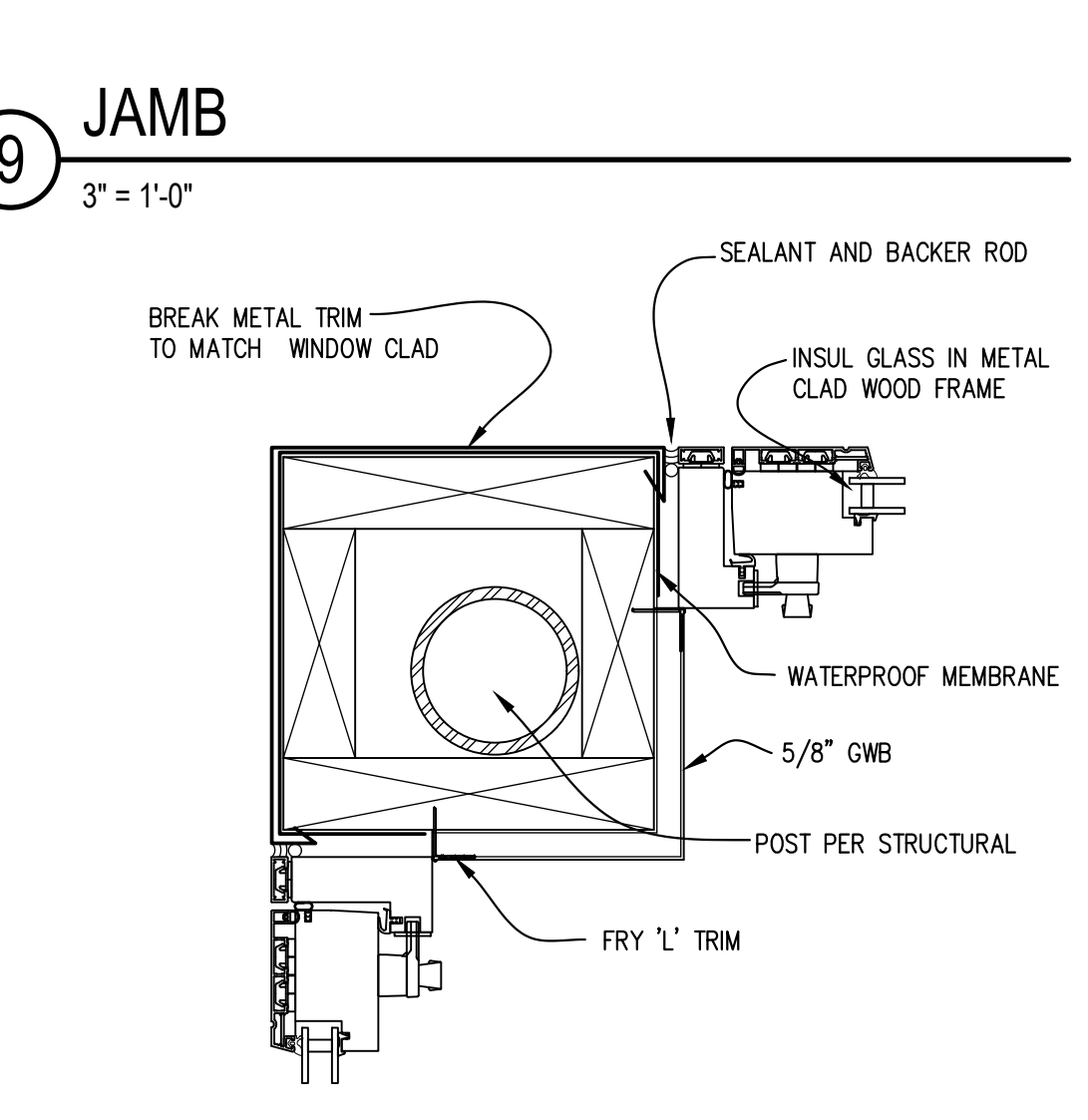
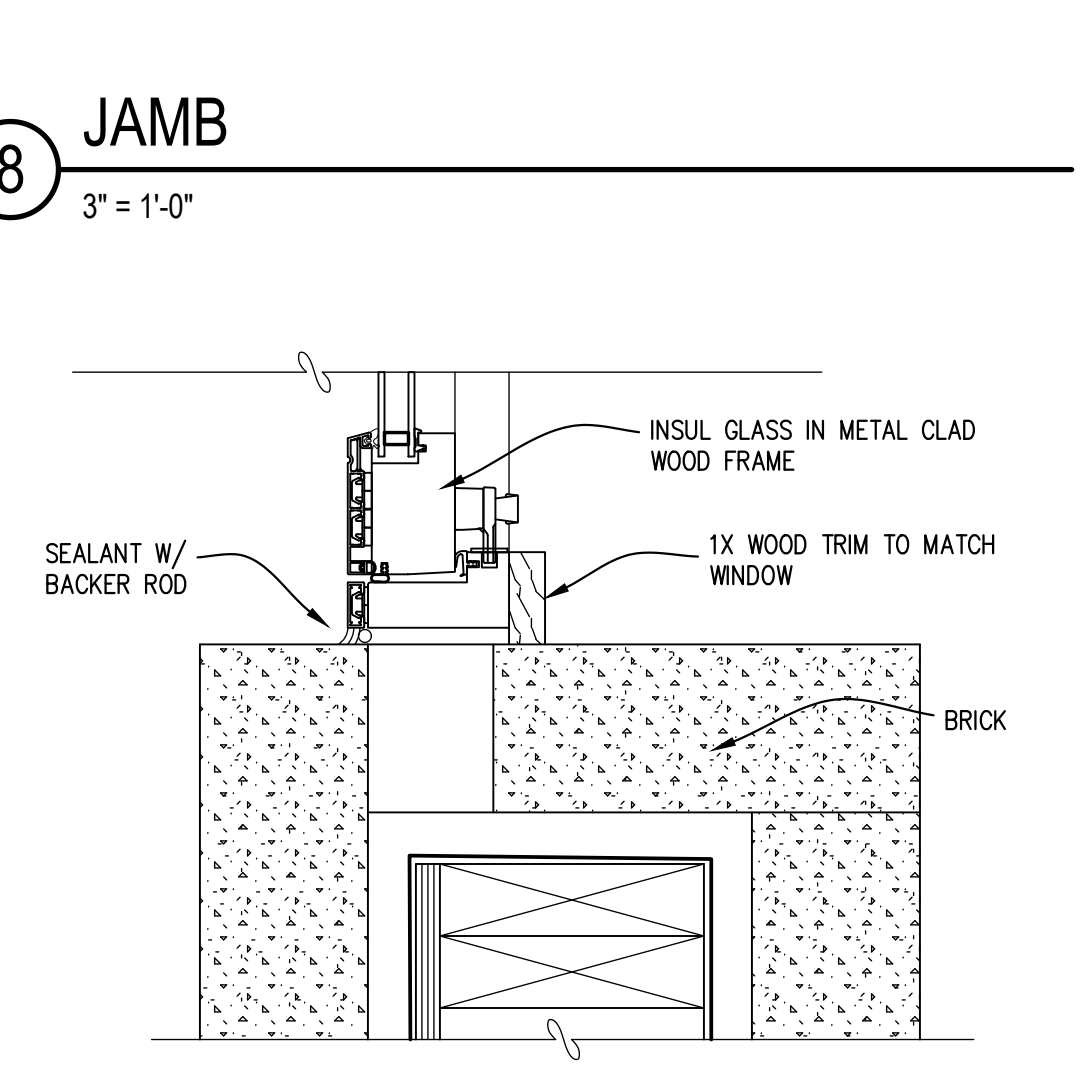
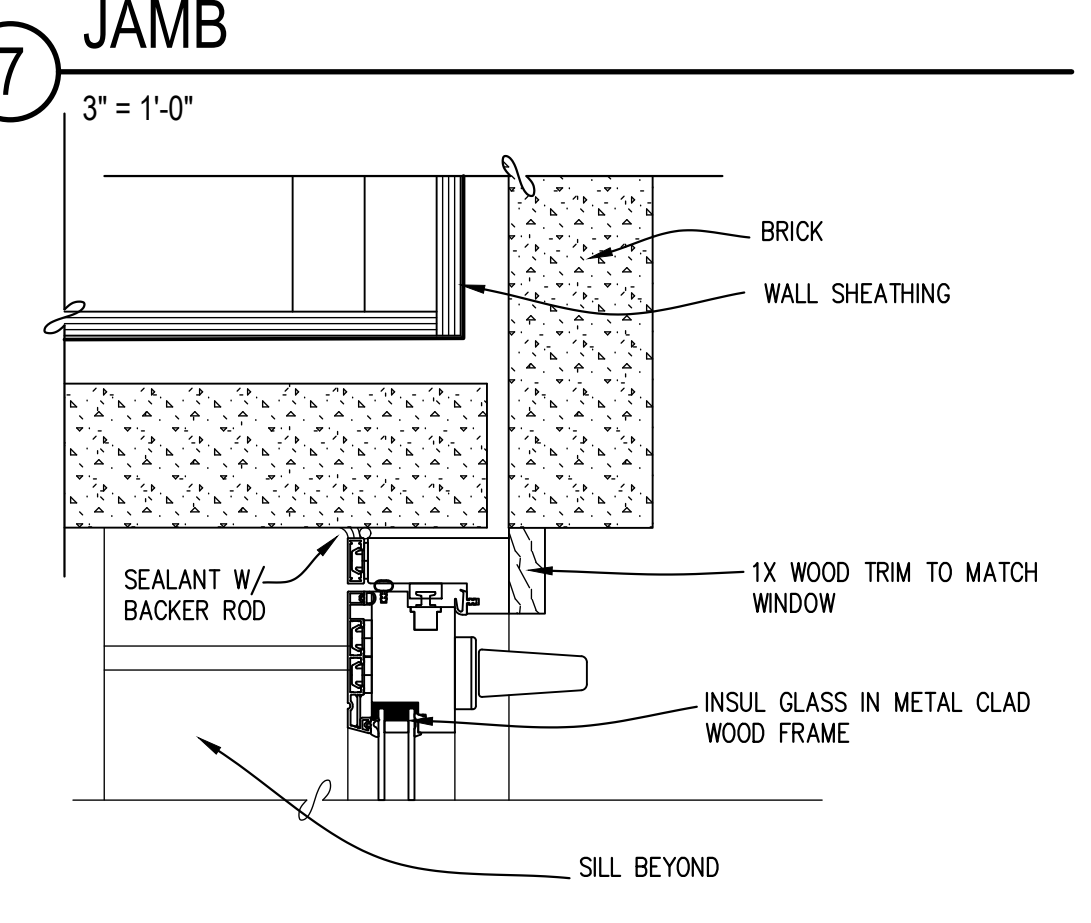
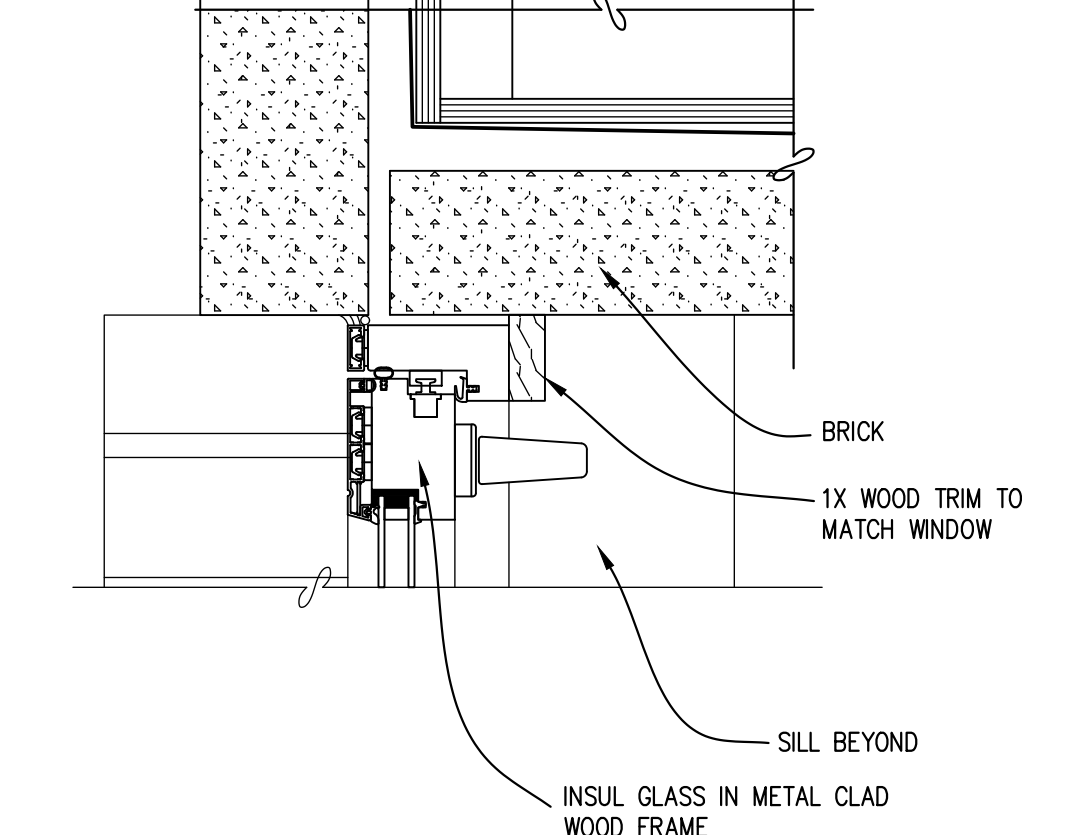
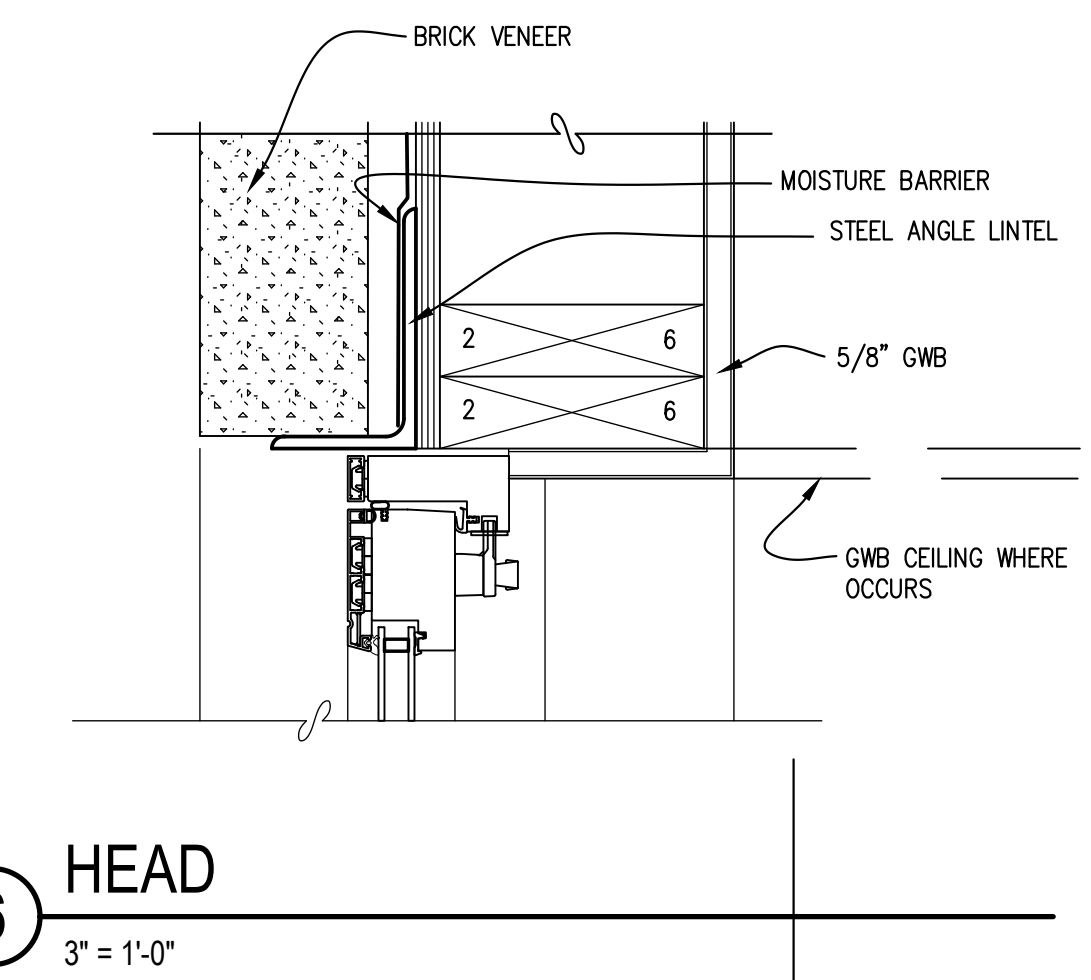
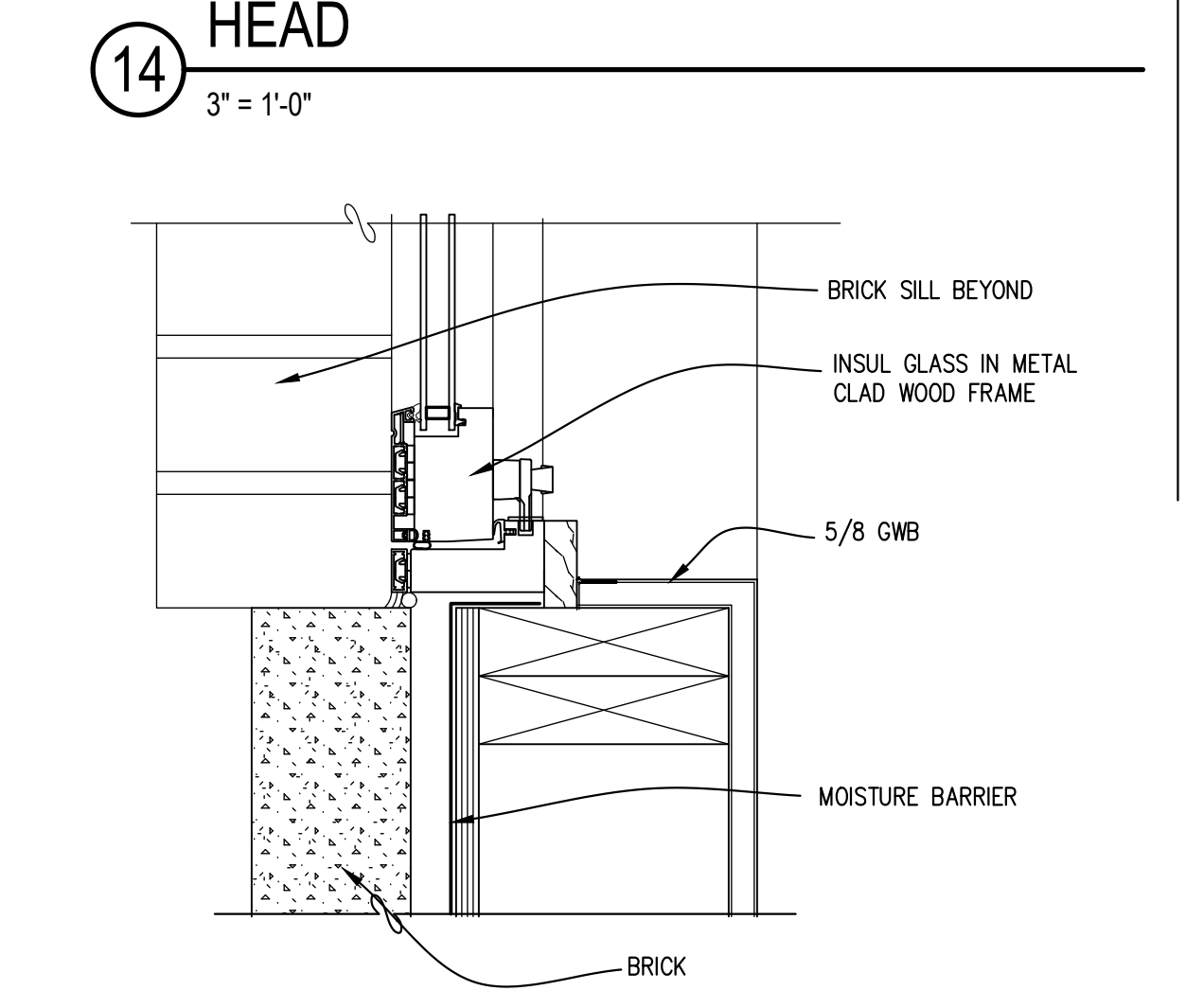
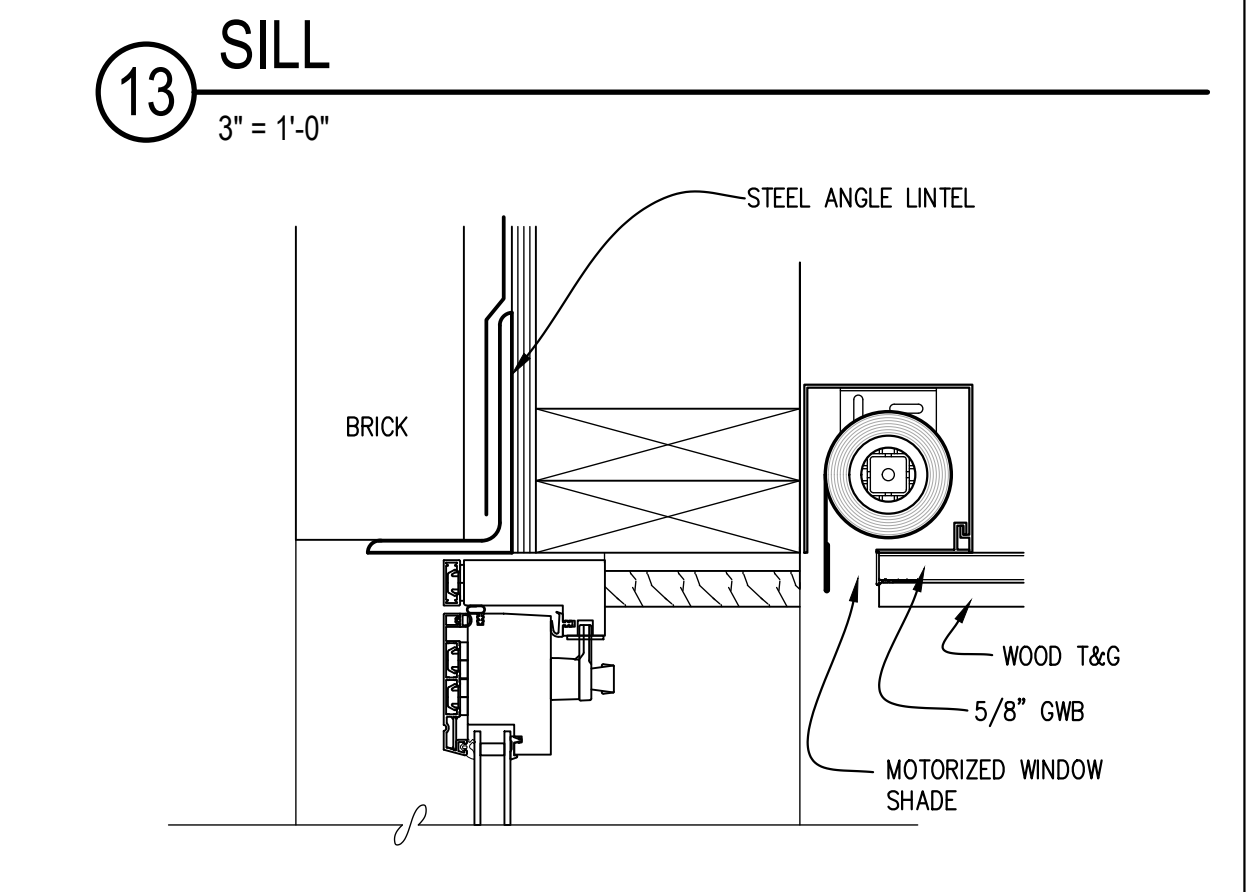
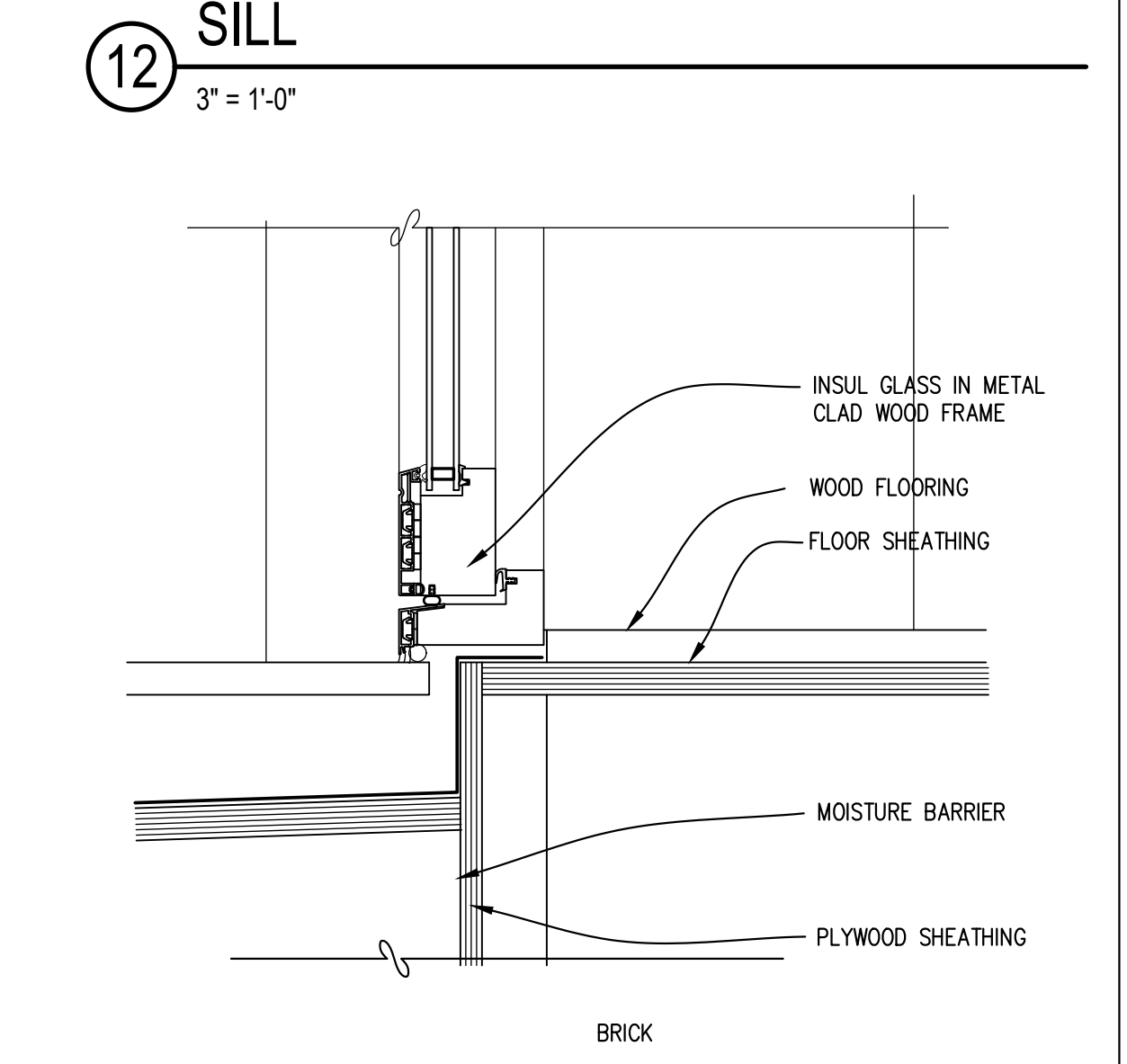
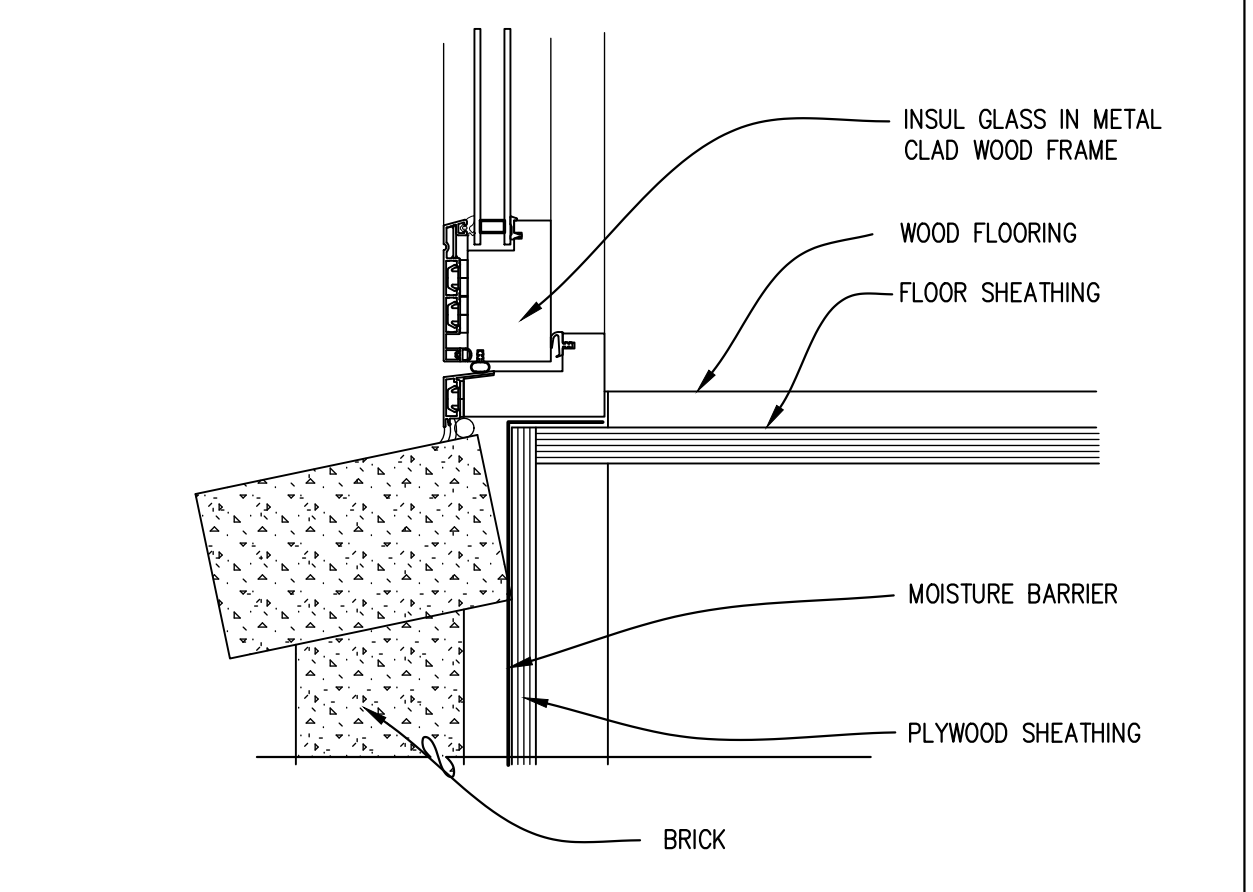
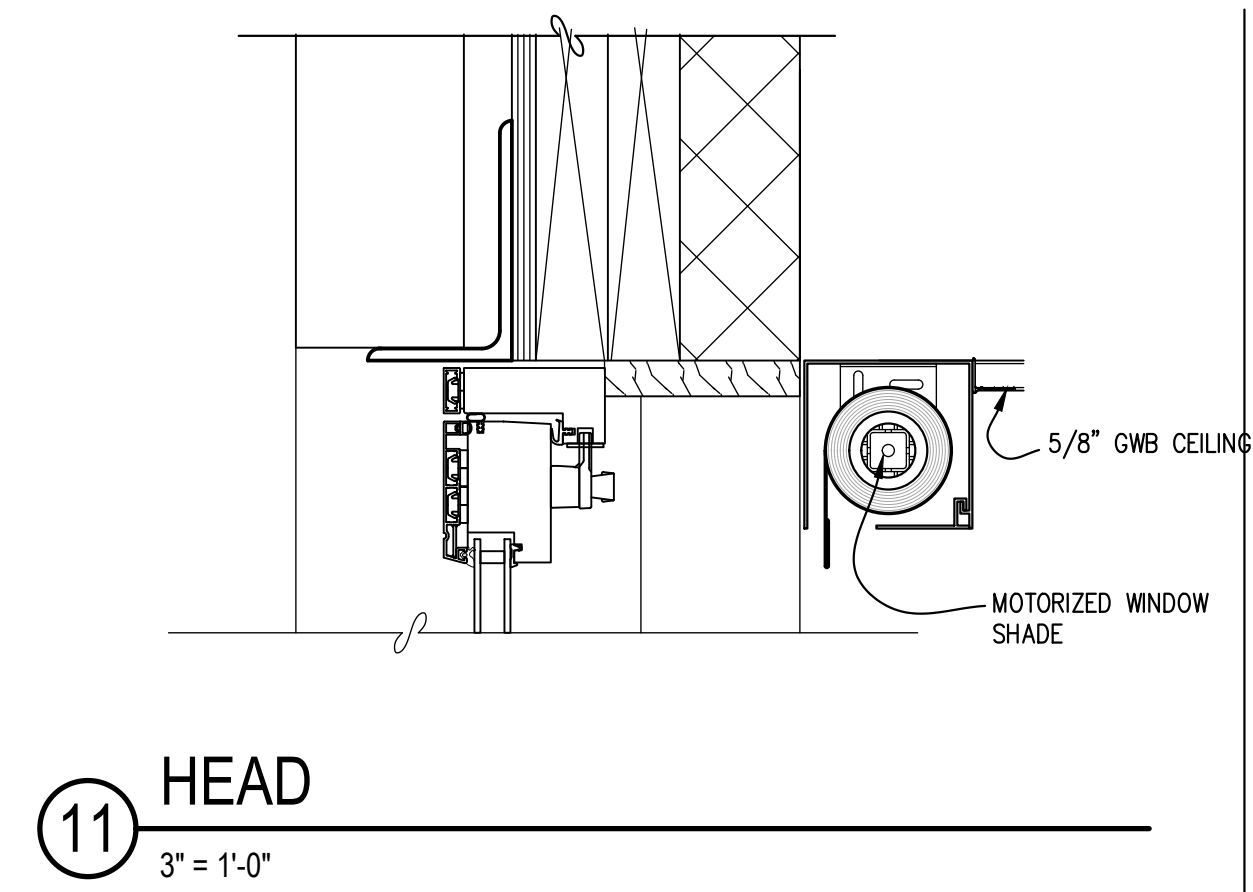
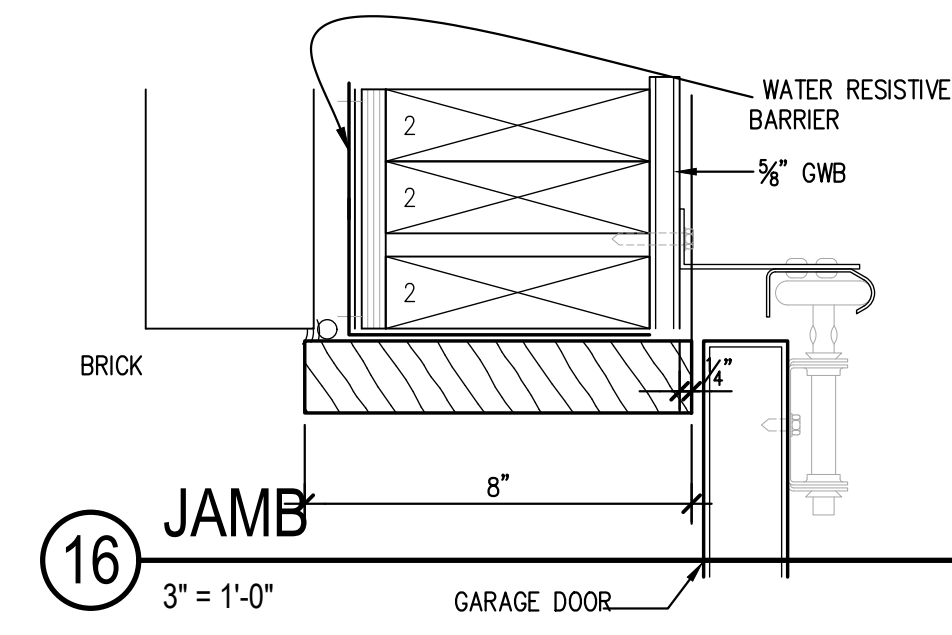
5 JAMB
3" = 1'-0"

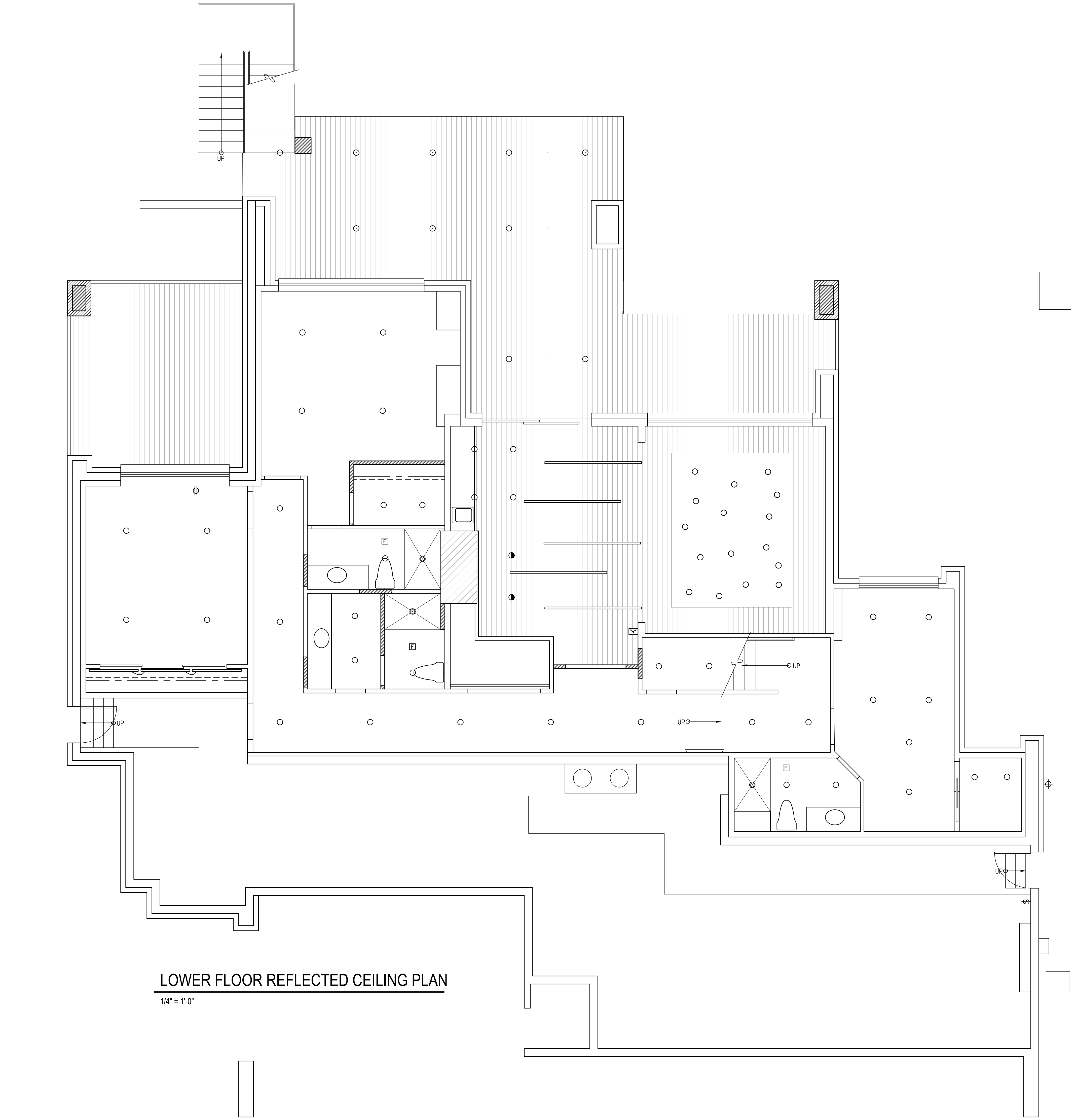


6 HEAD
3" = 1'-0"



7 HEAD
3" = 1'-0"





LOWER FLOOR REFLECTED CEILING PLAN

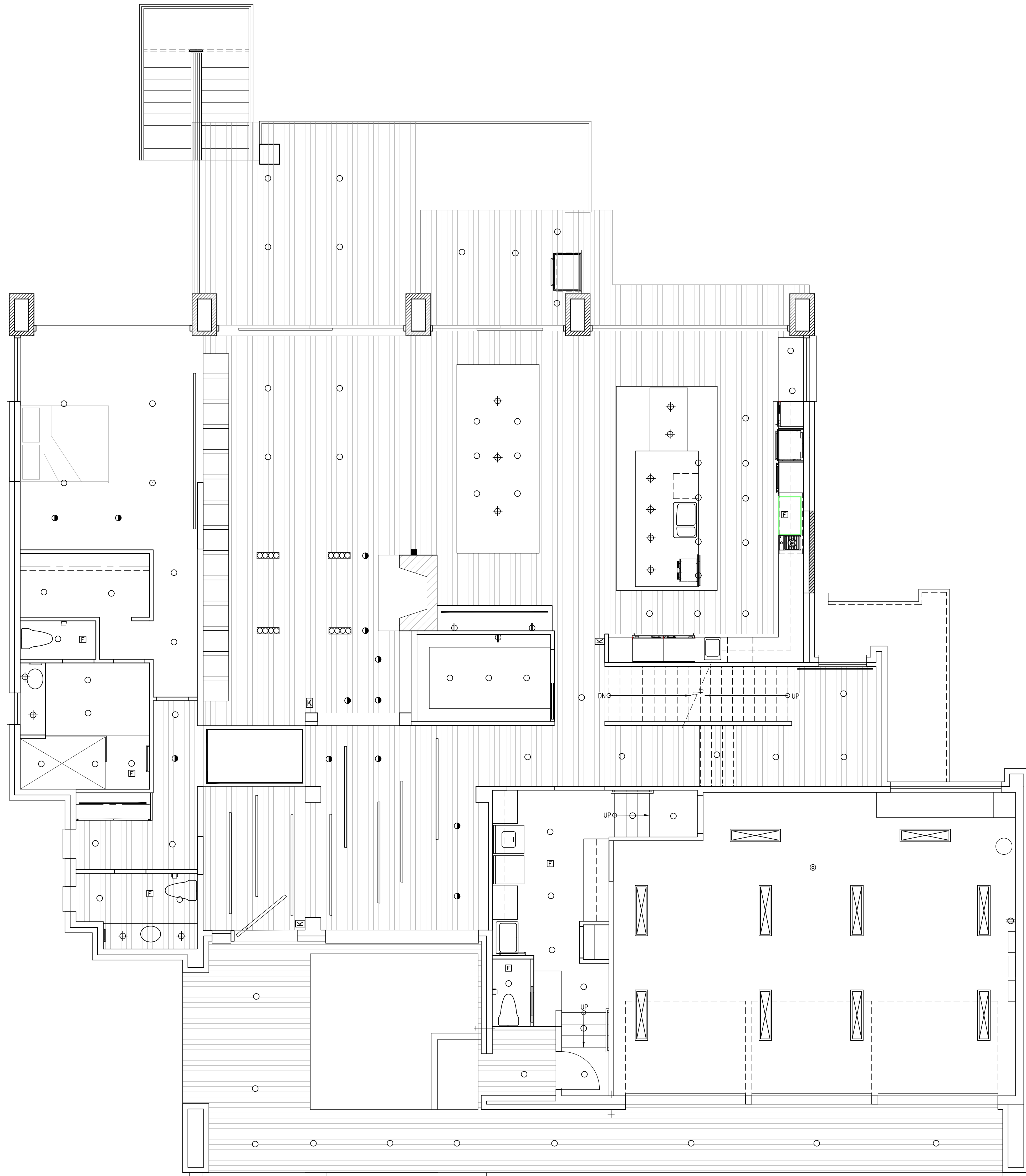
1/4" = 1'-0"

Xref C:\Users\Eric\Desktop\X-GRID.dwg



No.	Date	Revision
1	10/16/23	RESPONSE
	9/28/23	PRICING SET

Xref C:\Users\Eric\Desktop\X-GRID.dwg



MAIN FLOOR REFLECTED CEILING PLAN

1/4" = 1'-0"

HONG AND KAO RESIDENCE
5425 W. MERCER WAY
MERCER ISLAND, WA 98040

MAIN FLOOR
RCP

Sheet No. **4.7**
Project No. 2222
Date: 9/8/23

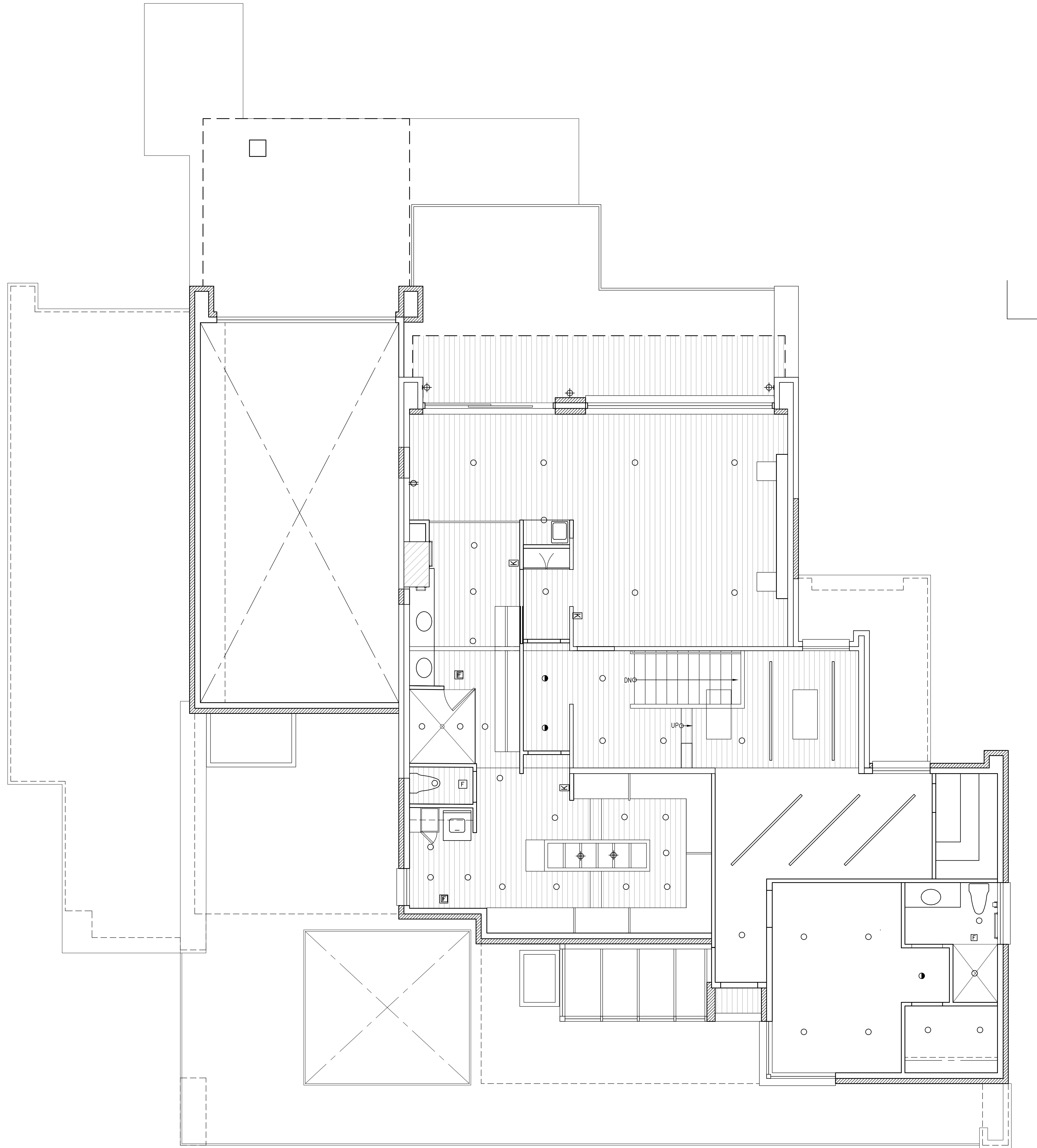
1 10/16/23 RESPONSE
9/28/23 PRICING SET

No. Date Revision



CHESMORE|BUCK
a r c h i t e c t u r e
27 100TH AVENUE NE, SUITE 100
BELLEVUE, WA 98004
FAX: 425-679-0804
PHONE: 425-679-0807

Xref C:\Users\Eric\Desktop\X-GRID.dwg



UPPER FLOOR REFLECTED CEILING PLAN

1/4" = 1'-0"

HONG AND KAO RESIDENCE
5425 W. MERCER WAY
MERCER ISLAND, WA 98040

UPPER FLOOR
RCP

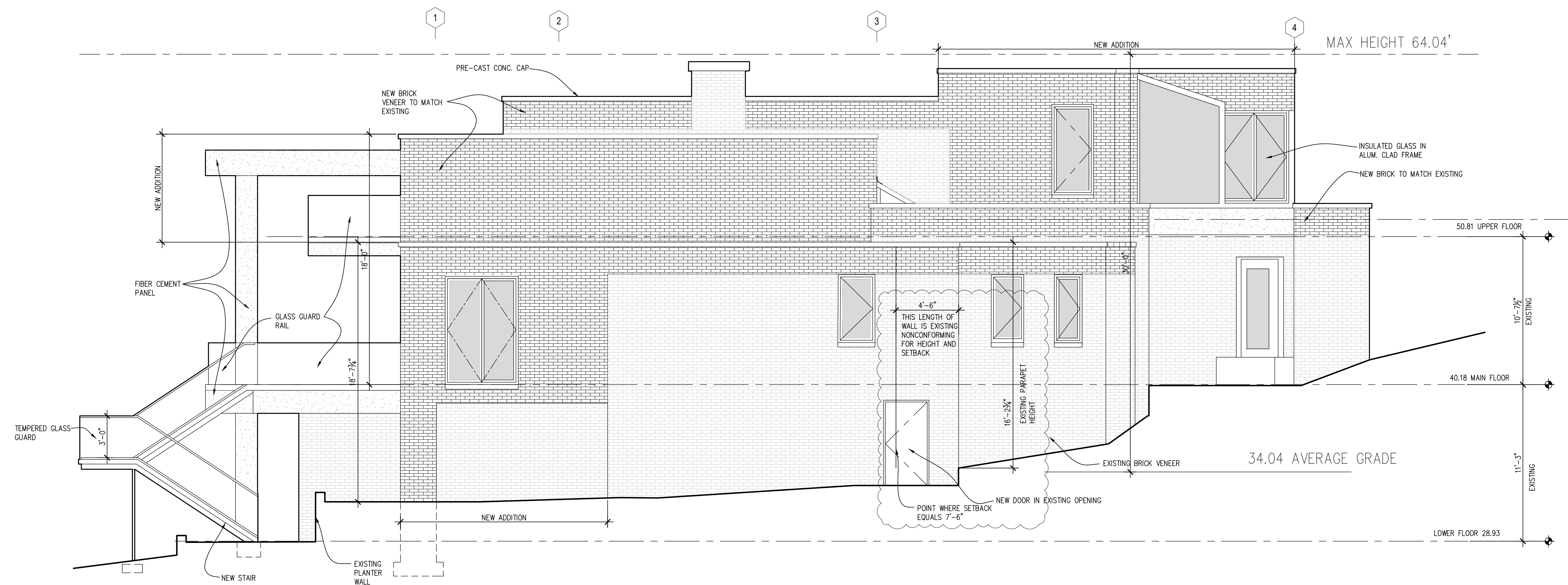
Sheet No. 4.8
Project No. 2222
Date: 9/8/23

1 10/16/23 RESPONSE
9/28/23 PRICING SET

No. Date Revision

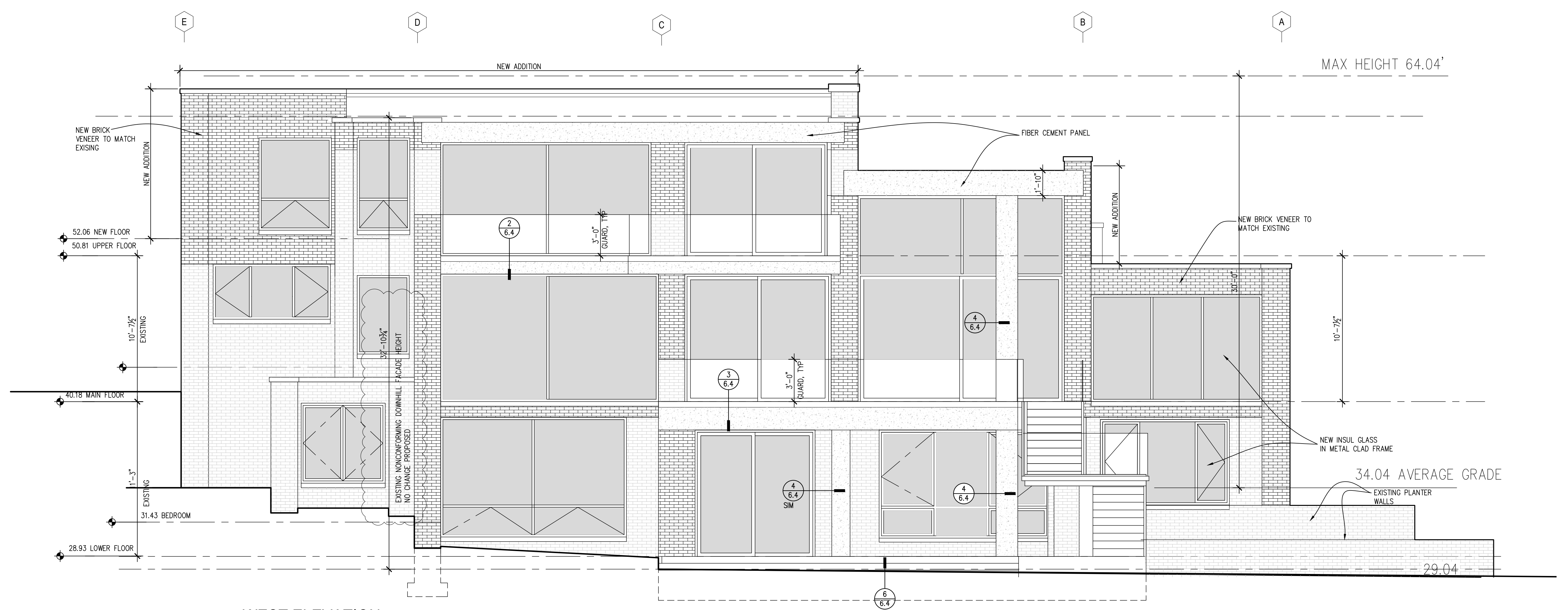


CHESMORE|BUCK
a r c h i t e c t u r e
27 100TH AVENUE NE, SUITE 100
BELLEVUE, WA 98004
FAX: 425-679-0804
PHONE: 425-679-0907



SOUTH ELEVATION

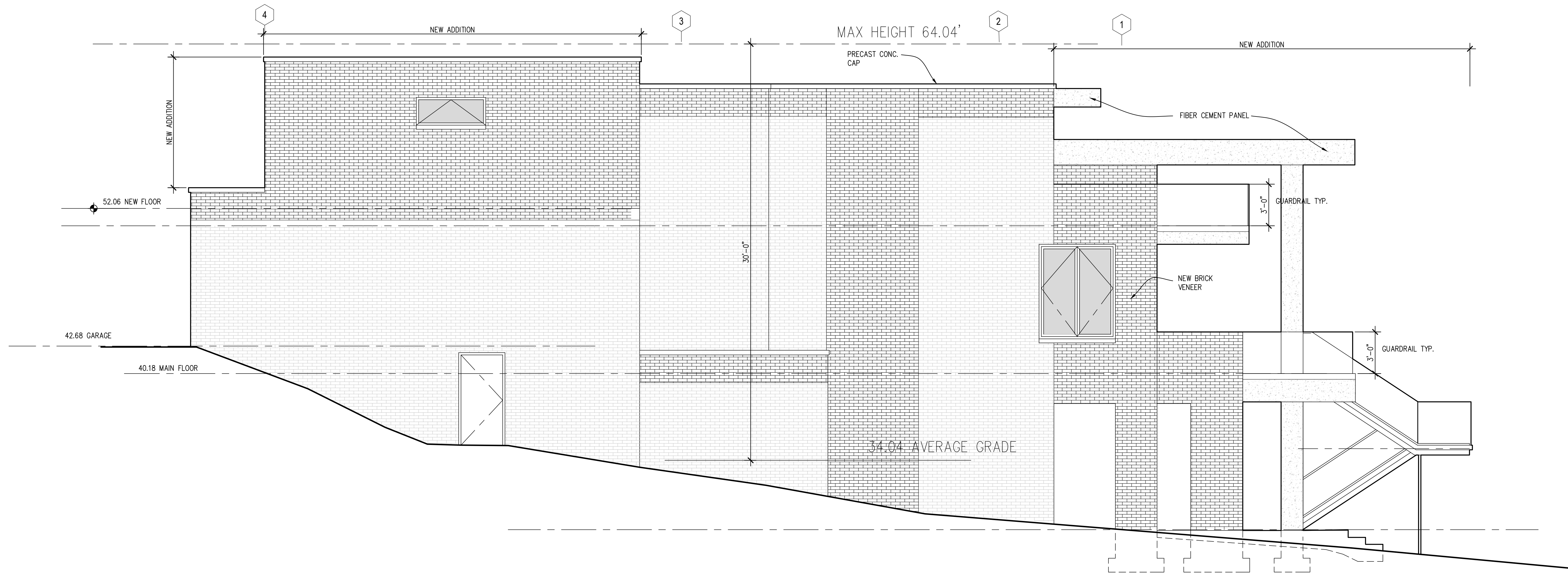
1/4" = 1'-0"



WEST ELEVATION

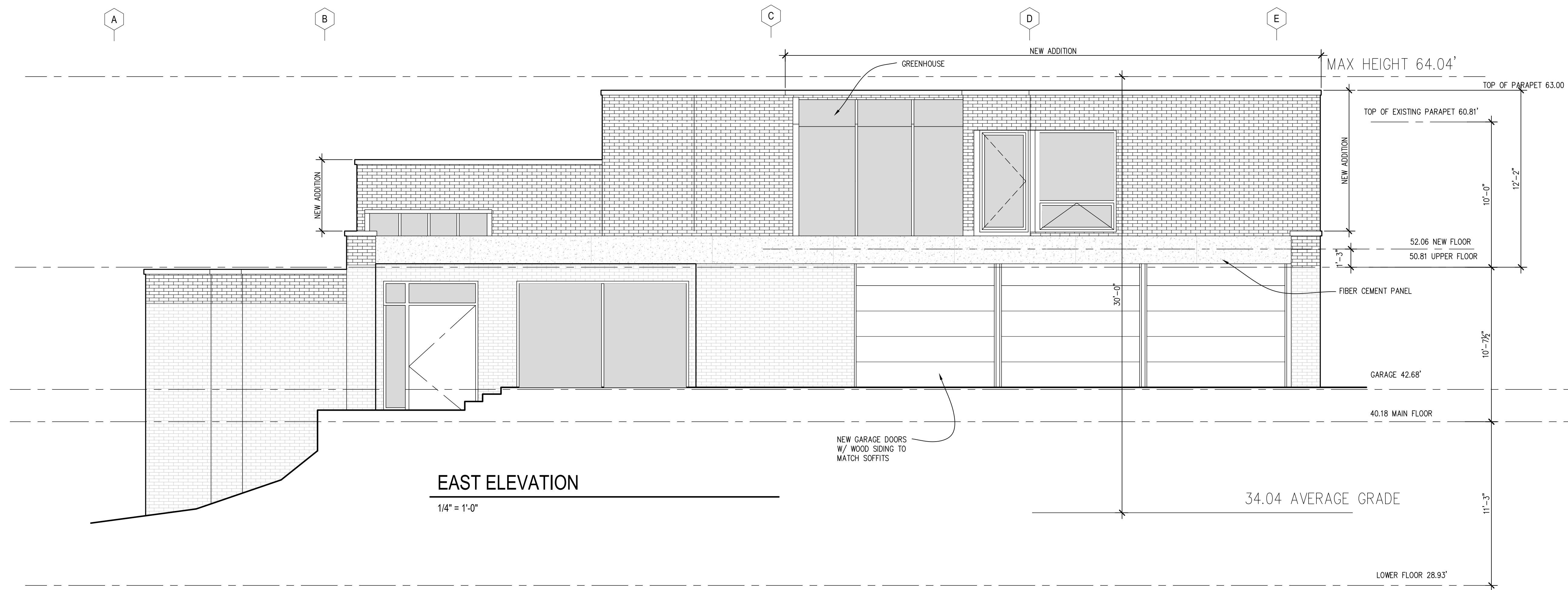
1/4" = 1'-0"





NORTH ELEVATION

1/4" = 1'-0"

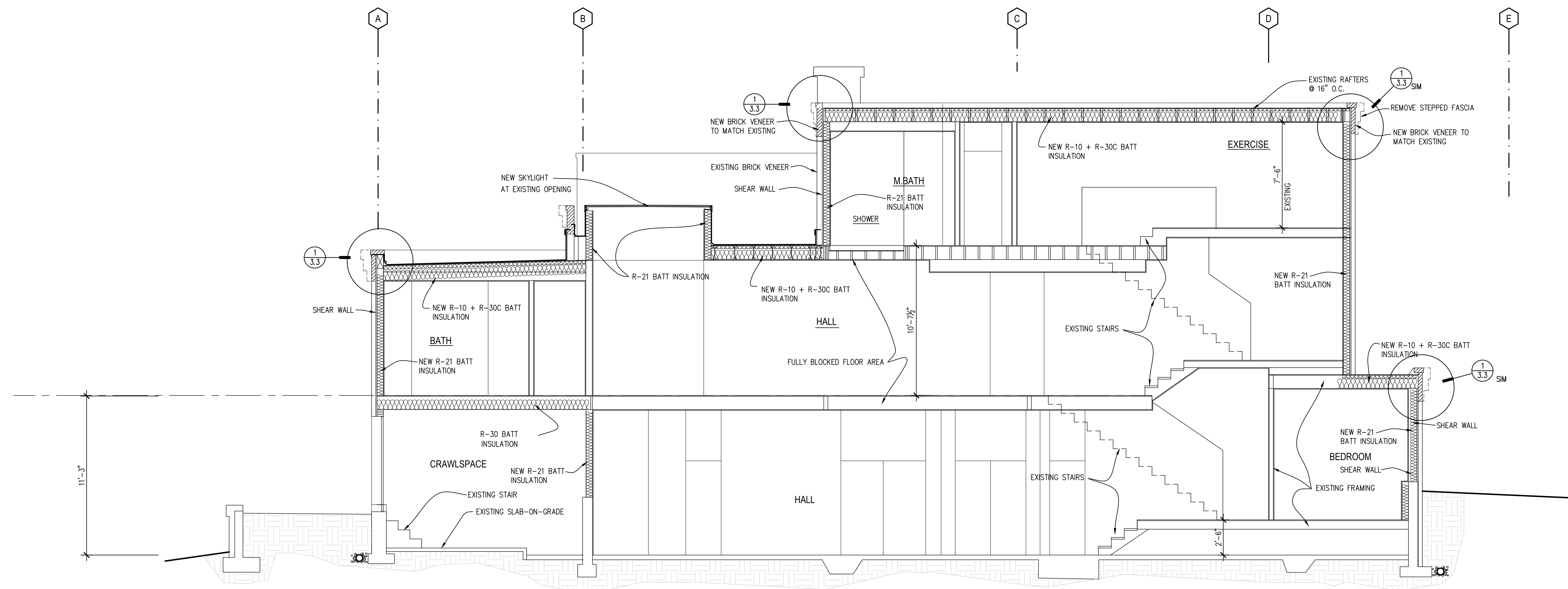


EAST ELEVATION

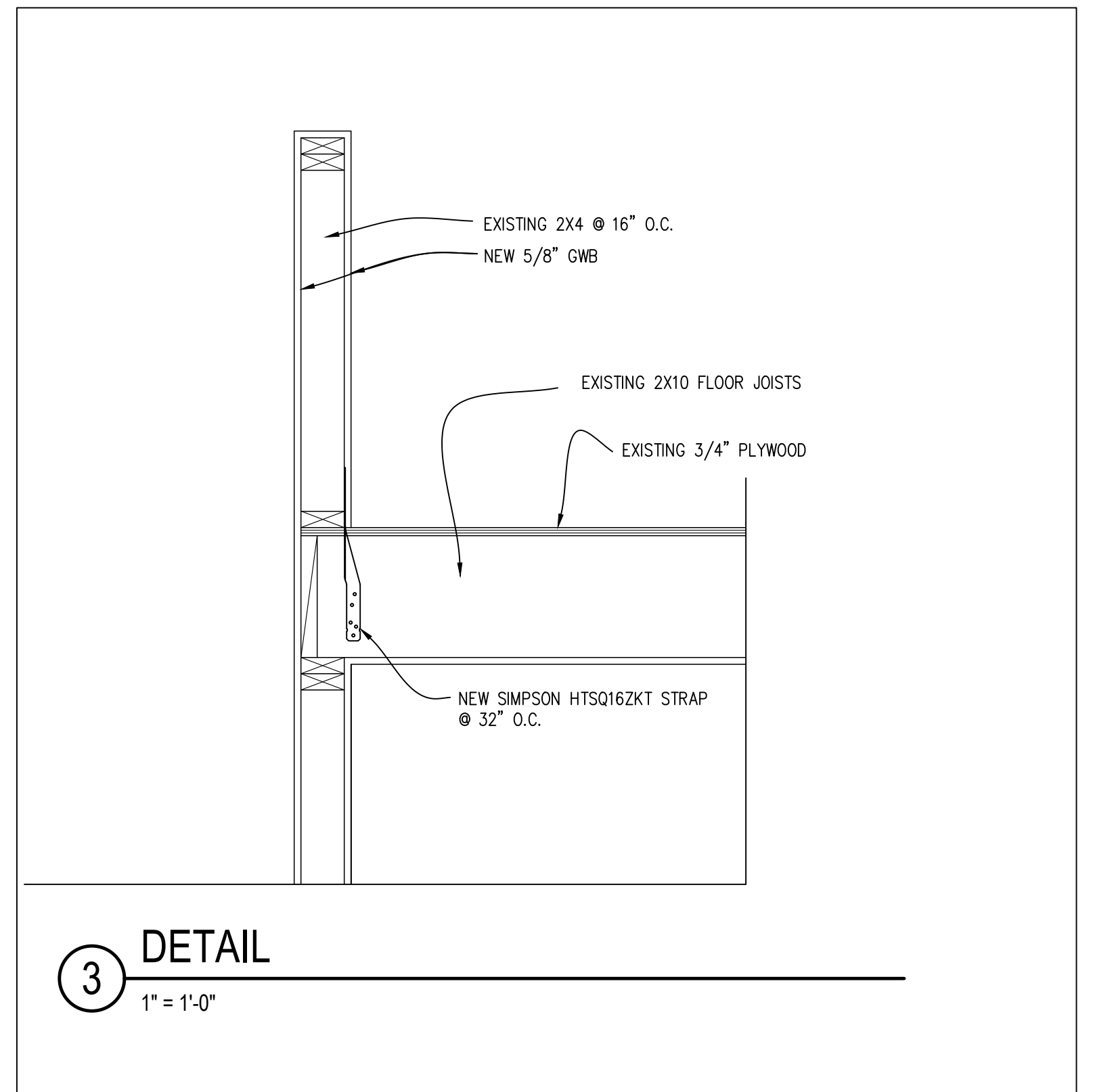
1/4" = 1'-0"



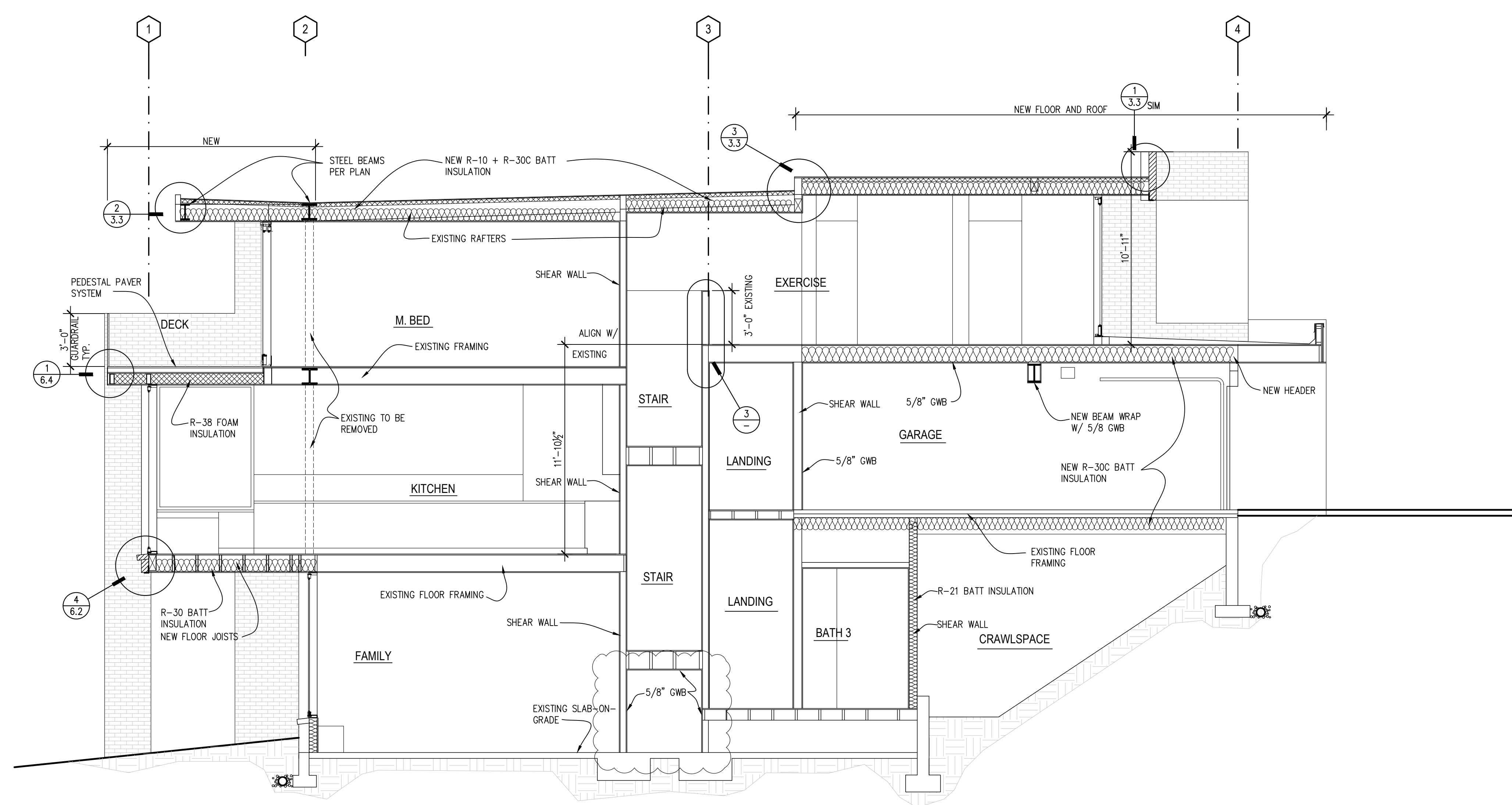
1	10/16/23	RESPONSE
	9/28/23	PRICING SET
No.	Date	Revision



1 BUILDING SECTION
1/4" = 1'-0"



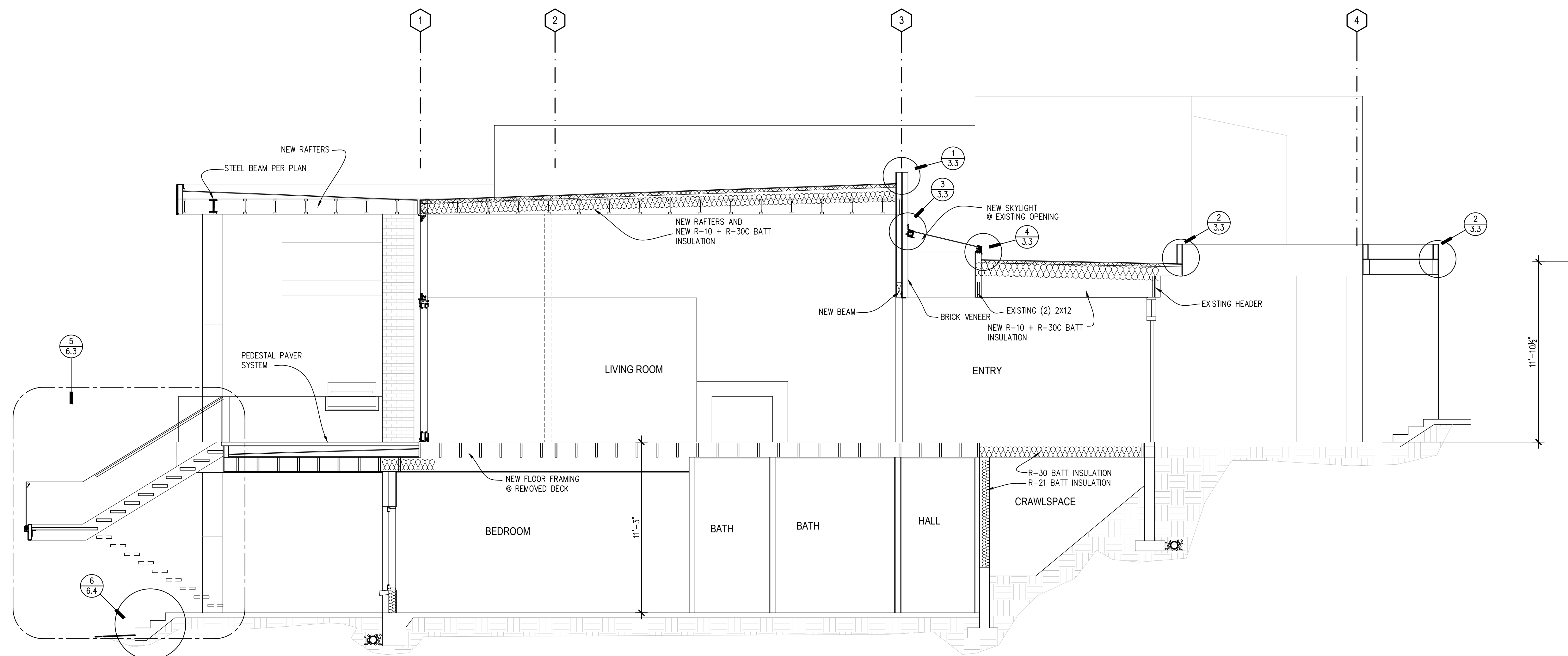
3 DETAIL
1" = 1'-0"



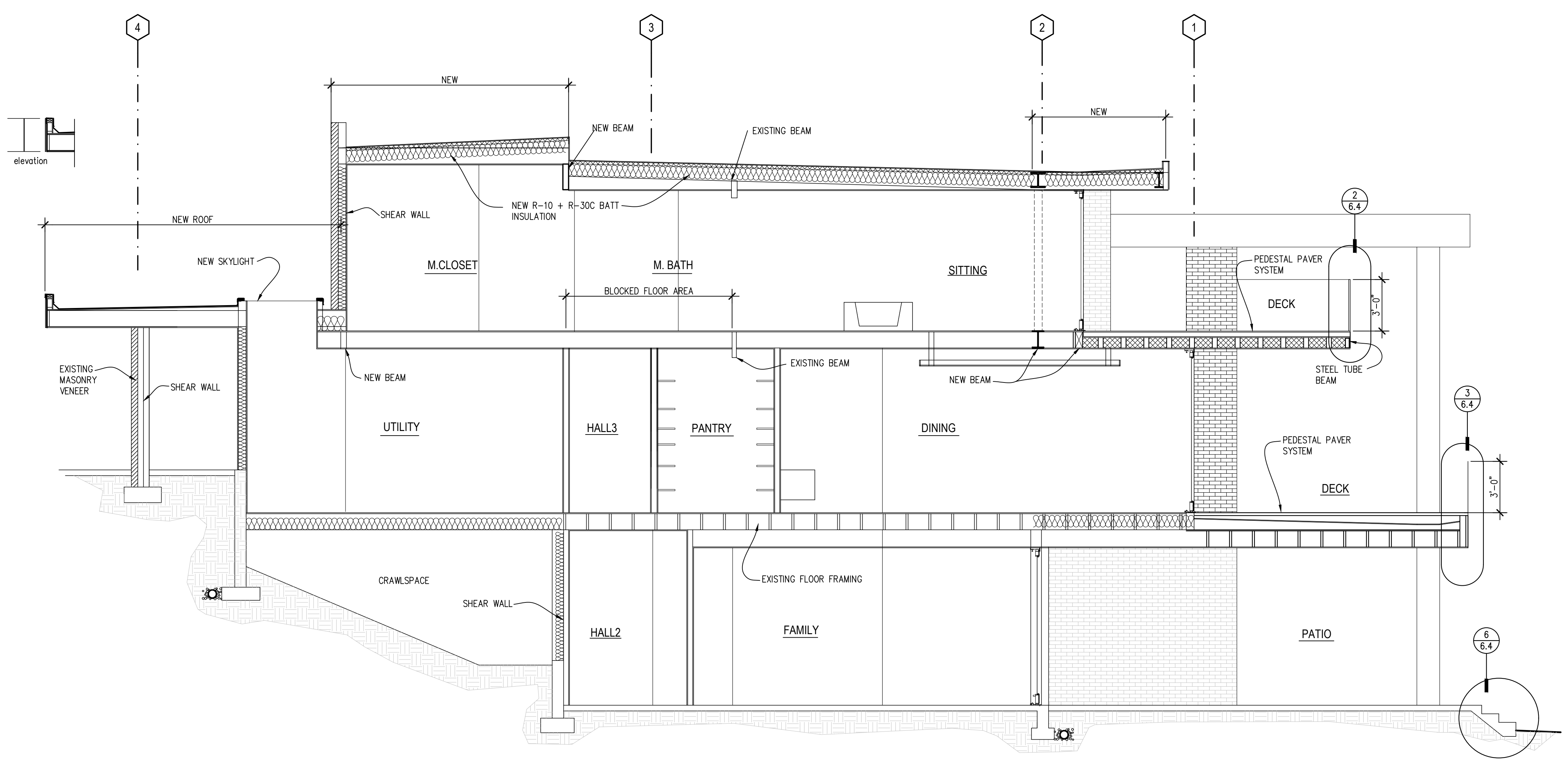
2 BUILDING SECTION
1/4" = 1'-0"



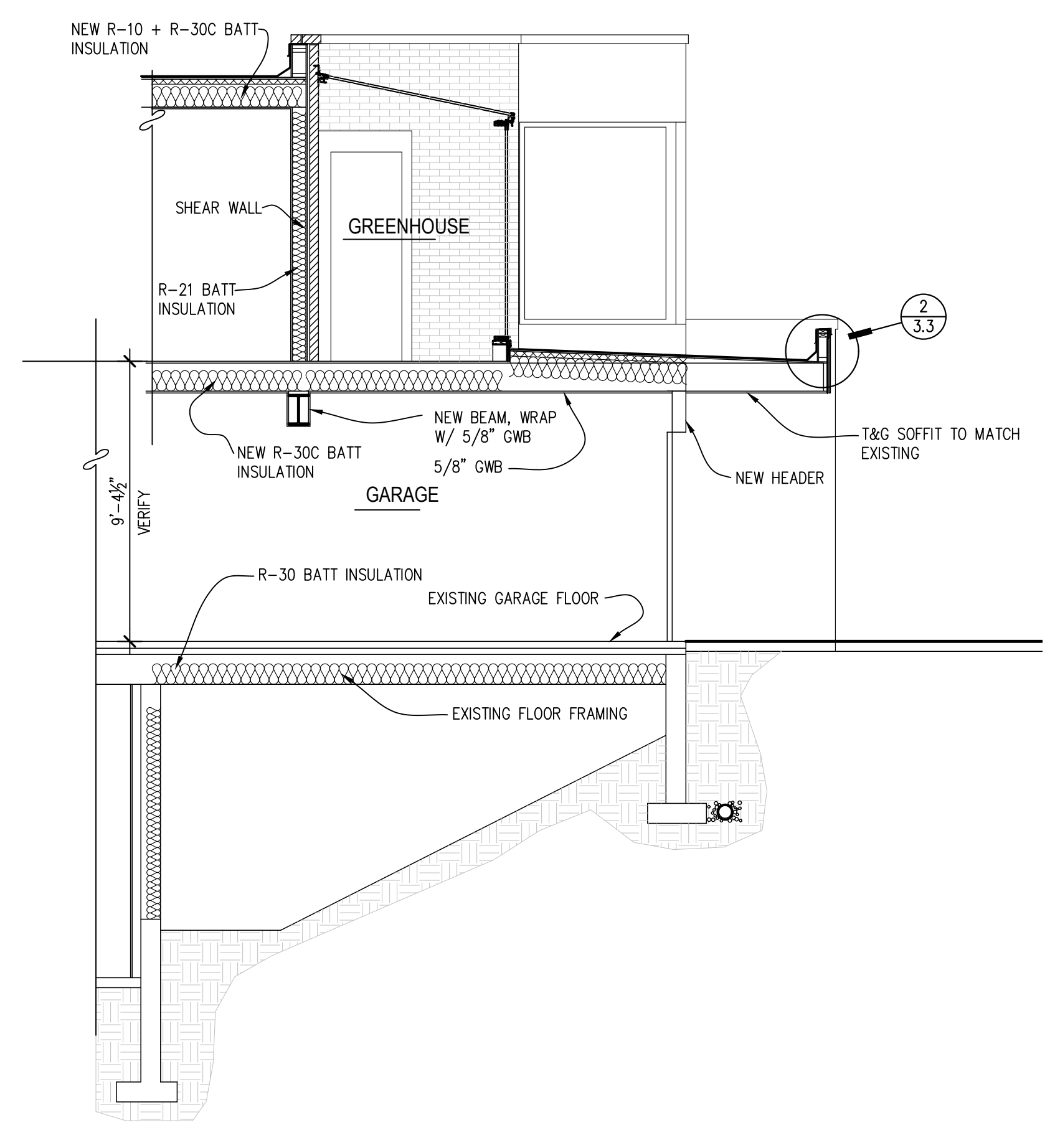
1	10/16/23	RESPONSE
	9/28/23	PRICING SET
No.	Date	Revision



1 BUILDING SECTION
1/4" = 1'-0"



3 BUILDING SECTION
1/4" = 1'-0"

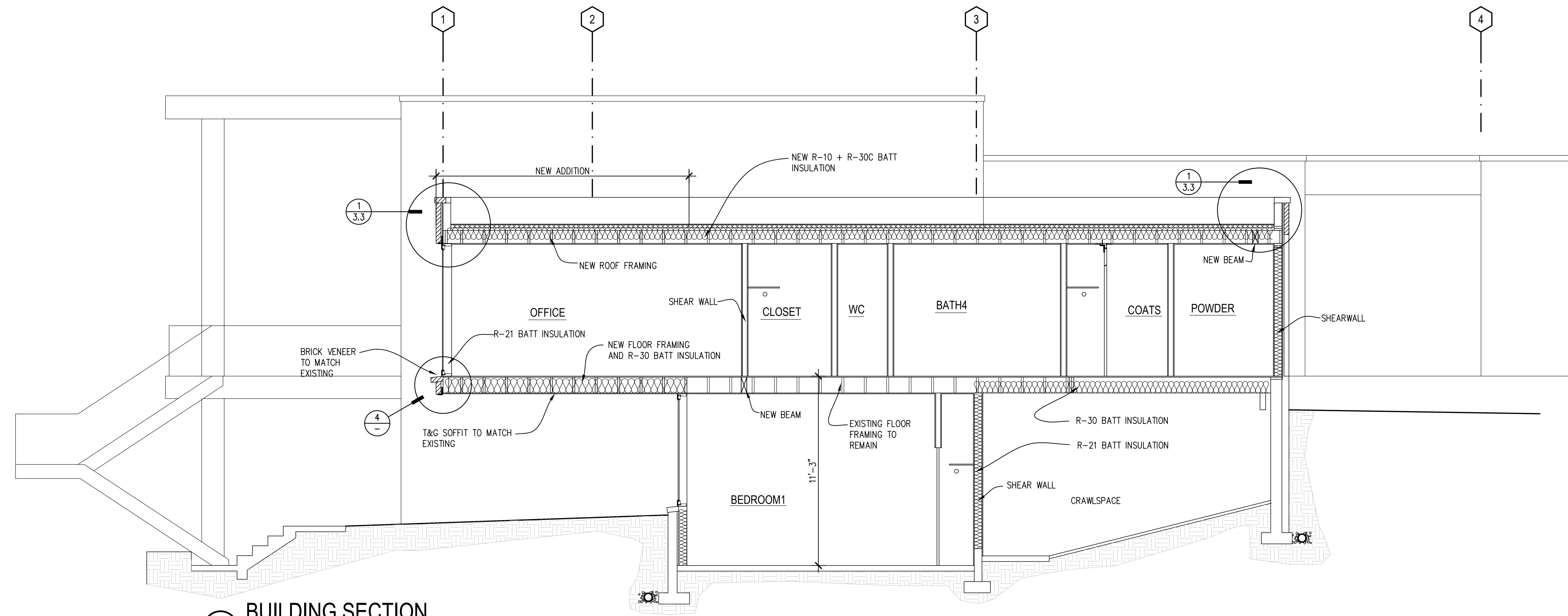


2 BUILDING SECTION
1/4" = 1'-0"

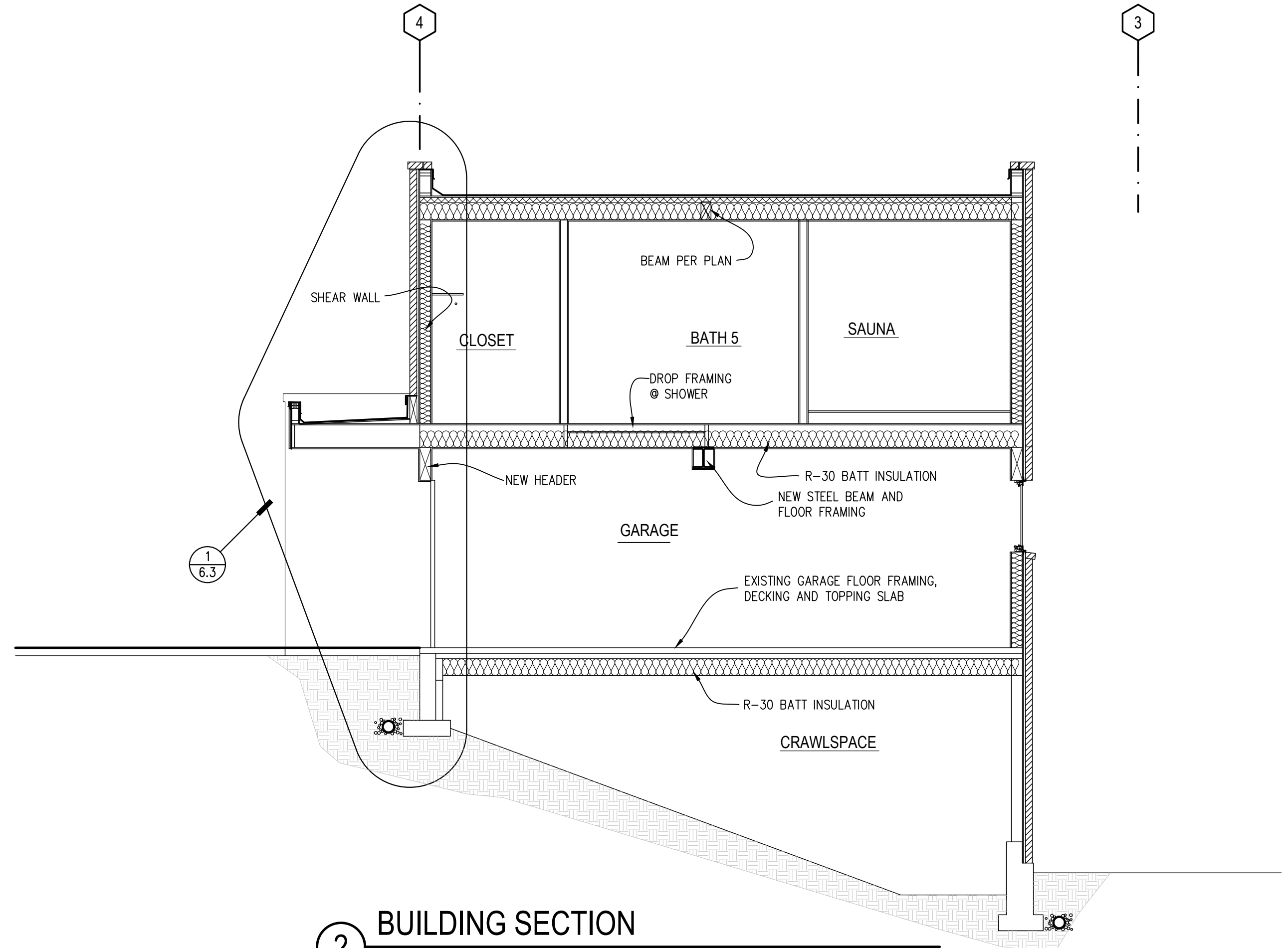


1	10/16/23	RESPONSE
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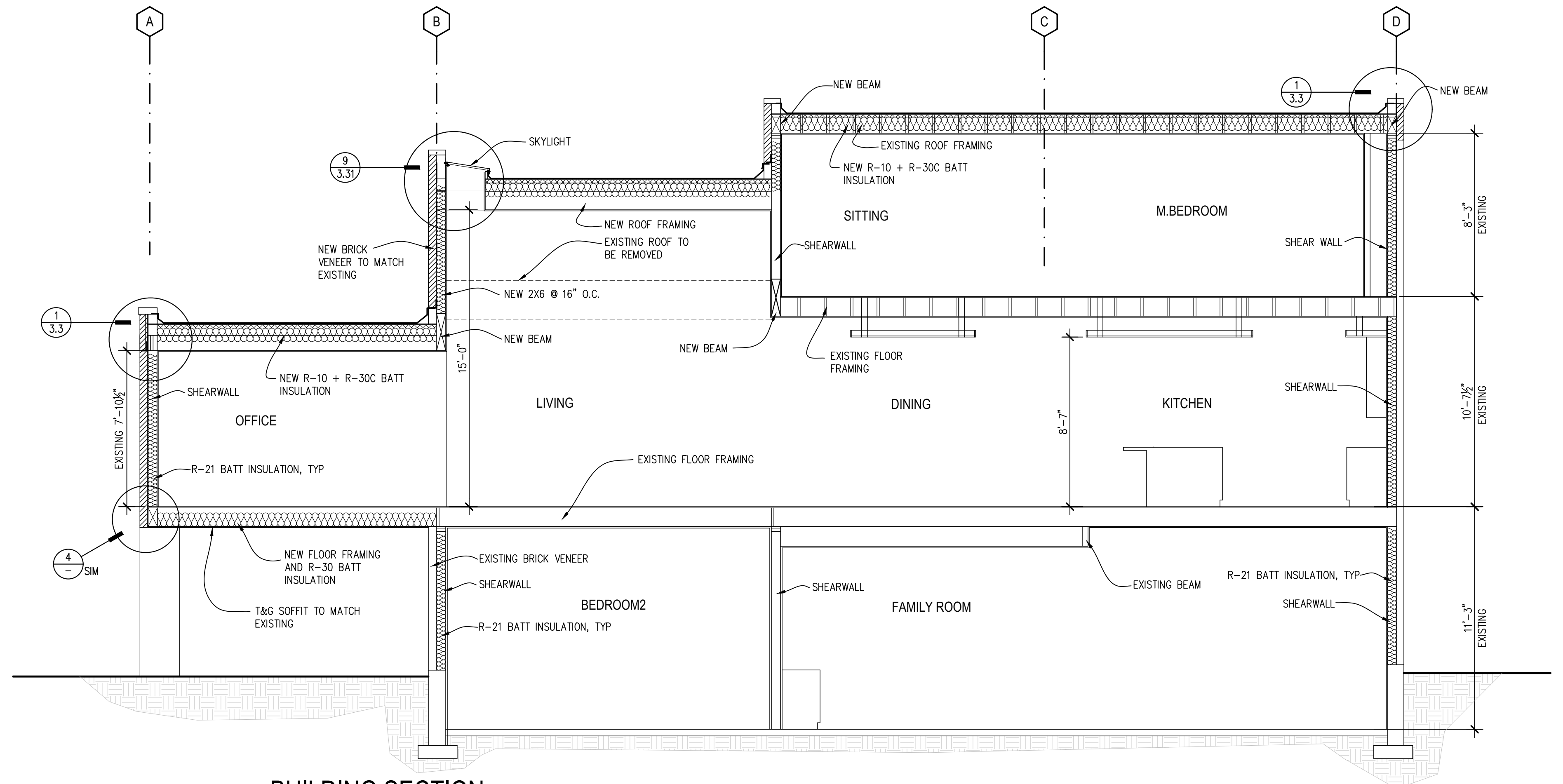
SECTION



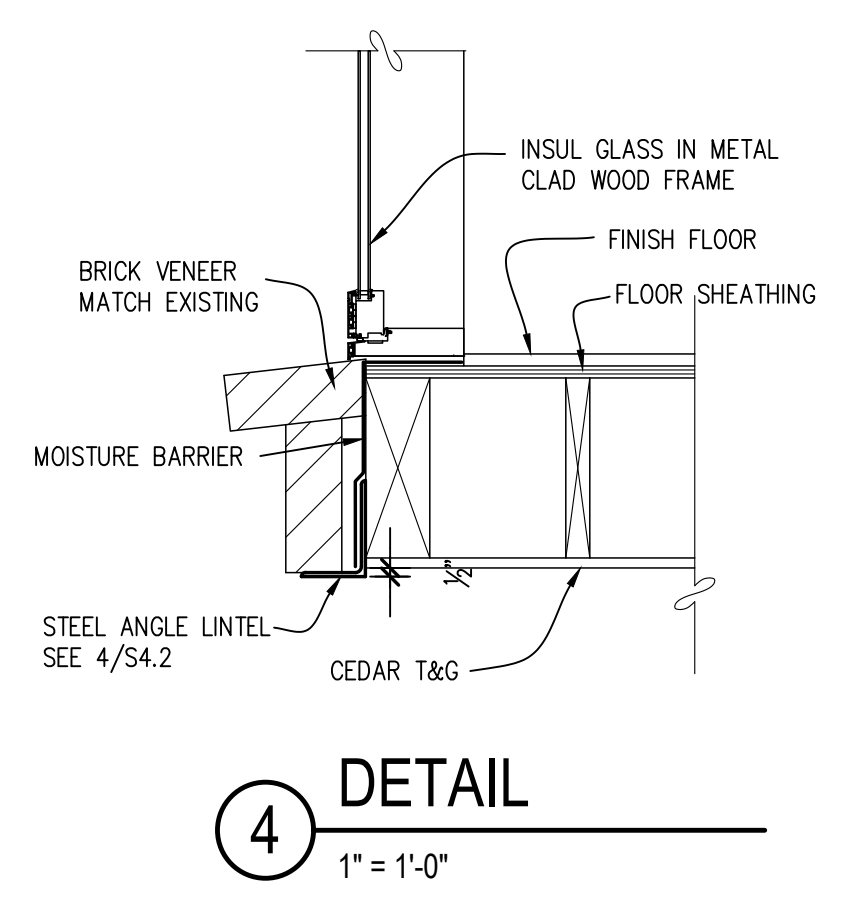
1 BUILDING SECTION
1/4" = 1'-0"



2 BUILDING SECTION
1/4" = 1'-0"



3 BUILDING SECTION
1/4" = 1'-0"



4 DETAIL
1" = 1'-0"

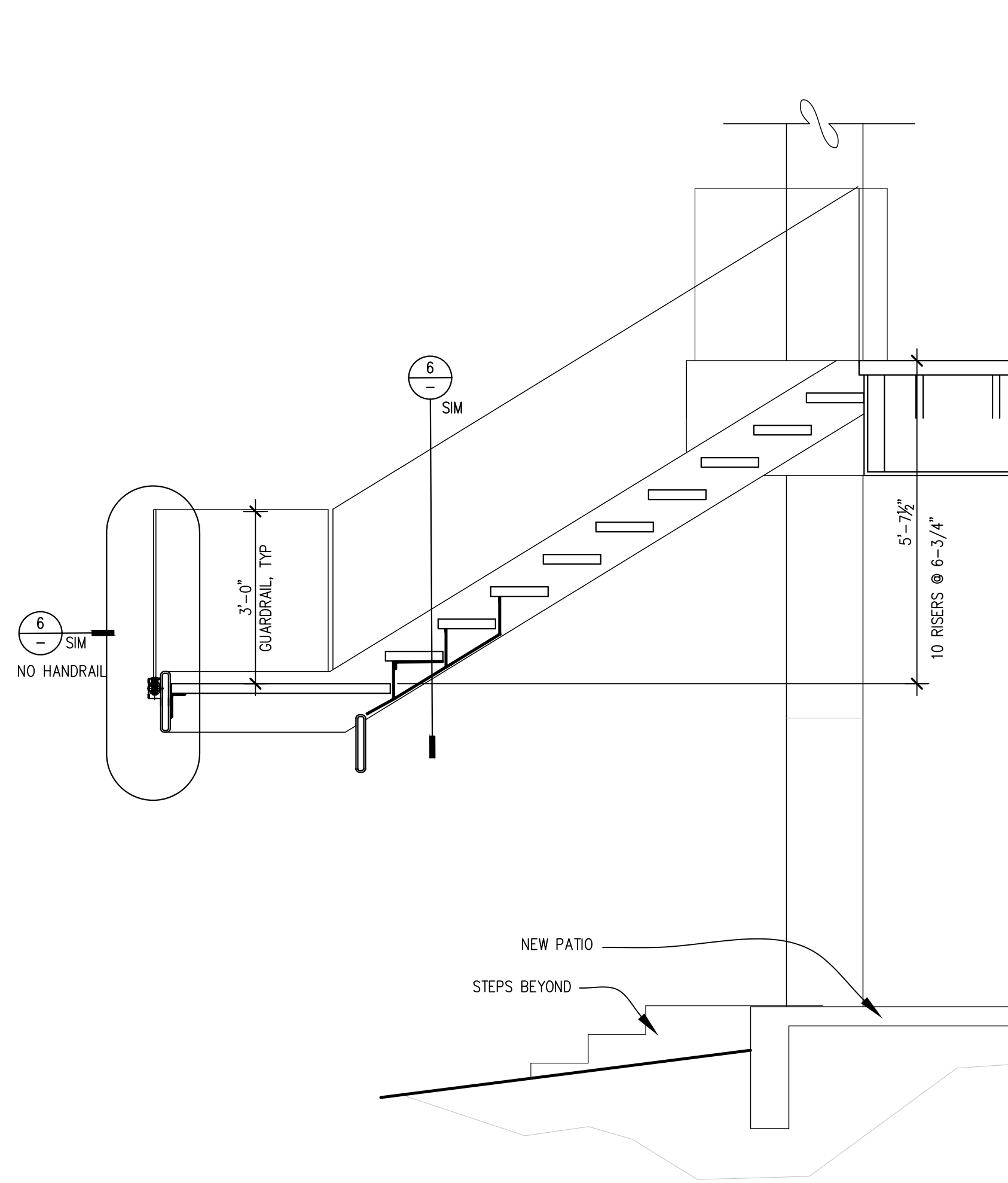
ktop\X-GRID.dwg



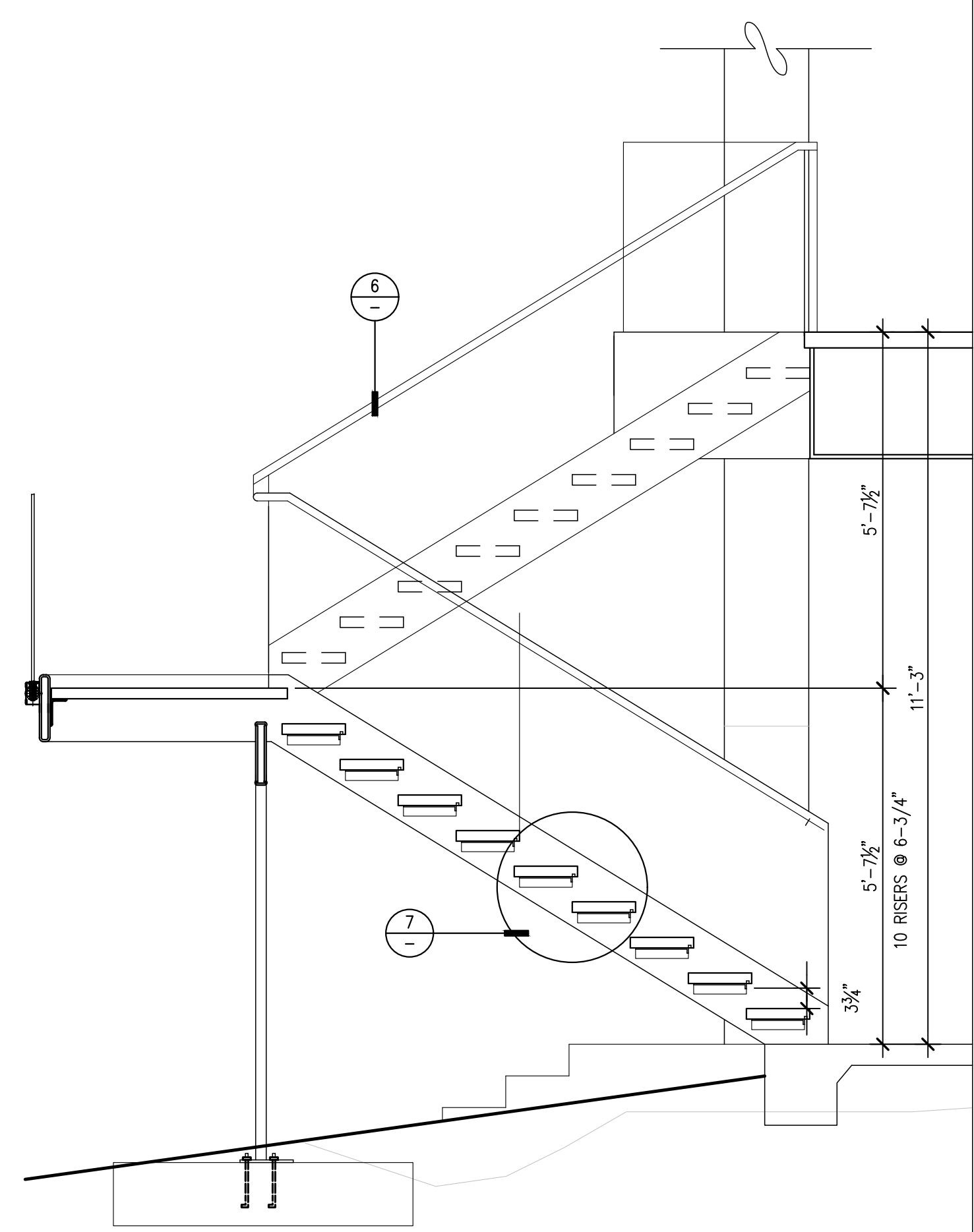
1	10/16/23	RESPONSE
	9/28/23	PRICING SET
No.	Date	Revision

SECTION

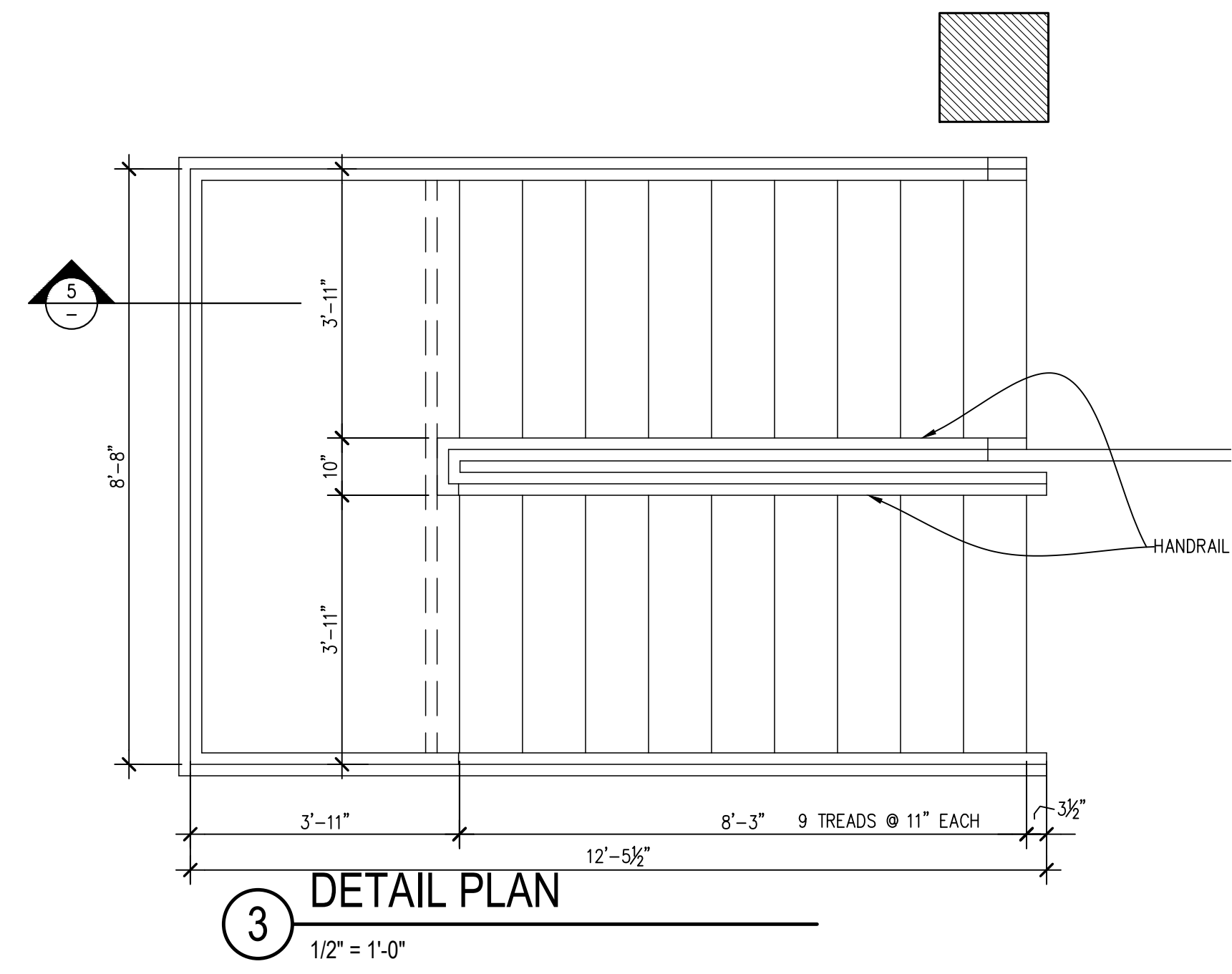
Sheet No.	6.2
Project No.	2222
Date:	9/8/23



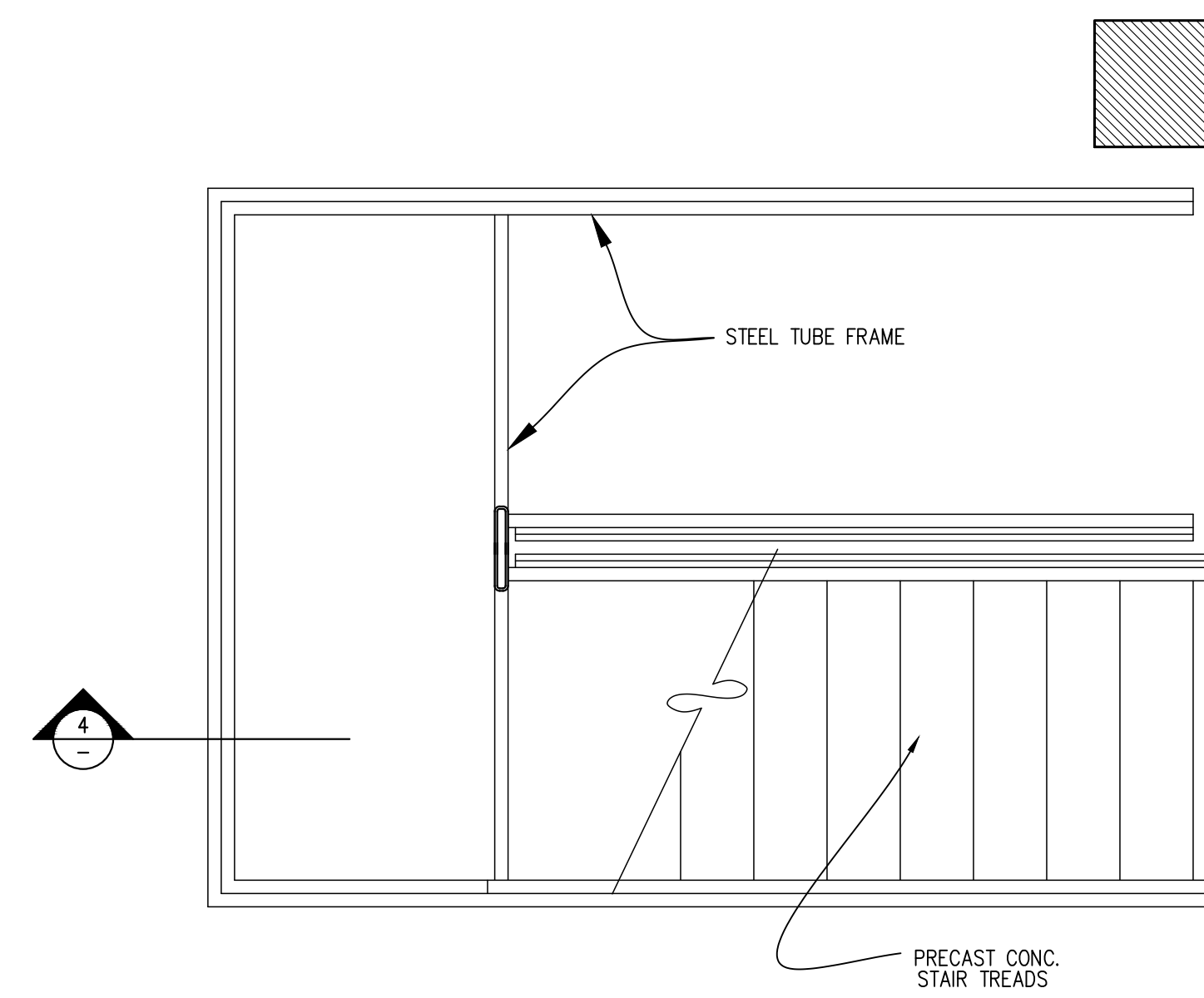
5 DETAIL PLAN
1/2" = 1'-0"



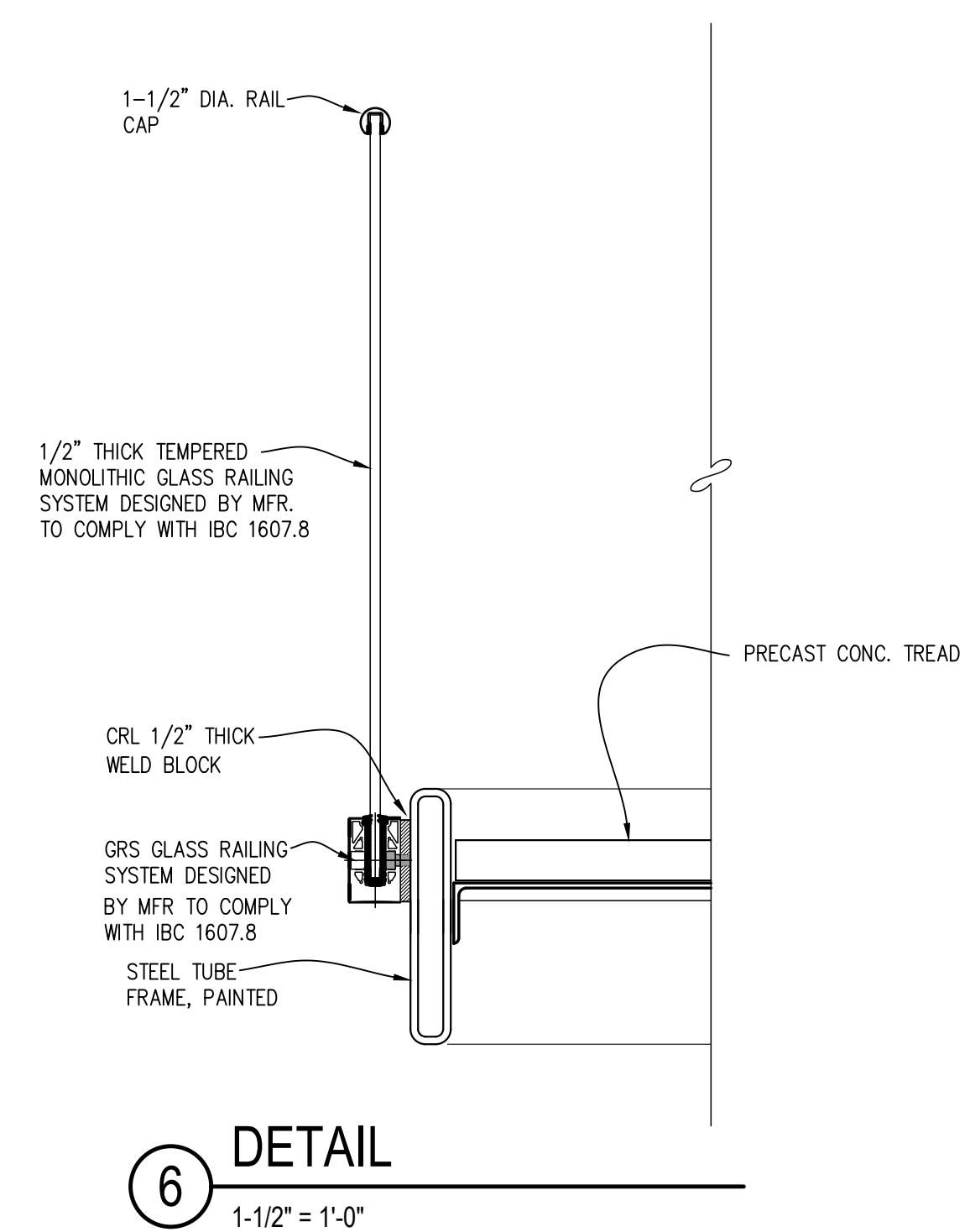
4 DETAIL PLAN
1/2" = 1'-0"



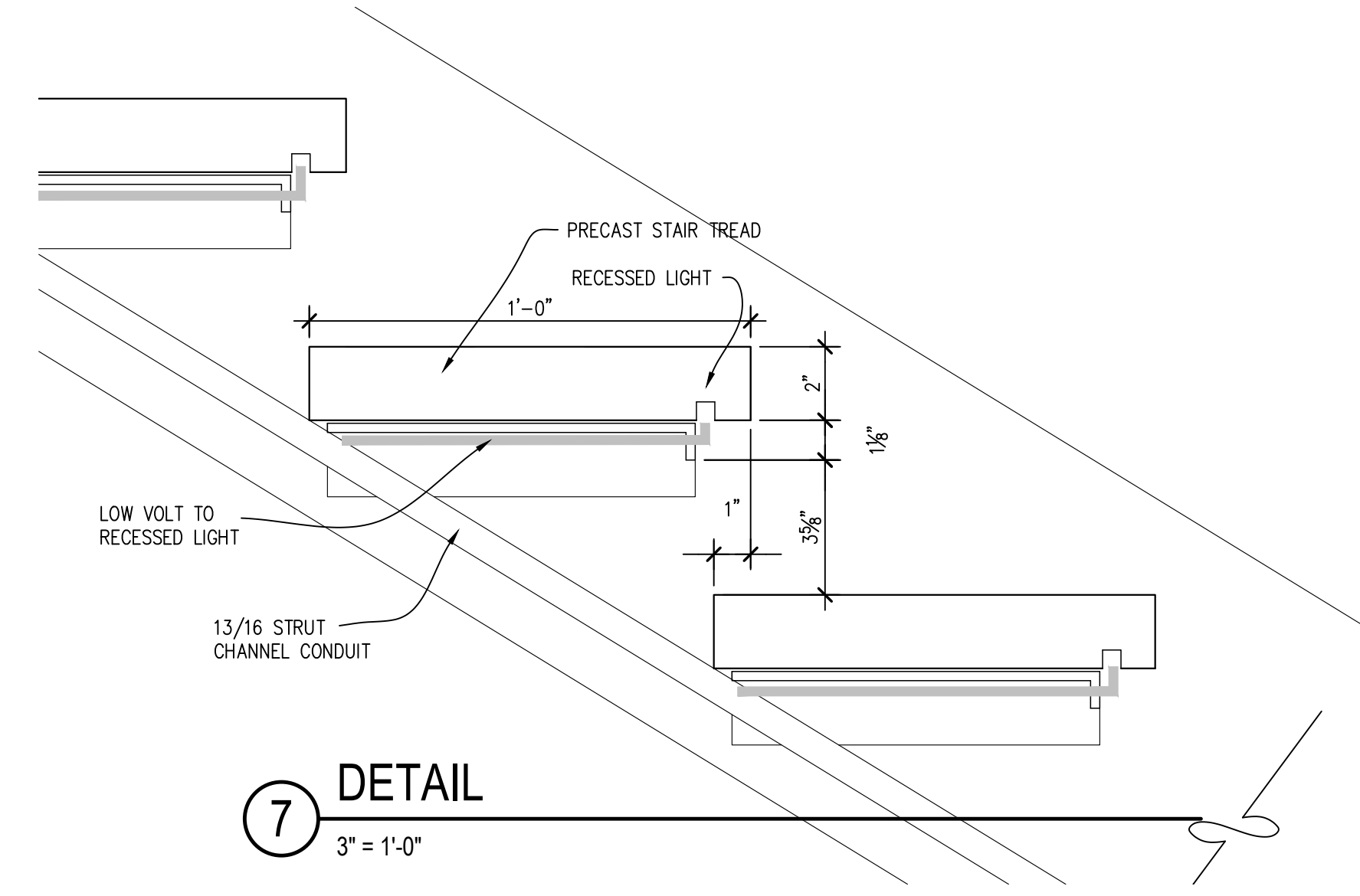
3 DETAIL PLAN
1/2" = 1'-0"



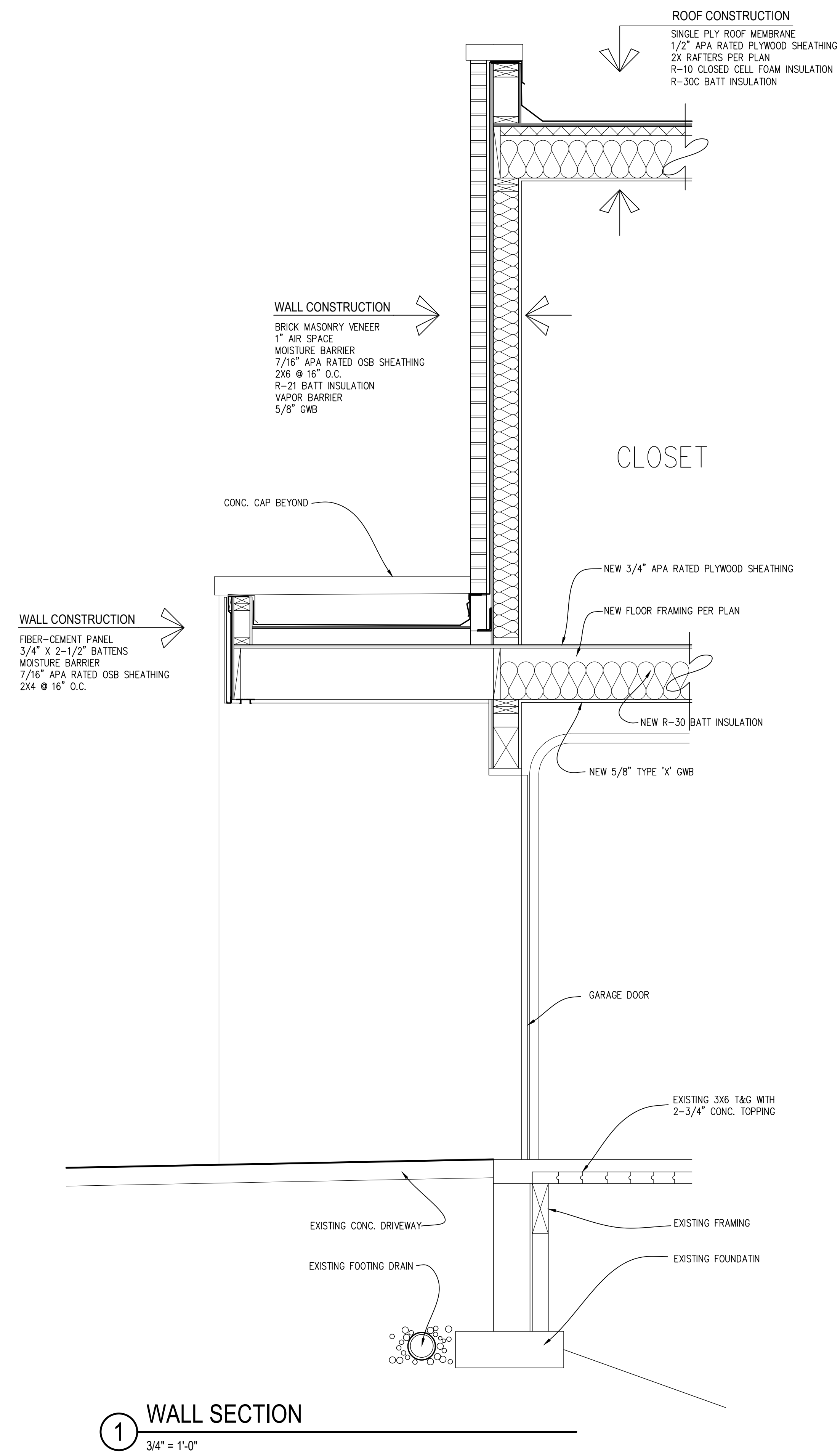
2 DETAIL PLAN
1/2" = 1'-0"



6 DETAIL
1-1/2" = 1'-0"

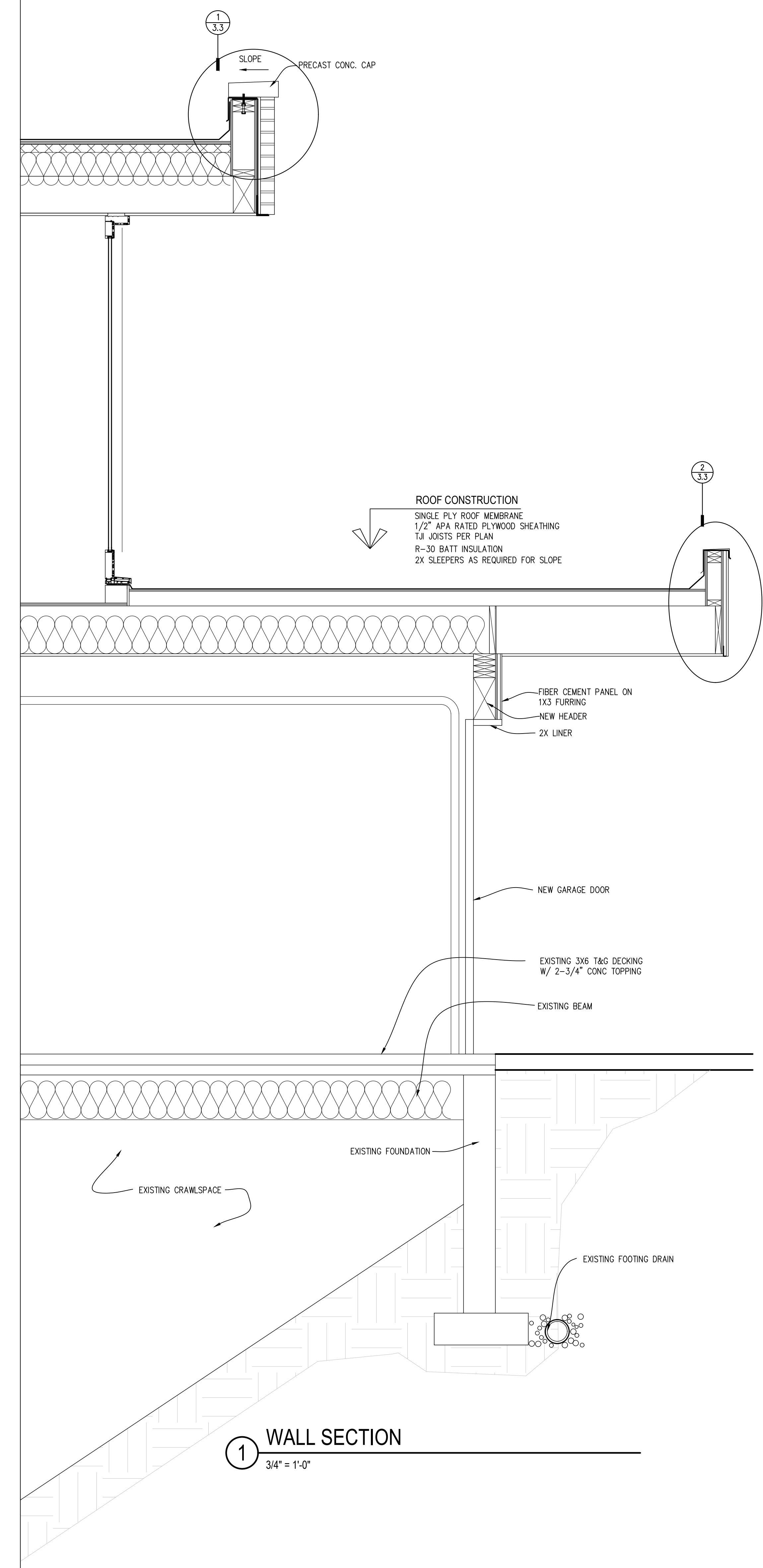
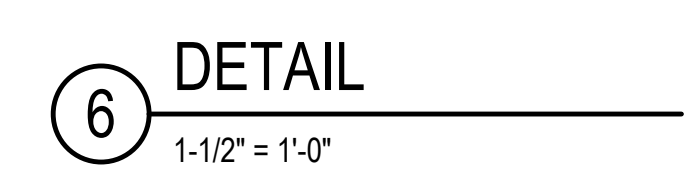
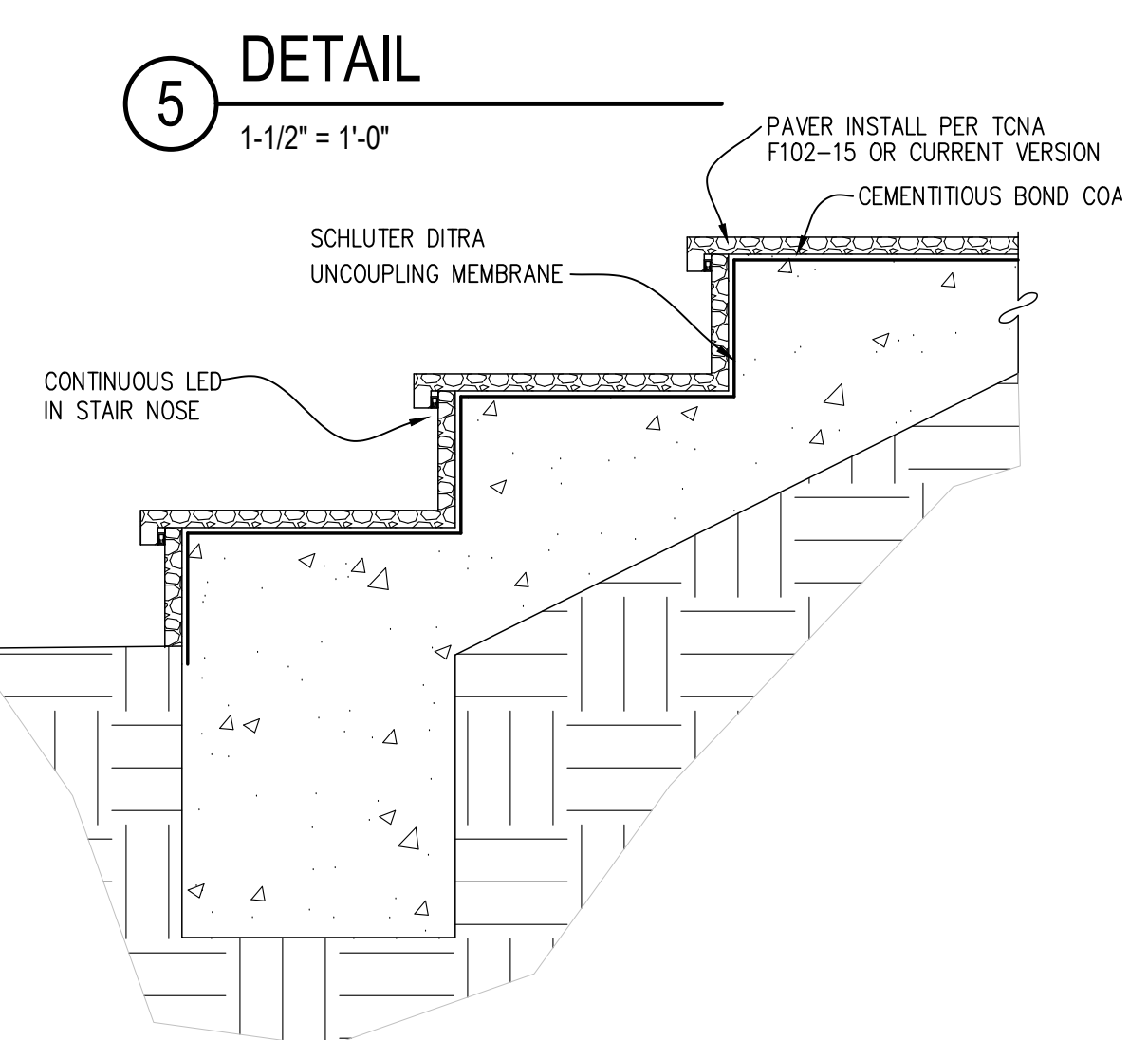
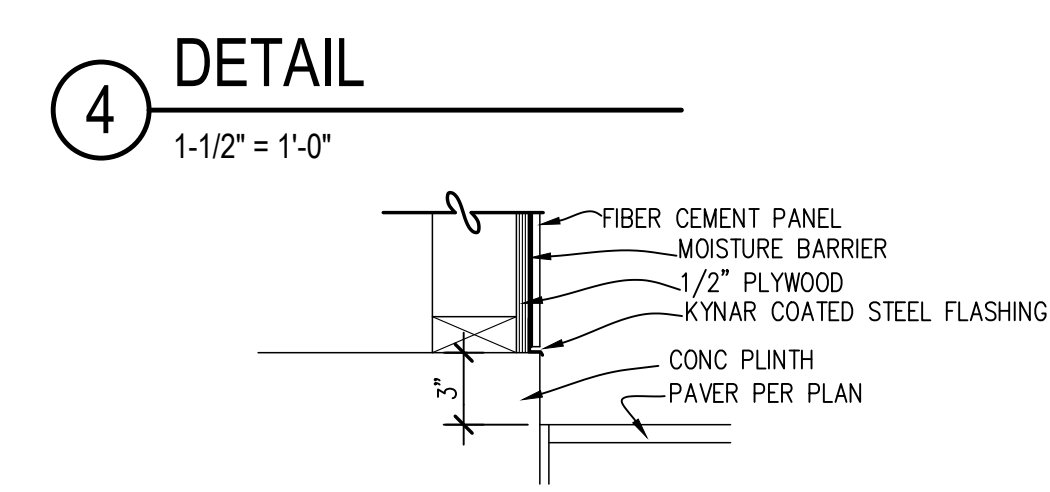
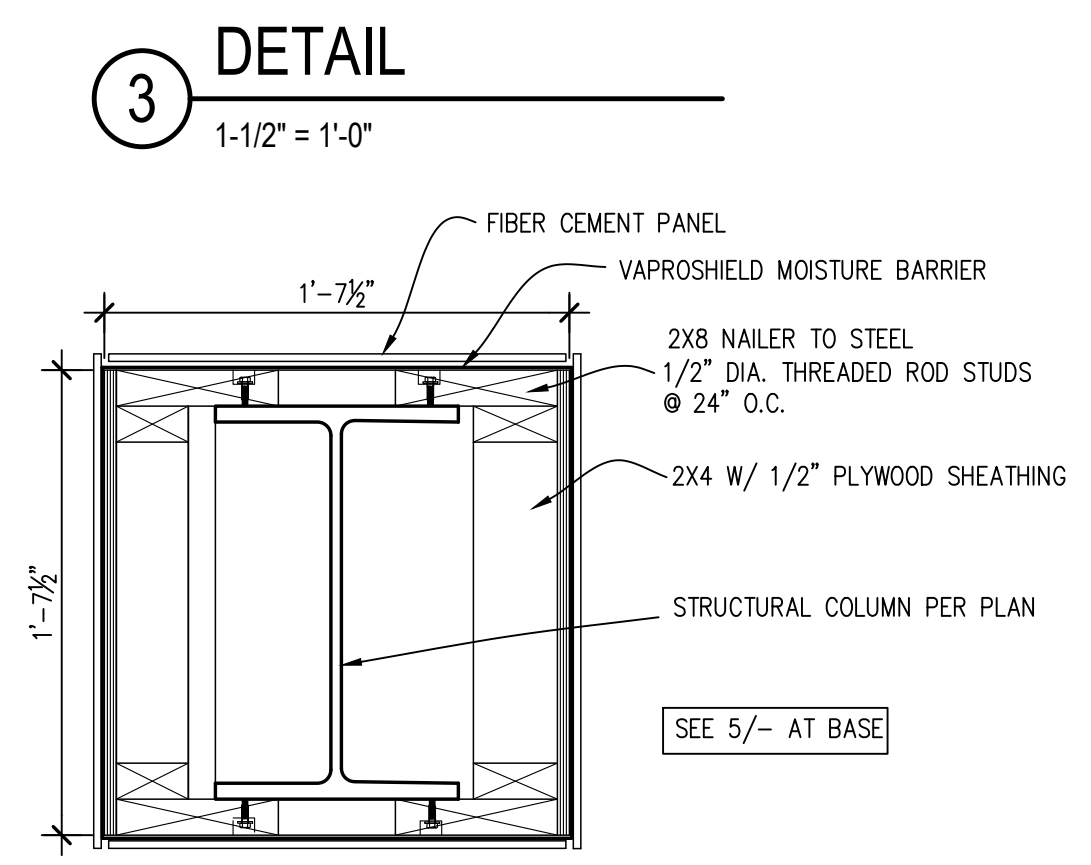
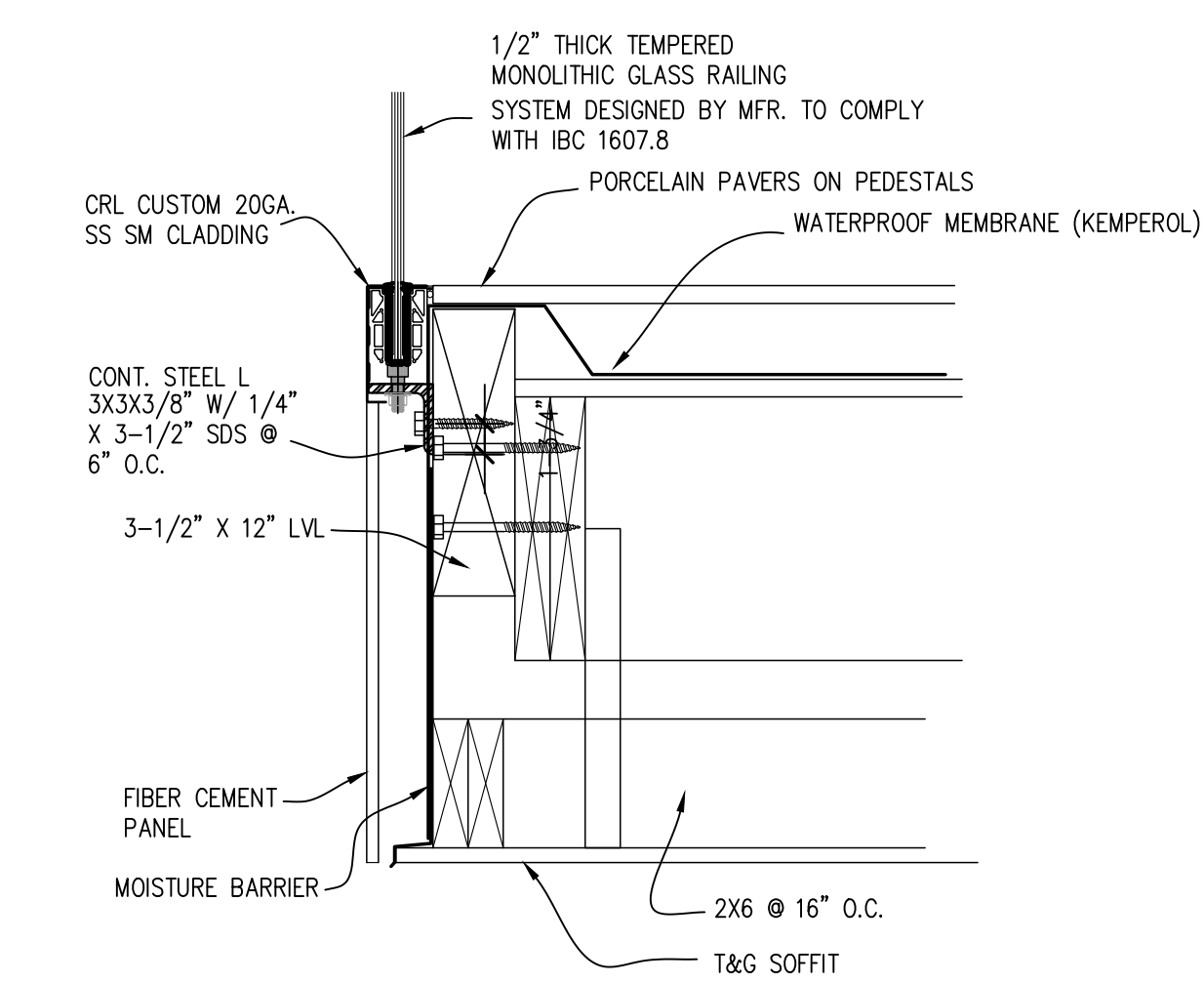
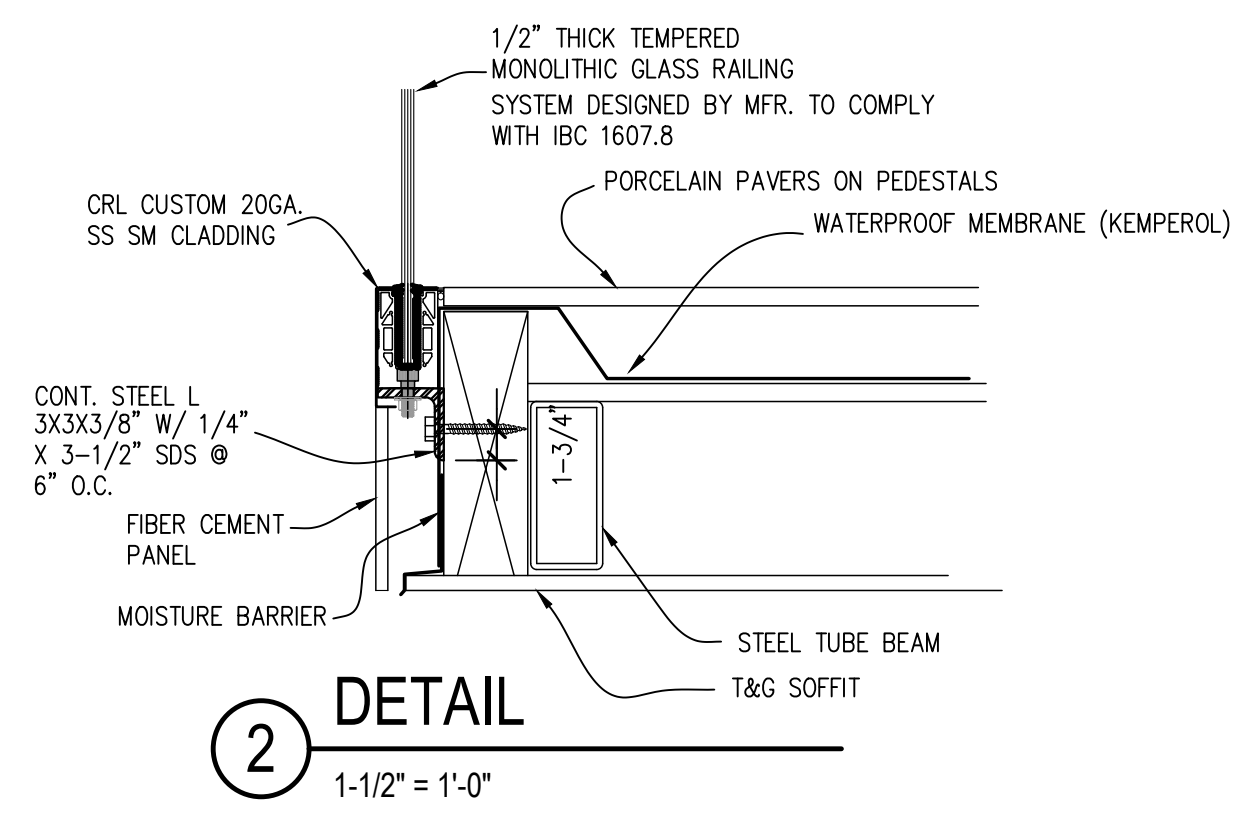


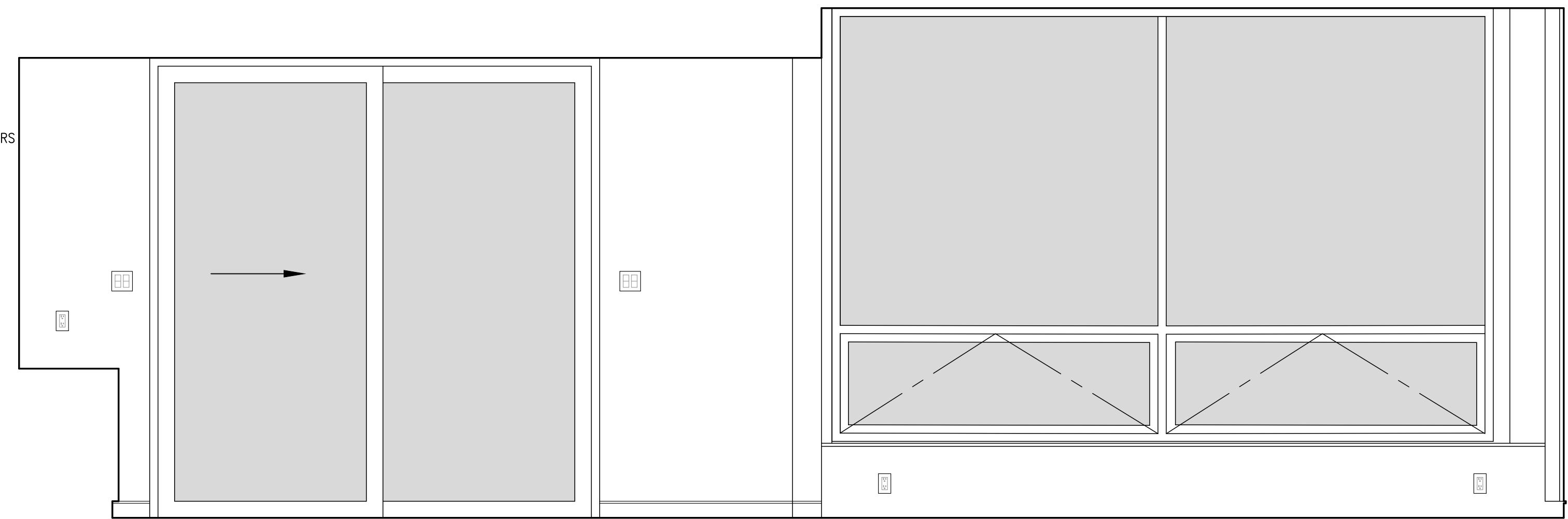
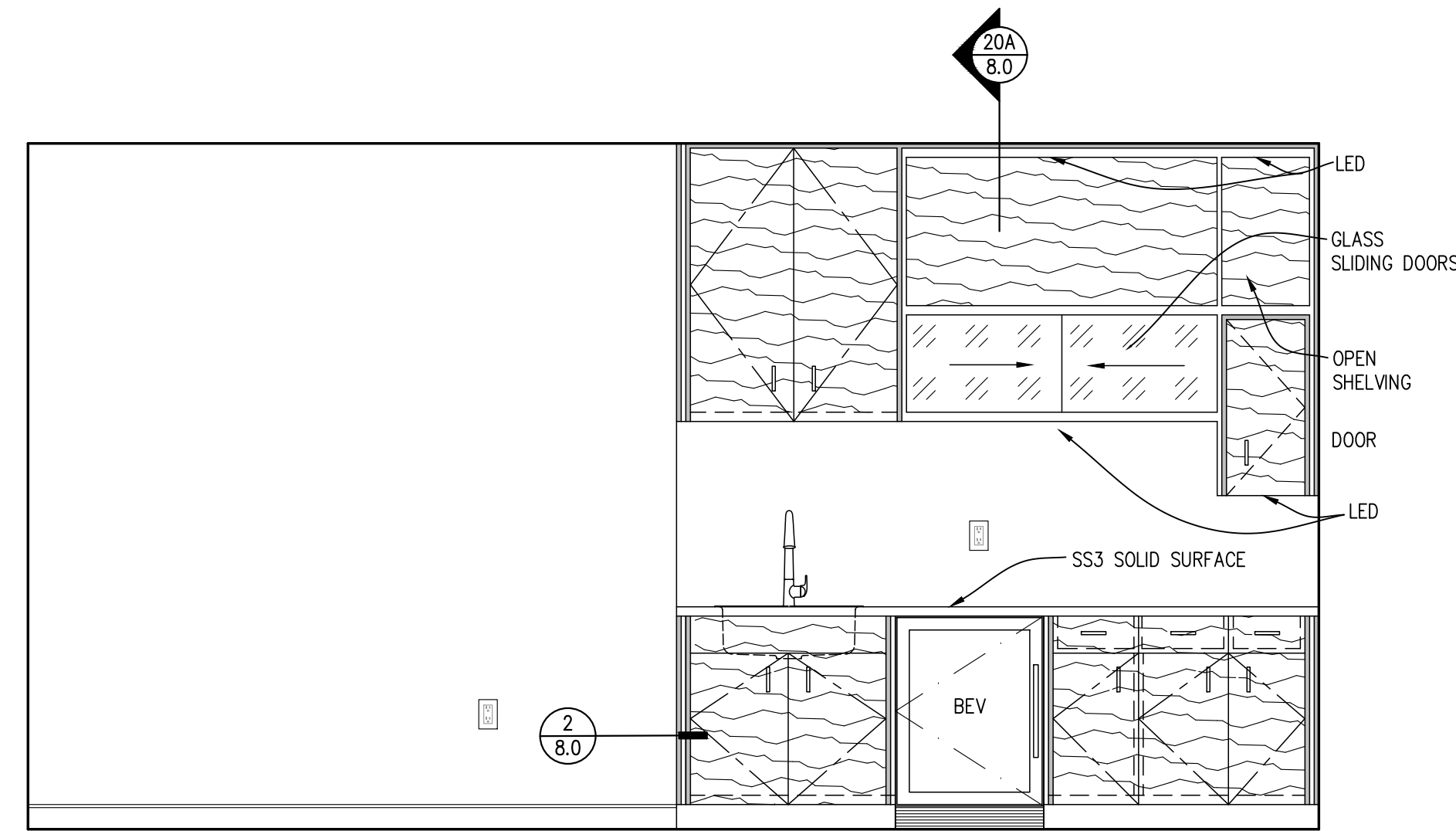
7 DETAIL
3" = 1'-0"



1 WALL SECTION
3/4" = 1'-0"

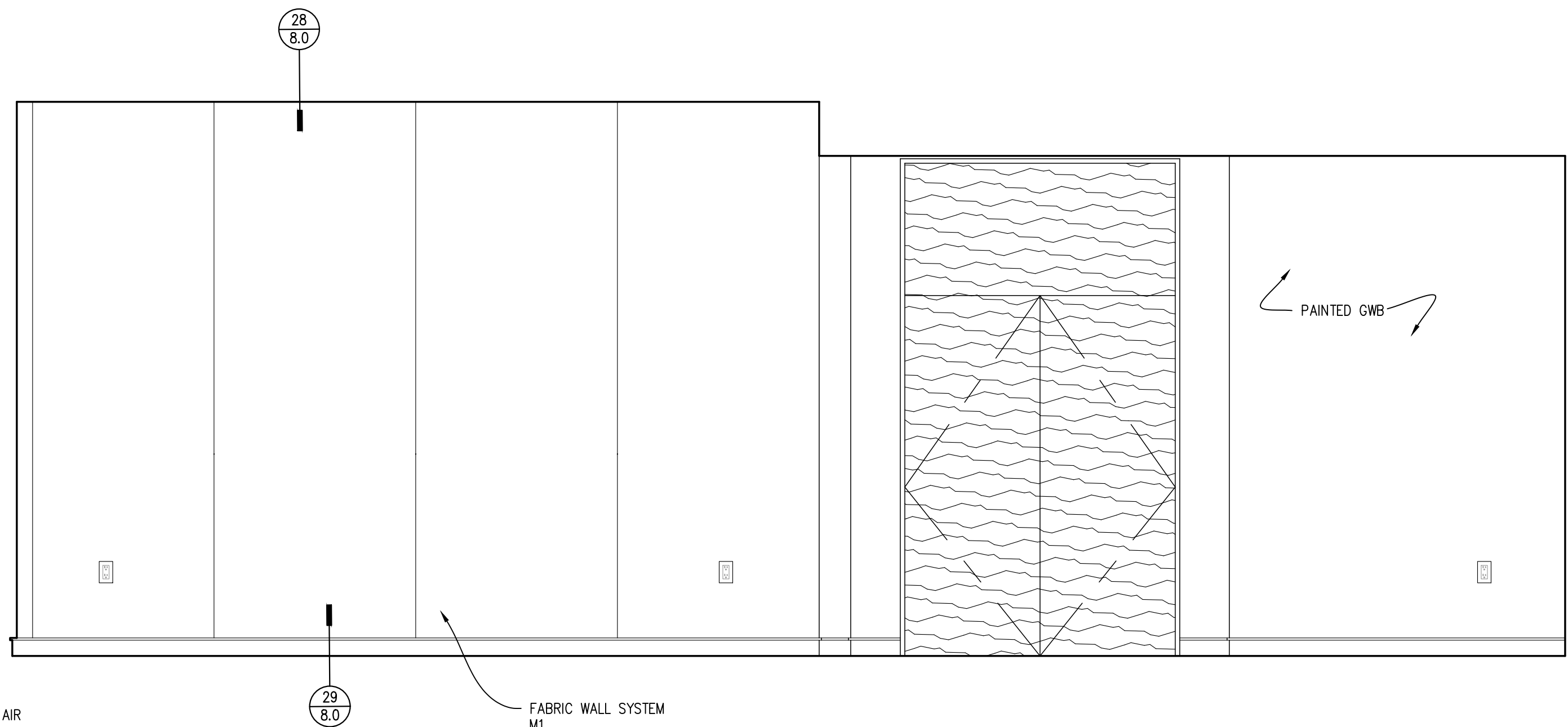
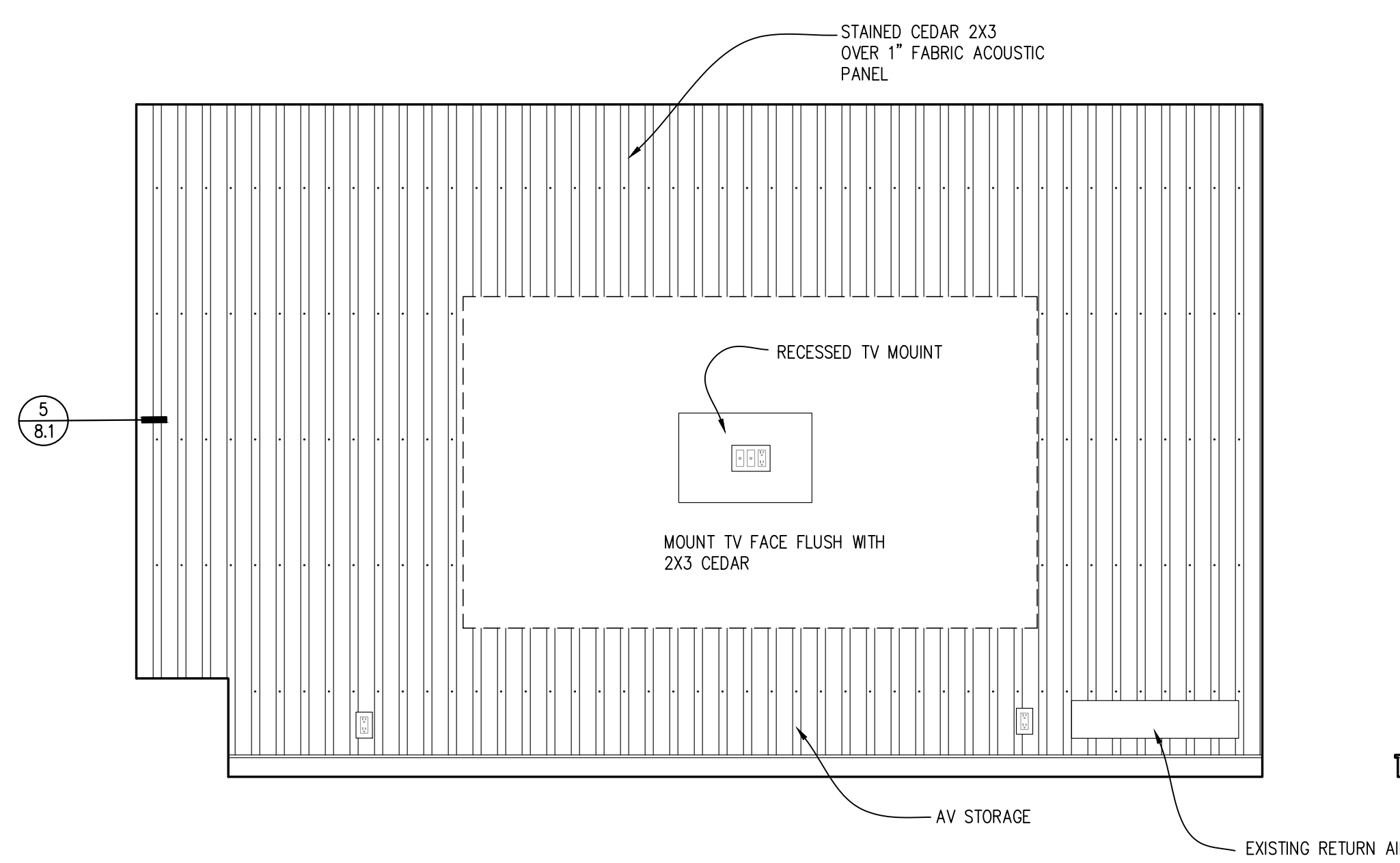






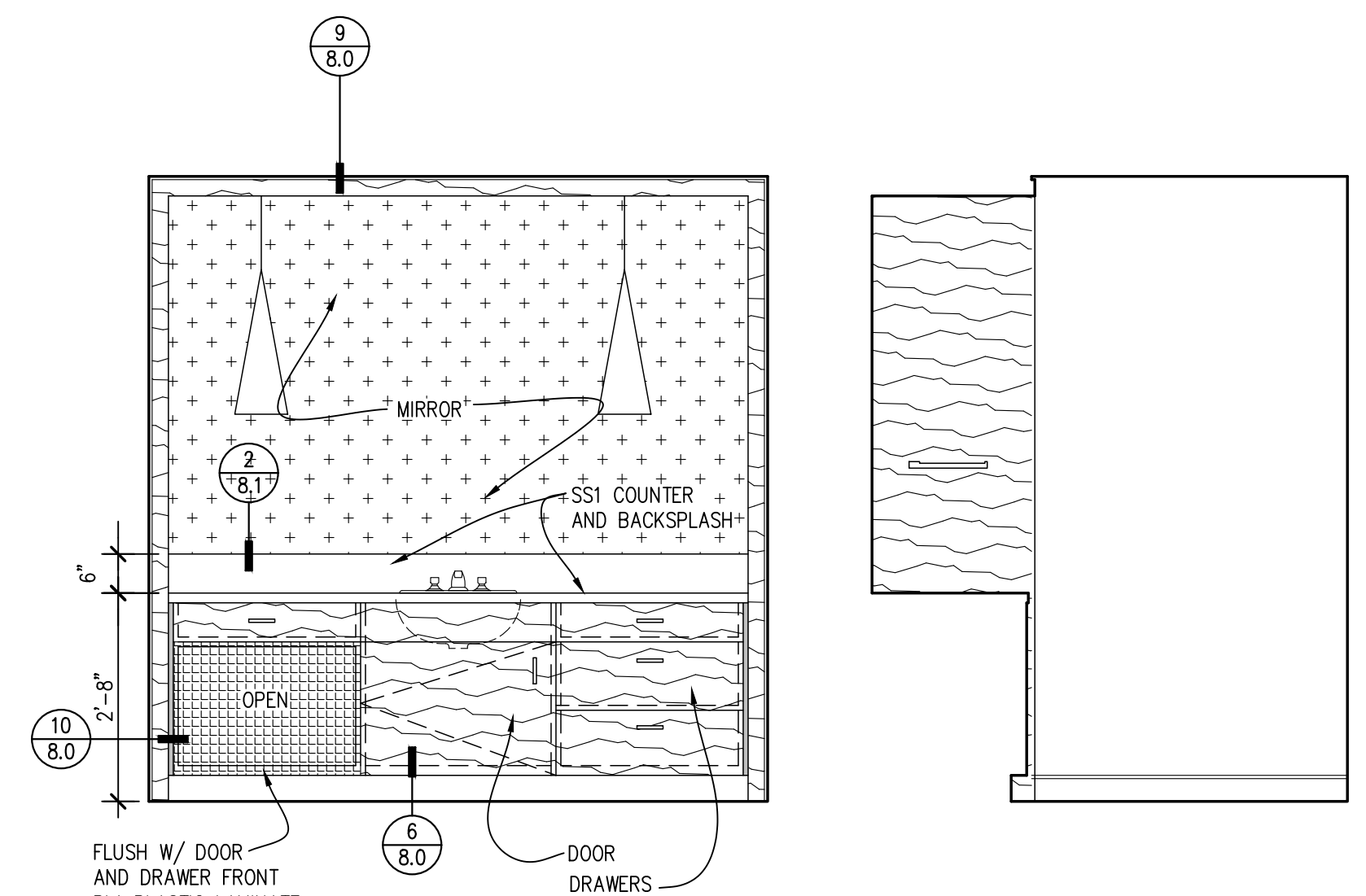
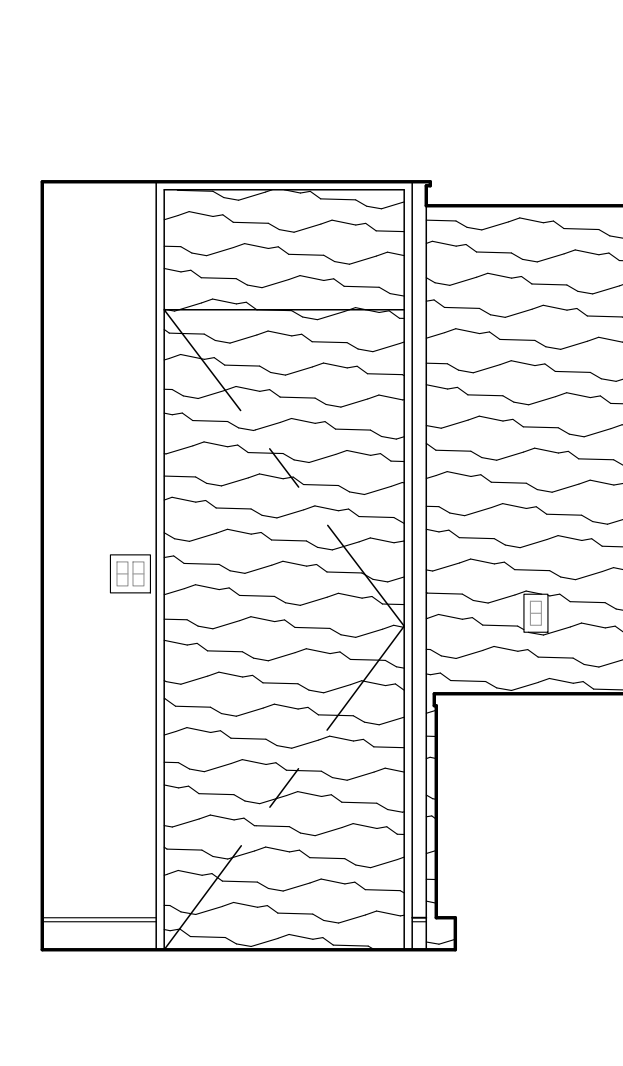
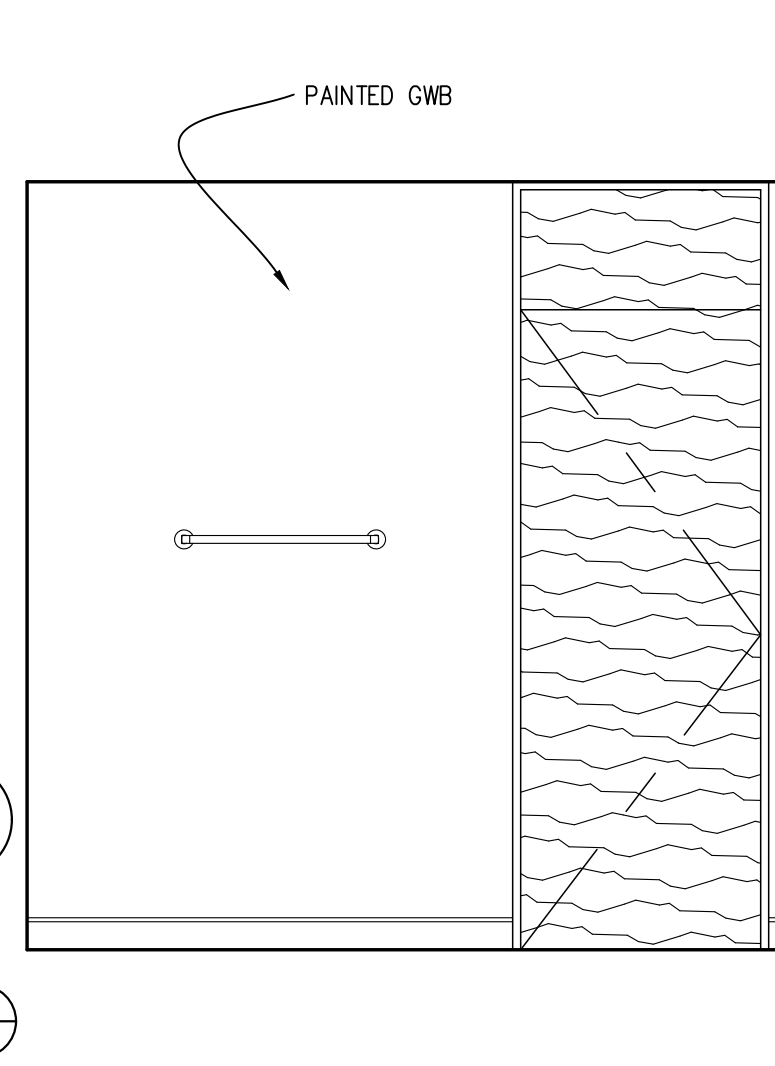
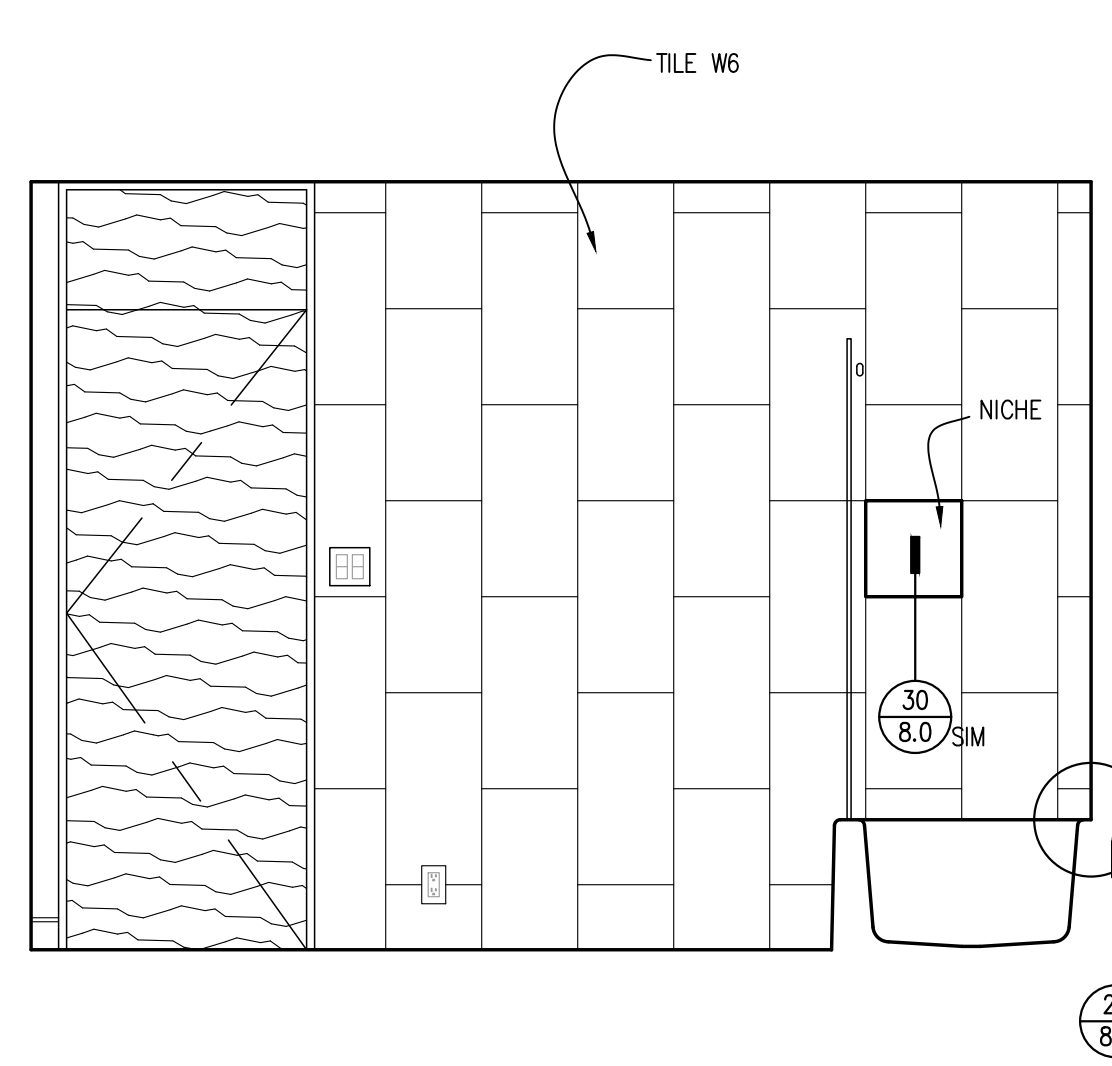
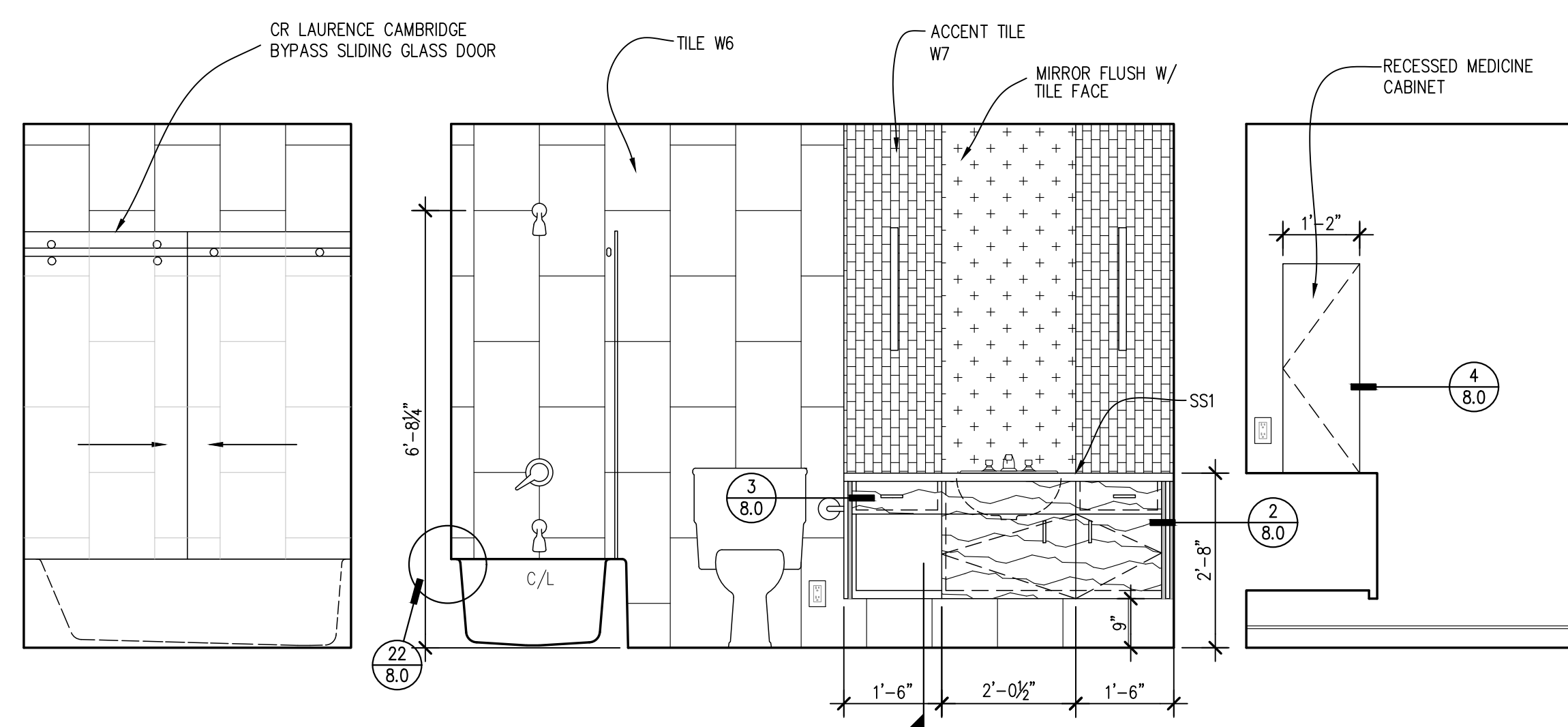
B
FAMILY ROOM #100
1/2" = 1'-0"

A



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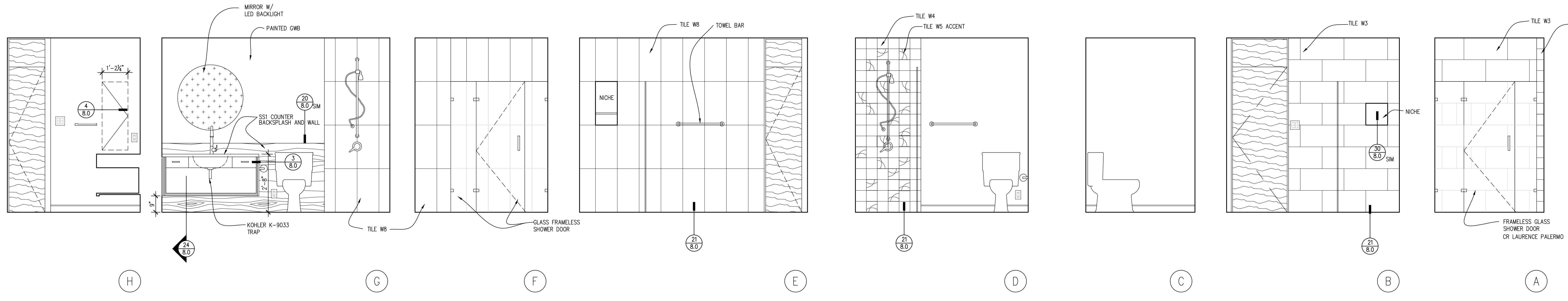
K

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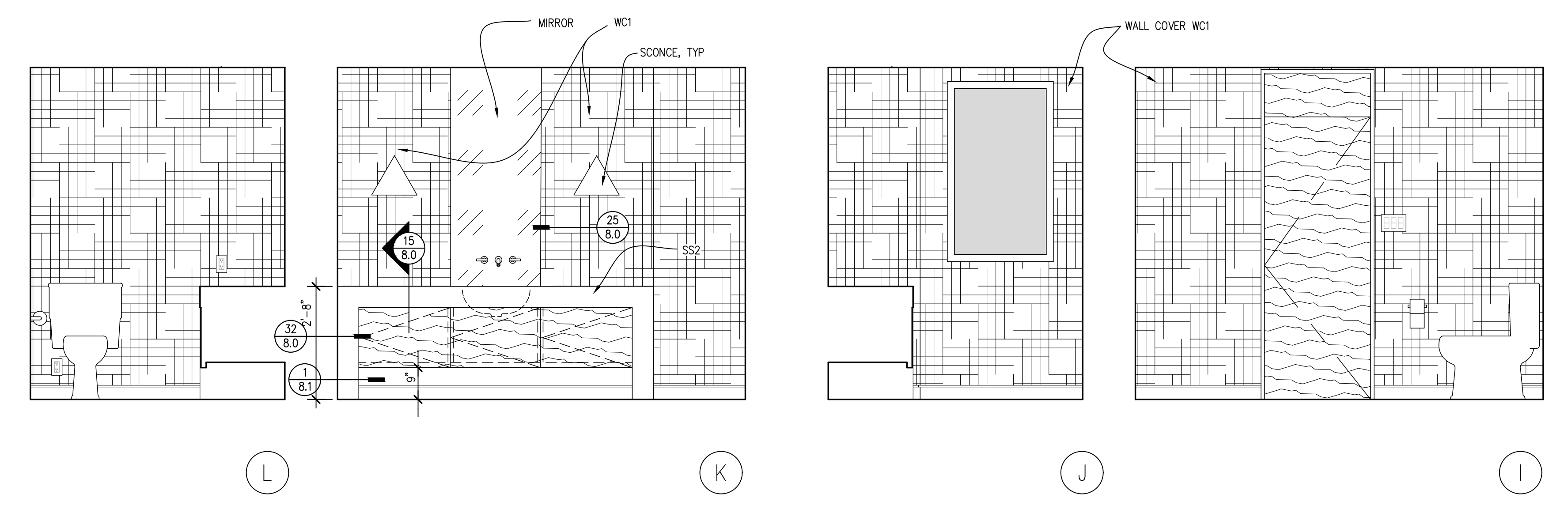
BATH 2 #103
1/2" = 1'-0"

LAV1 #106
1/2" = 1'-0"

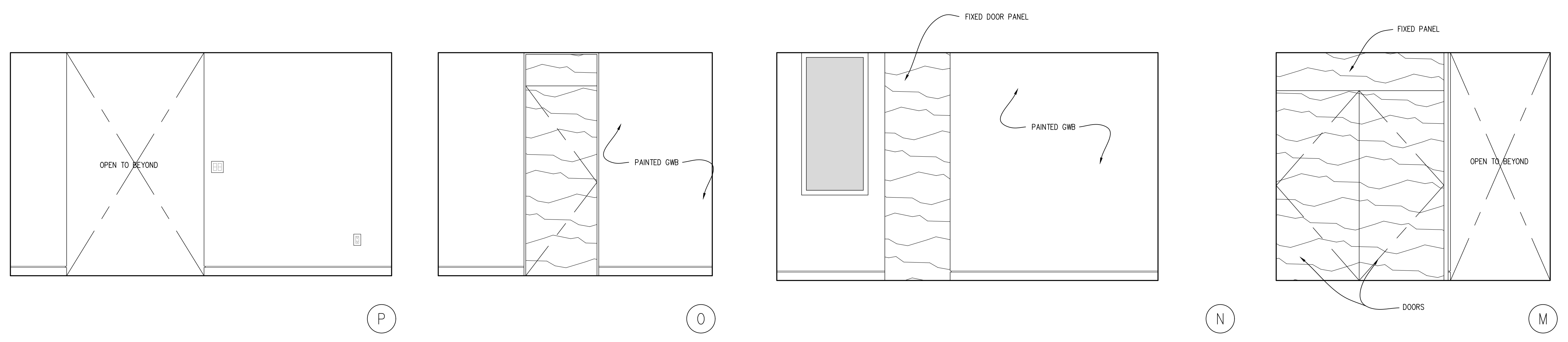


BATH 3 #112
1/2" = 1'-0"

BATH 1 #107
1/2" = 1'-0"



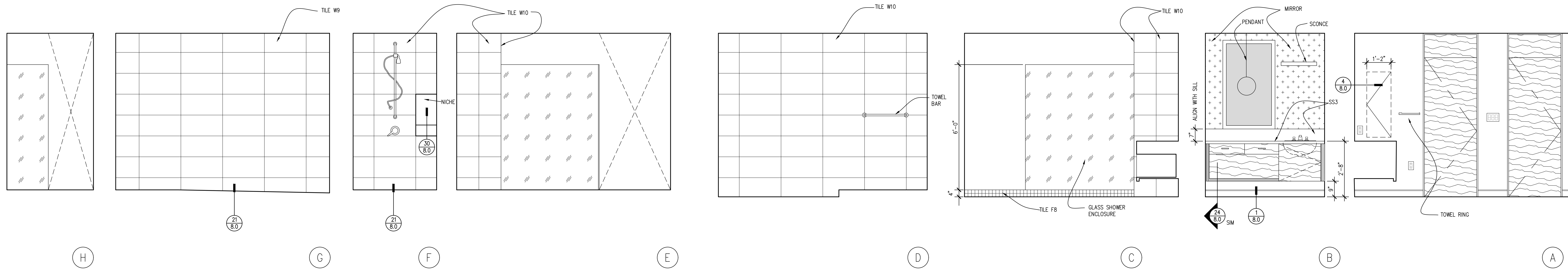
POWDER #217
1/2" = 1'-0"



COATS #216
1/2" = 1'-0"



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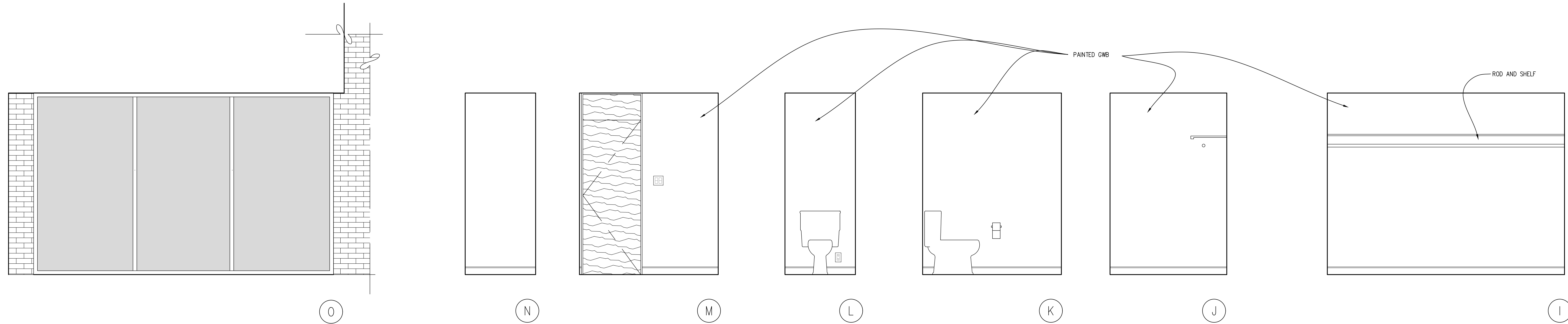


SHOWER 4

1/2" = 1'-0"

BATH #215

1/2" = 1'-0"

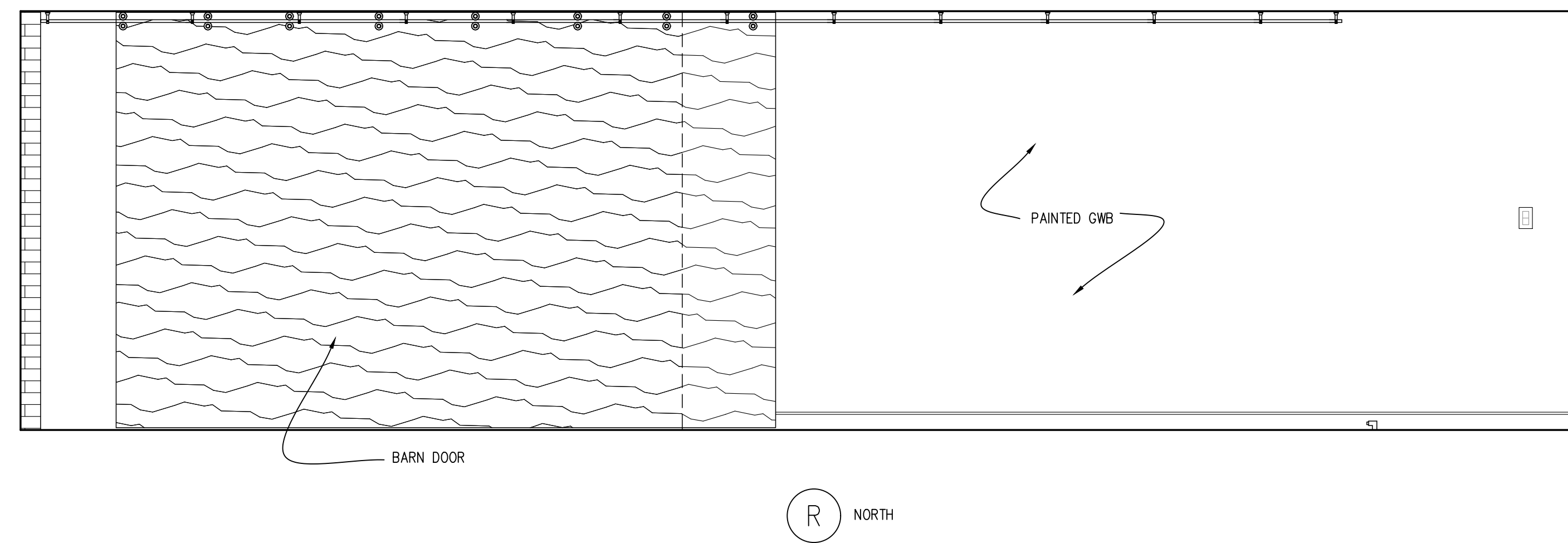


WC #214

1/2" = 1'-0"

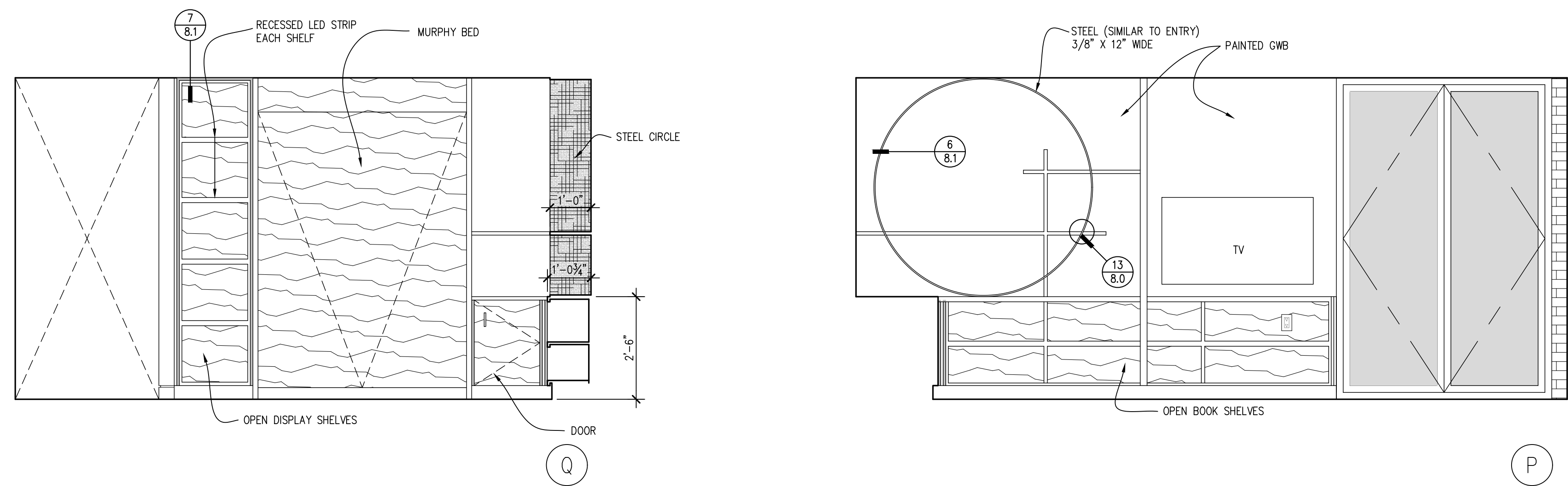
CLOSET #213

1/2" = 1'-0"



OFFICE #212

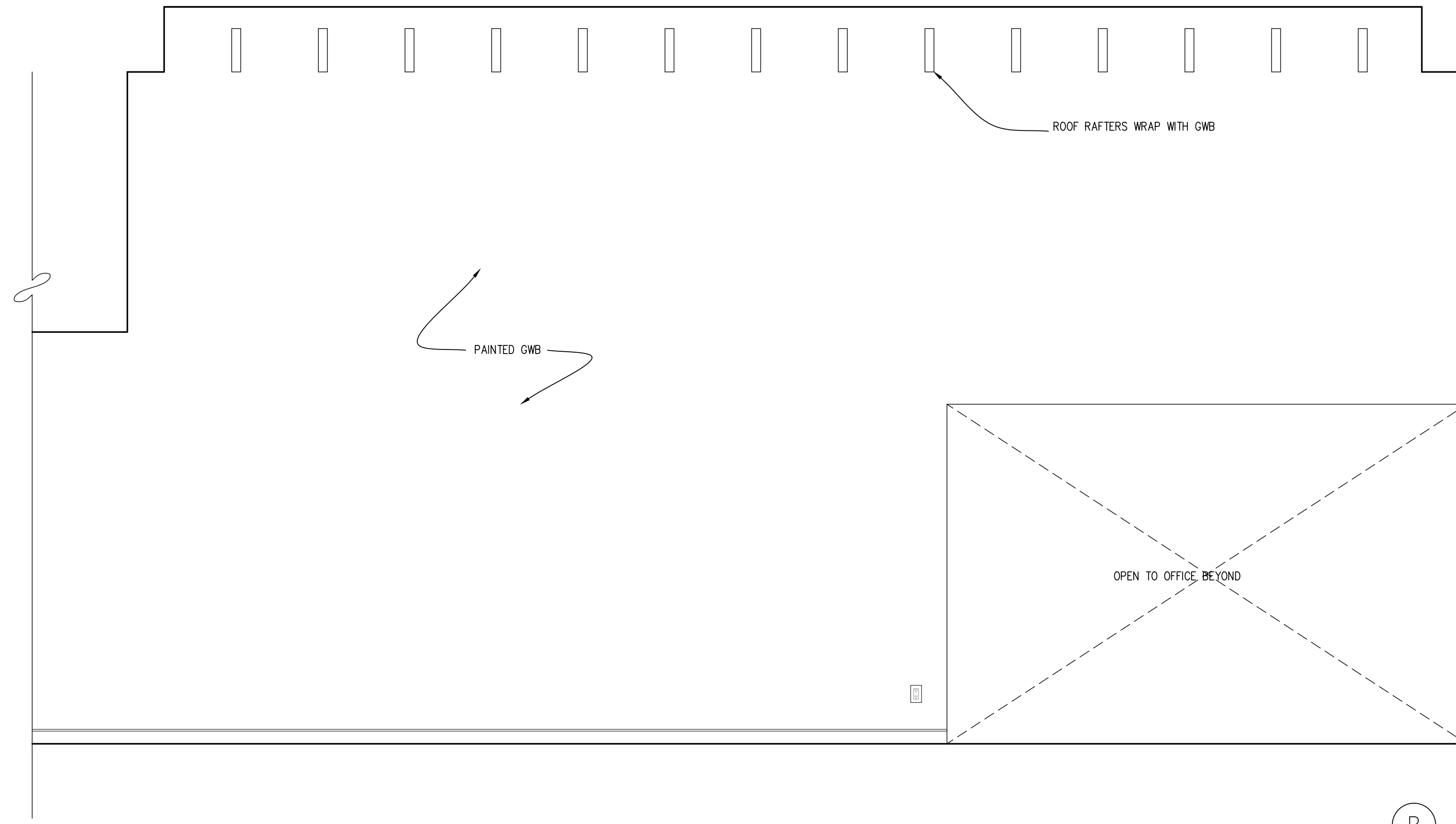
1/2" = 1'-0"



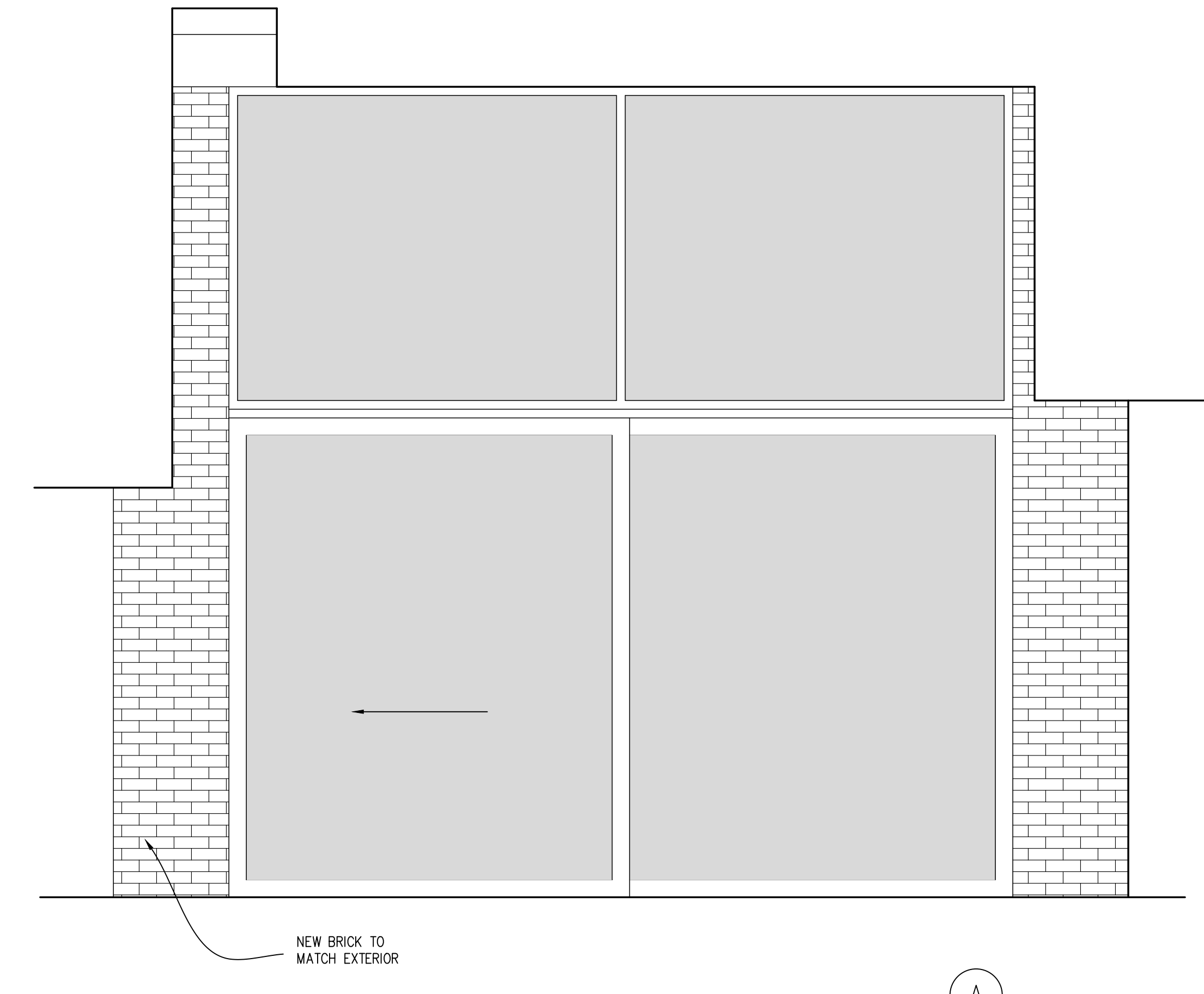
OFFICE 'B'

1/2" = 1'-0"

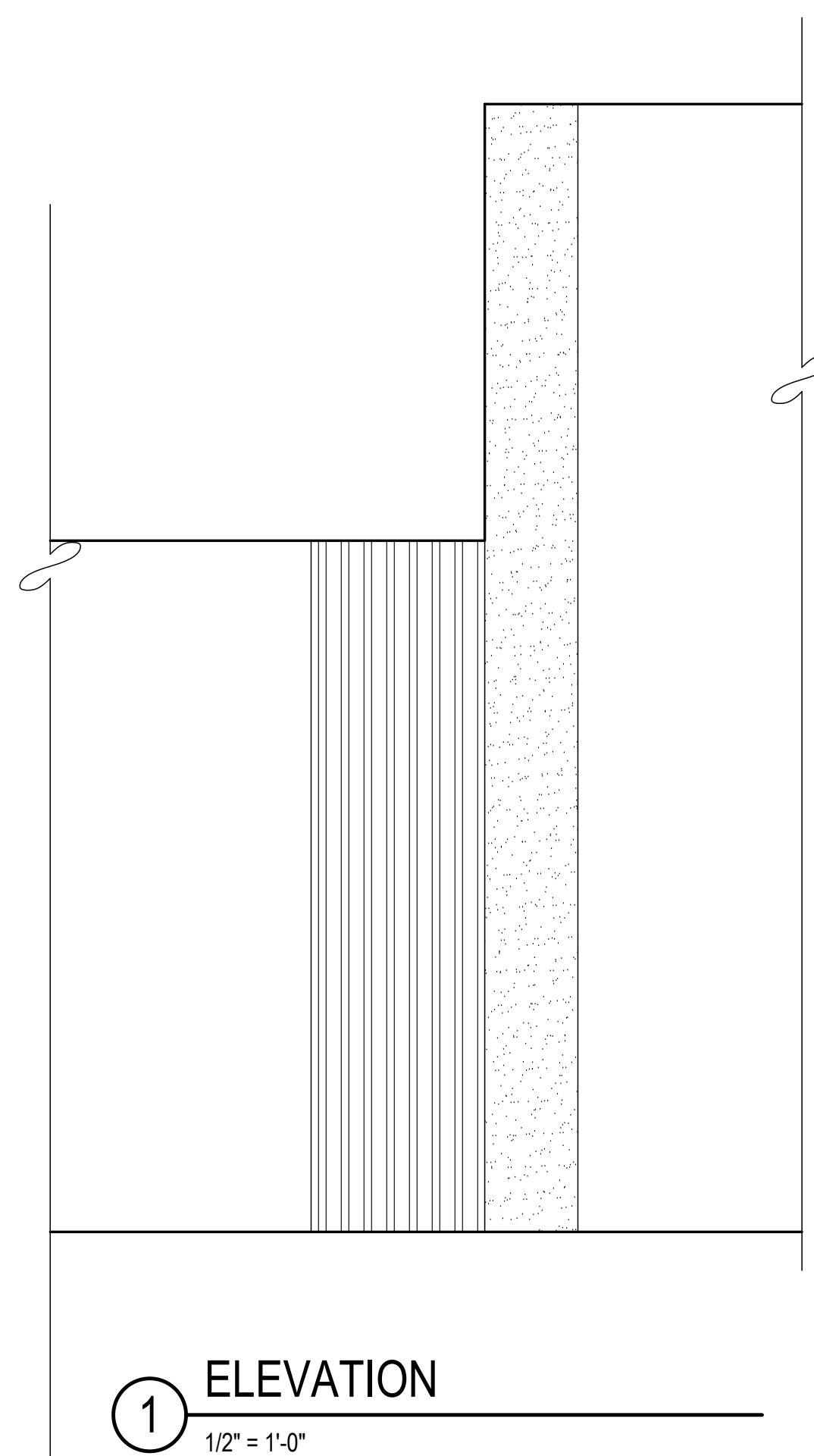




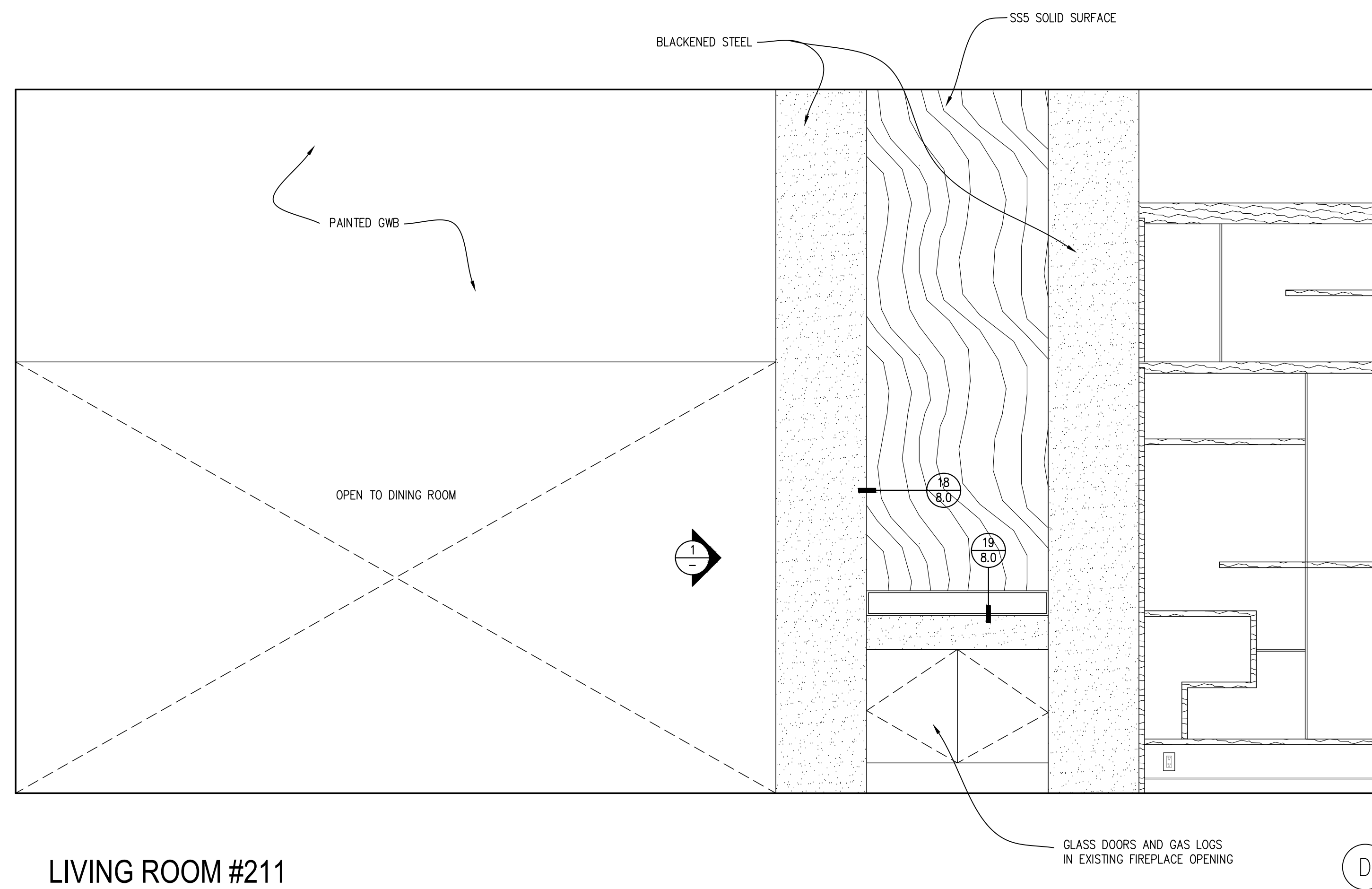
B



A

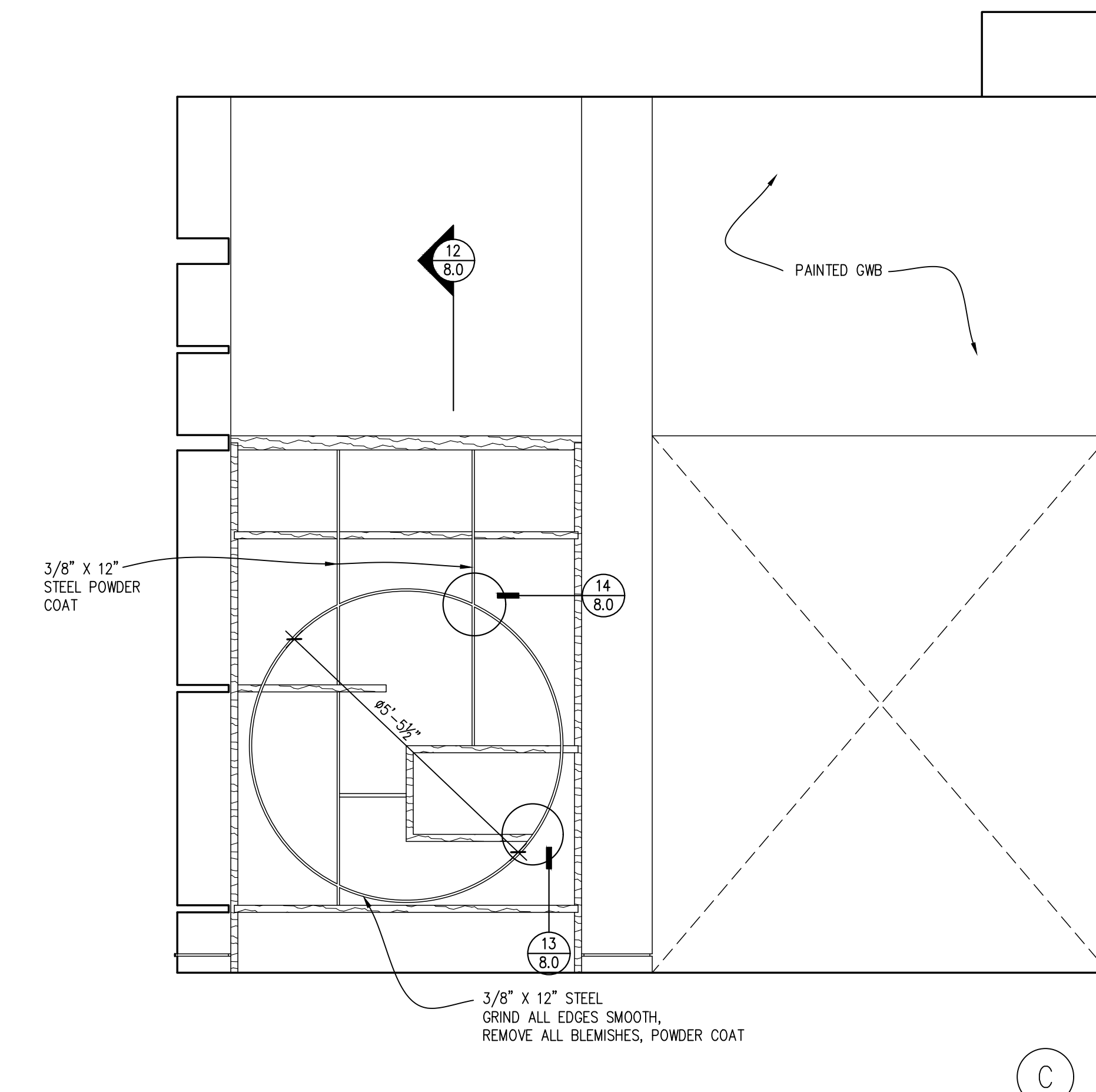


1 ELEVATION
1/2" = 1'-0"



D

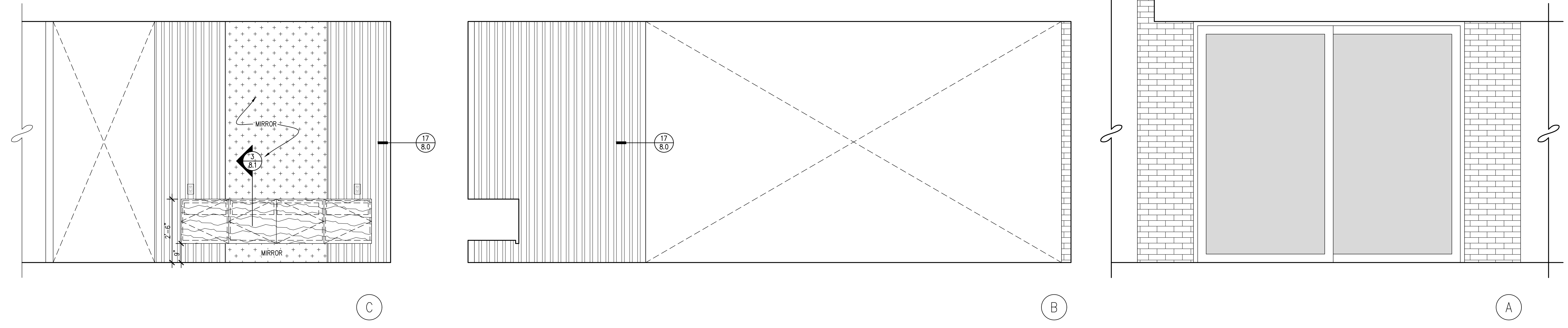
LIVING ROOM #211
1/2" = 1'-0"



C

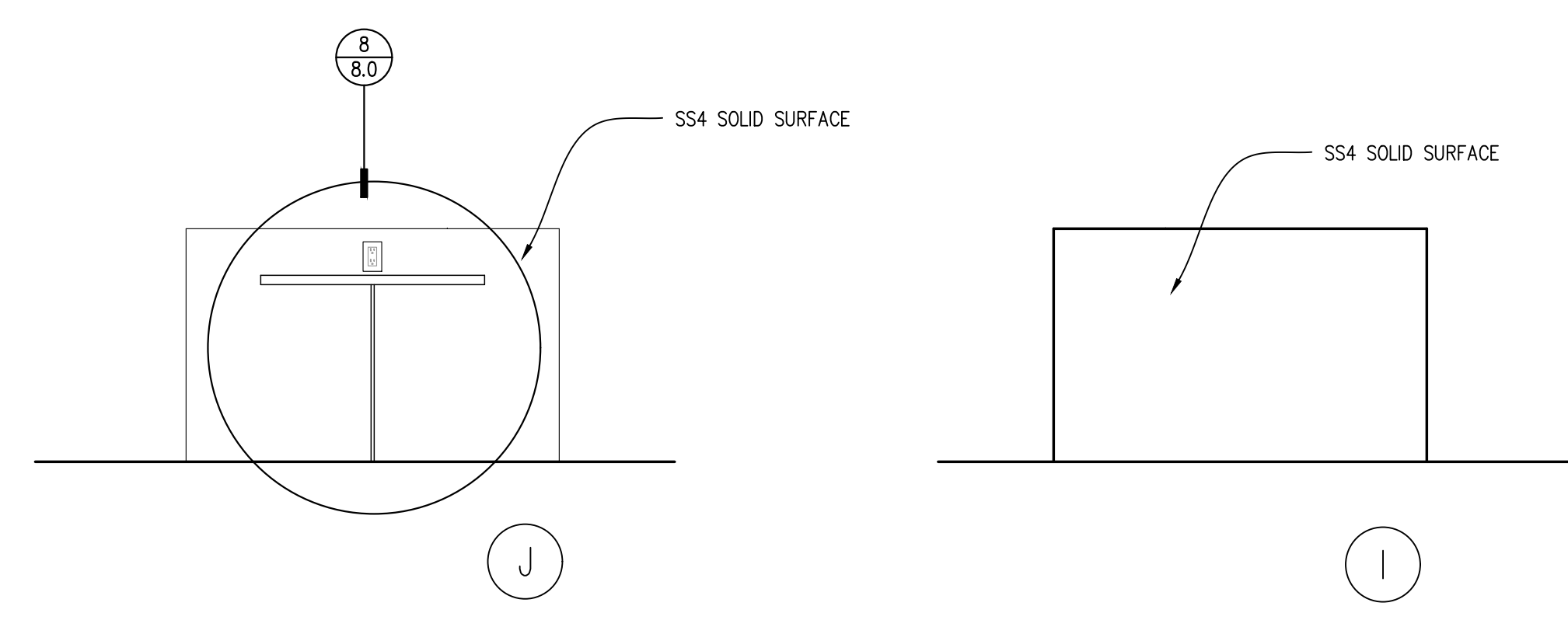


1	10/16/23	RESPONSE
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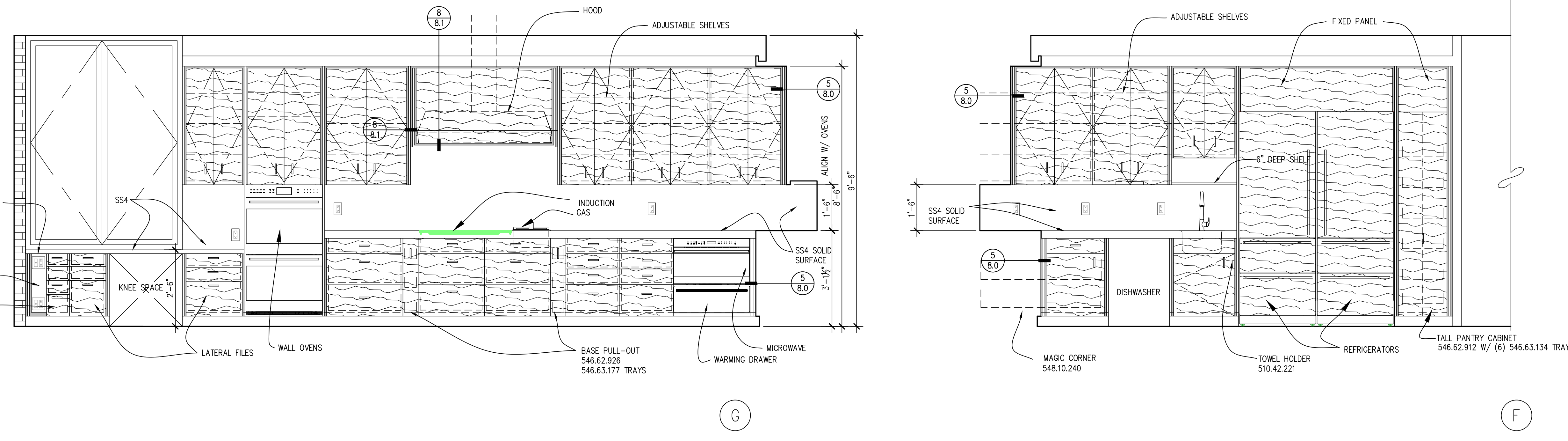
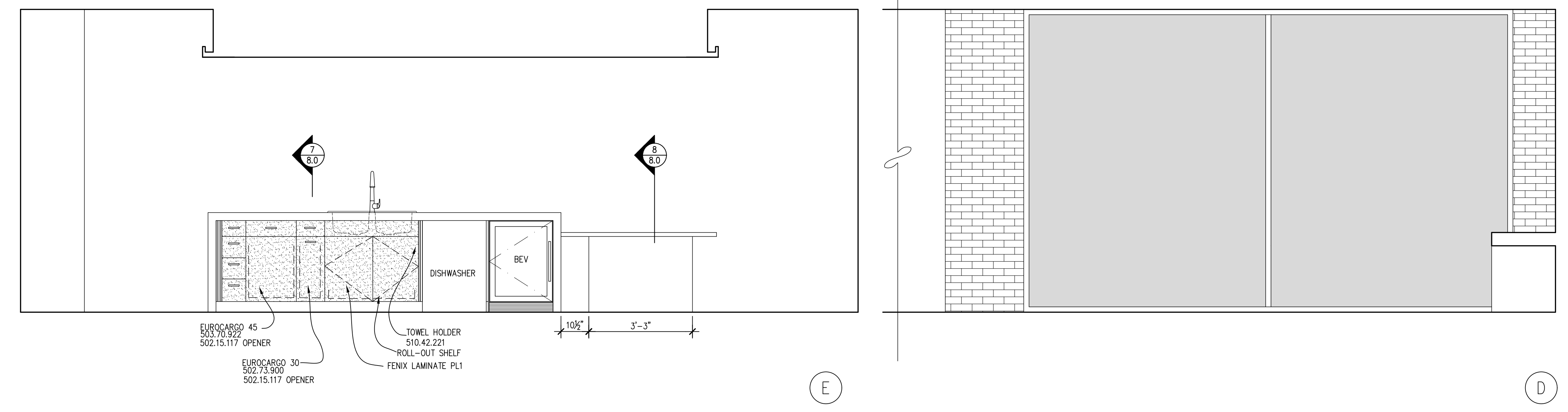
DINING #210

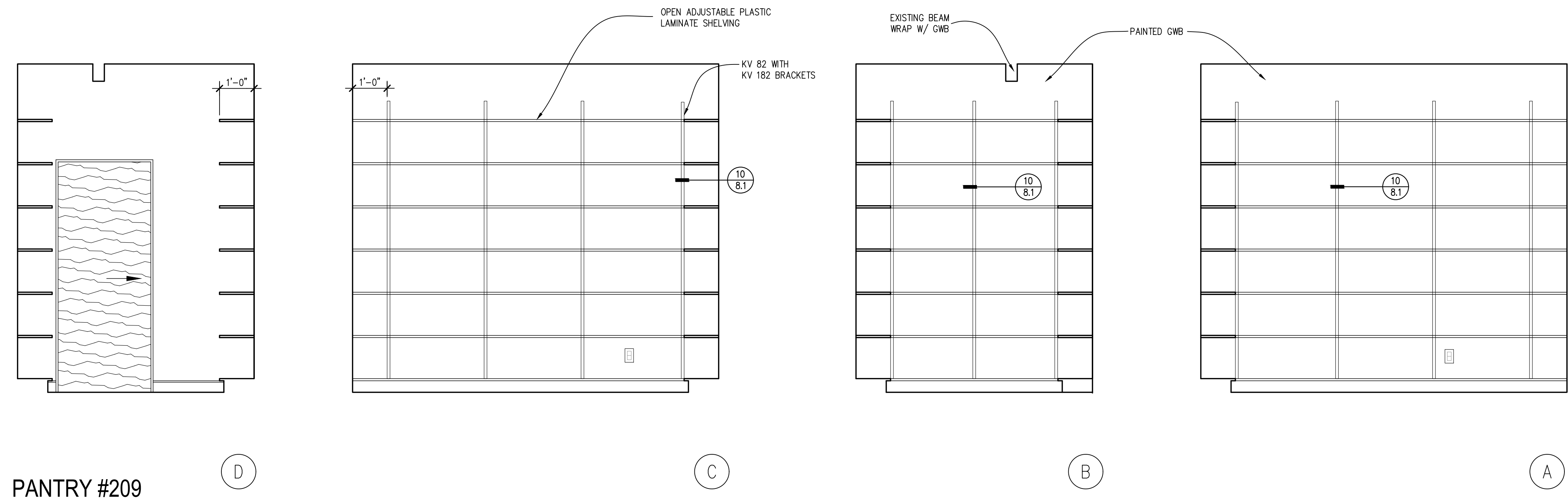
1/2" = 1'-0"



KITCHEN #207

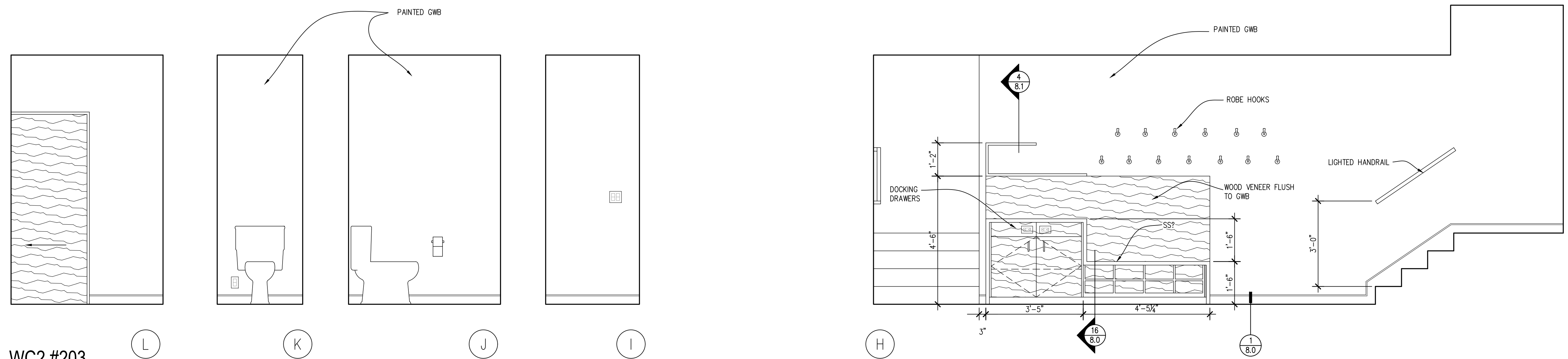
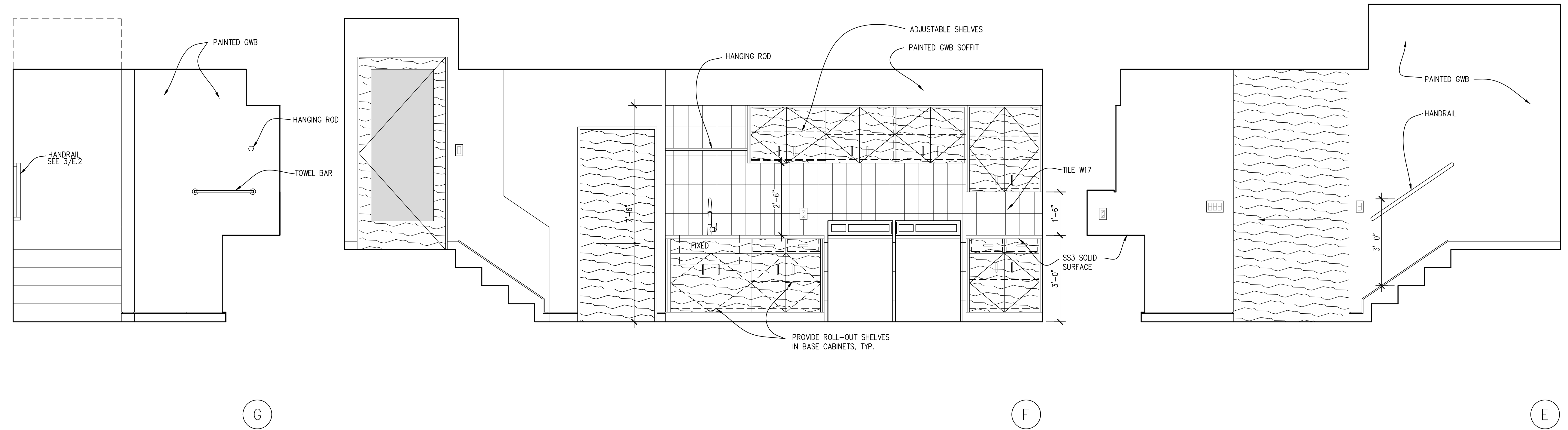
1/2" = 1'-0"





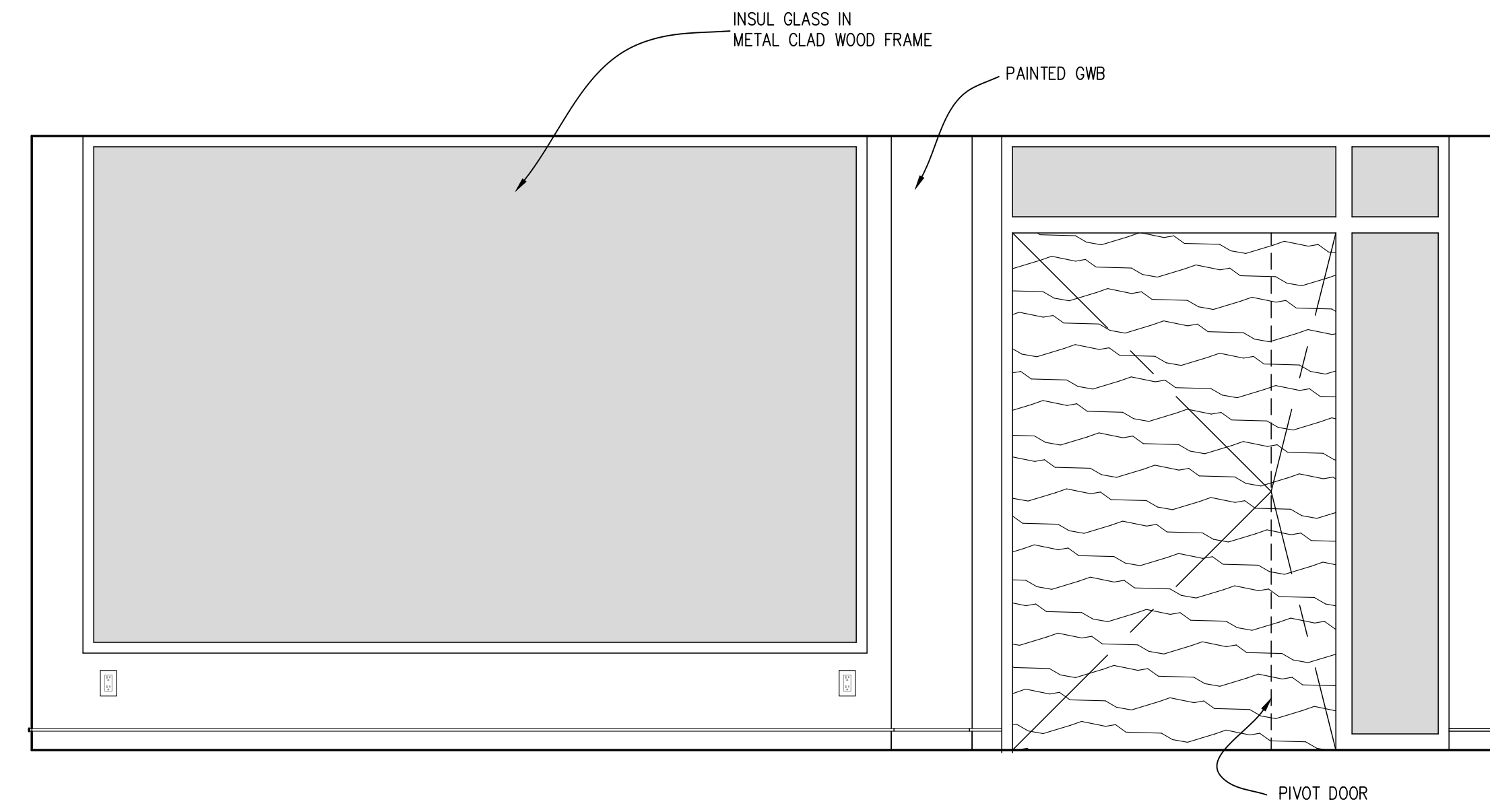
PANTRY #209

1/2" = 1'-0"

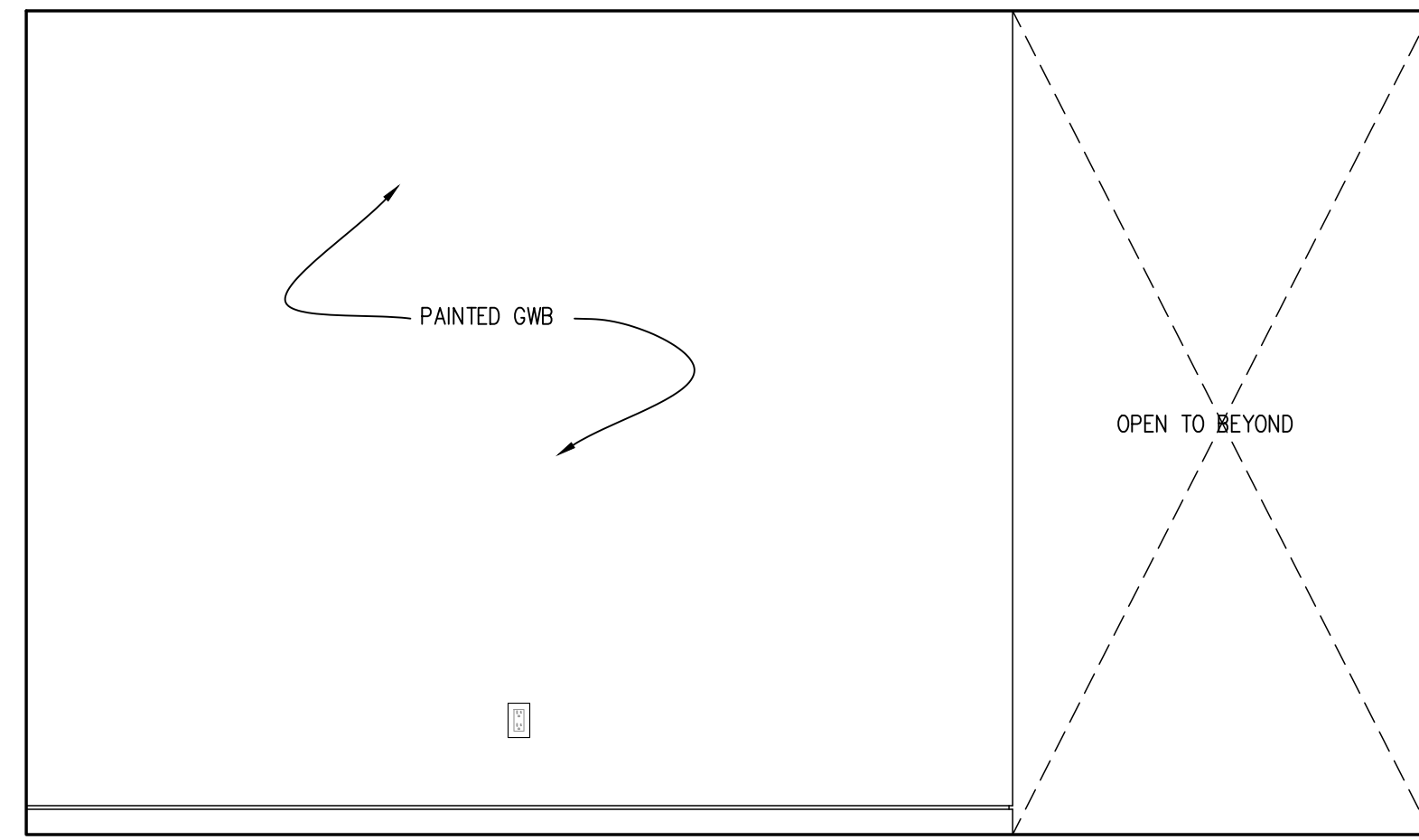


WC2 #203

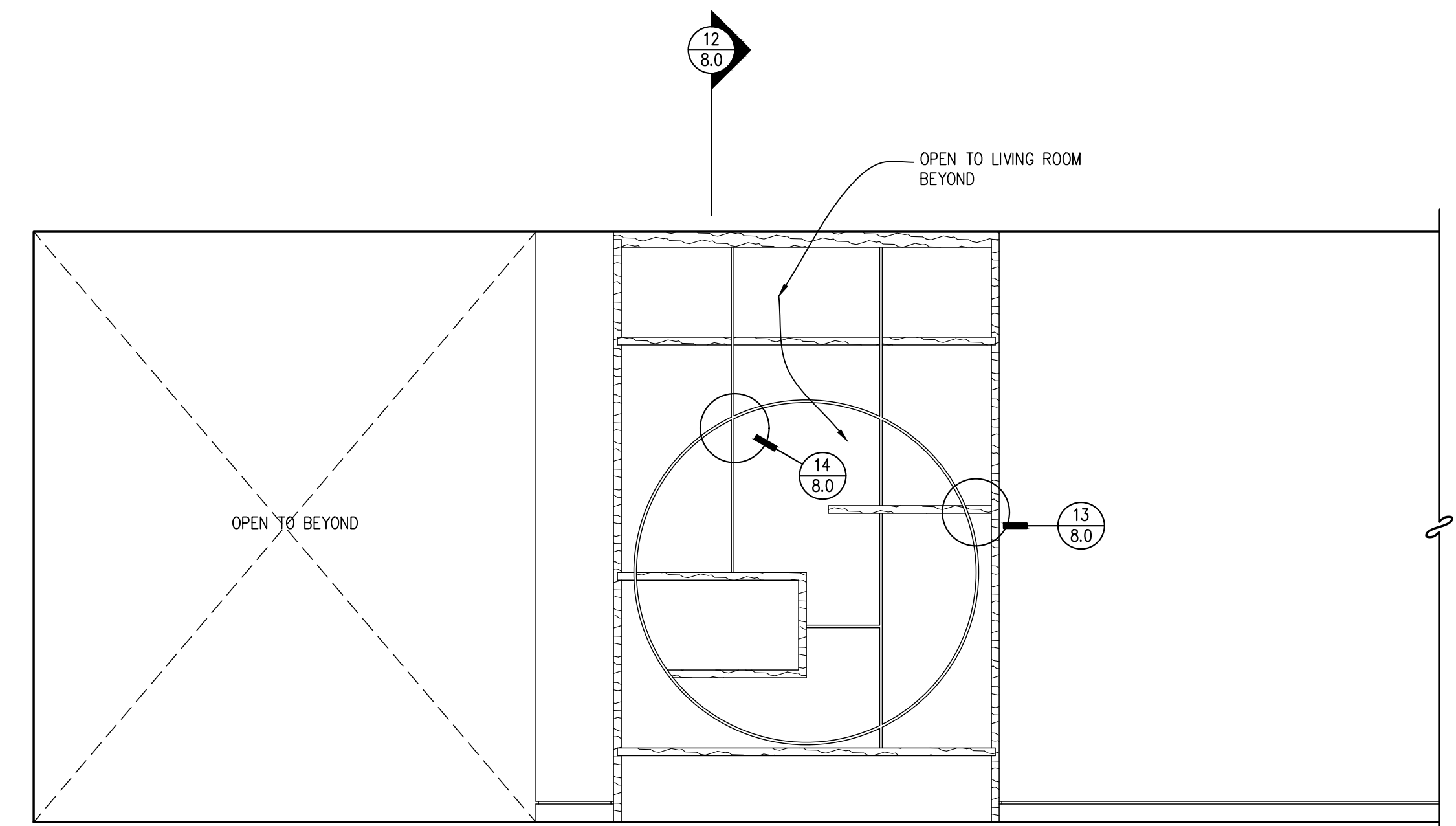
1/2" = 1'-0"



C



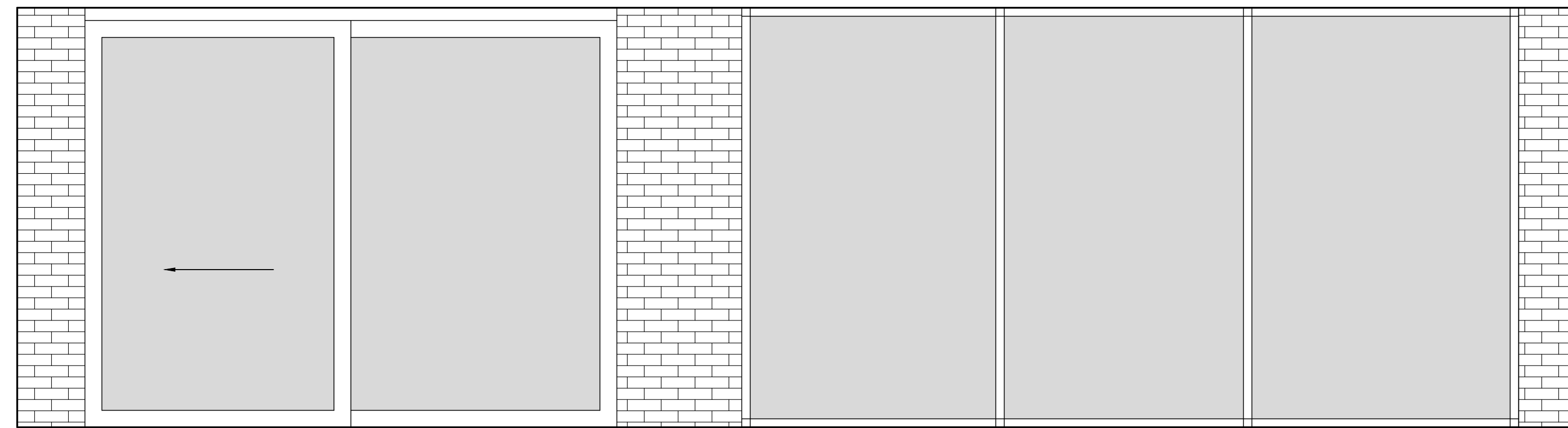
B



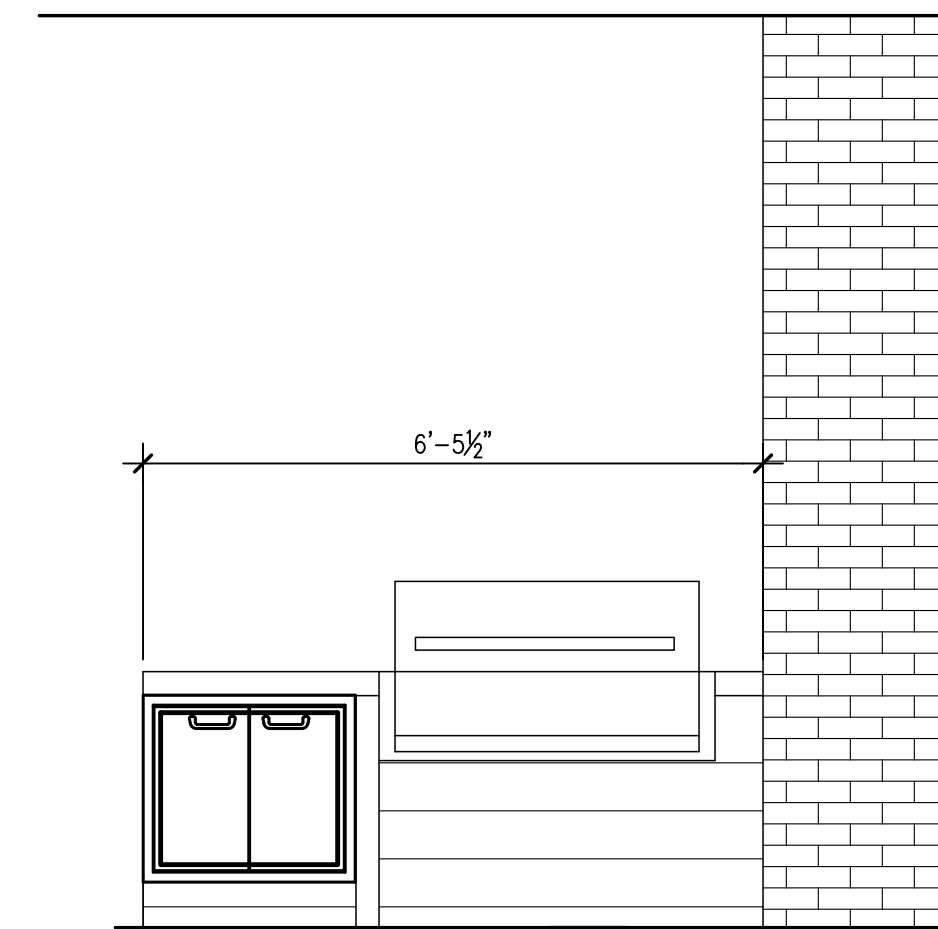
A

ENTRY/MUSIC #200/202

1/2" = 1'-0"



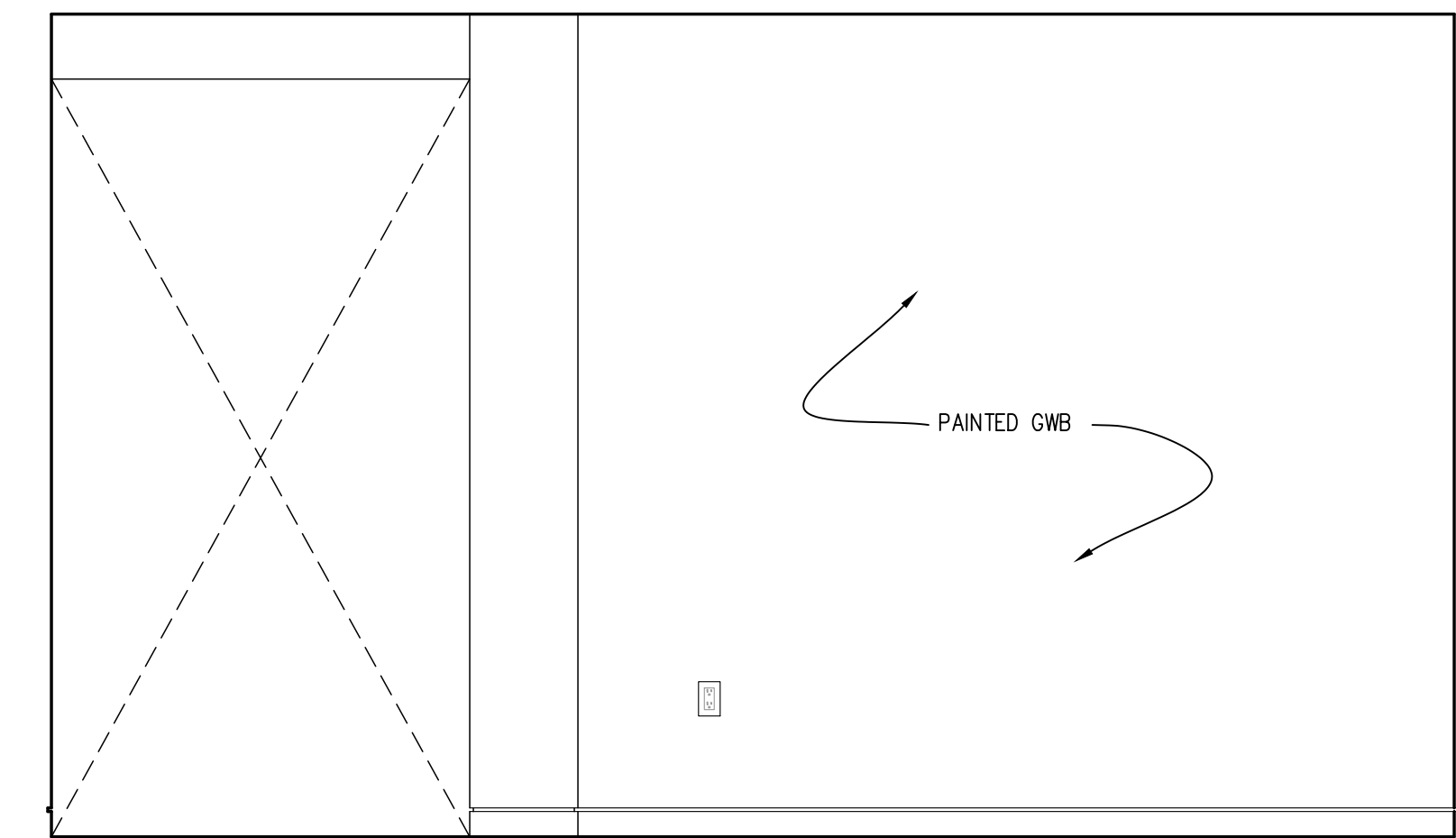
F



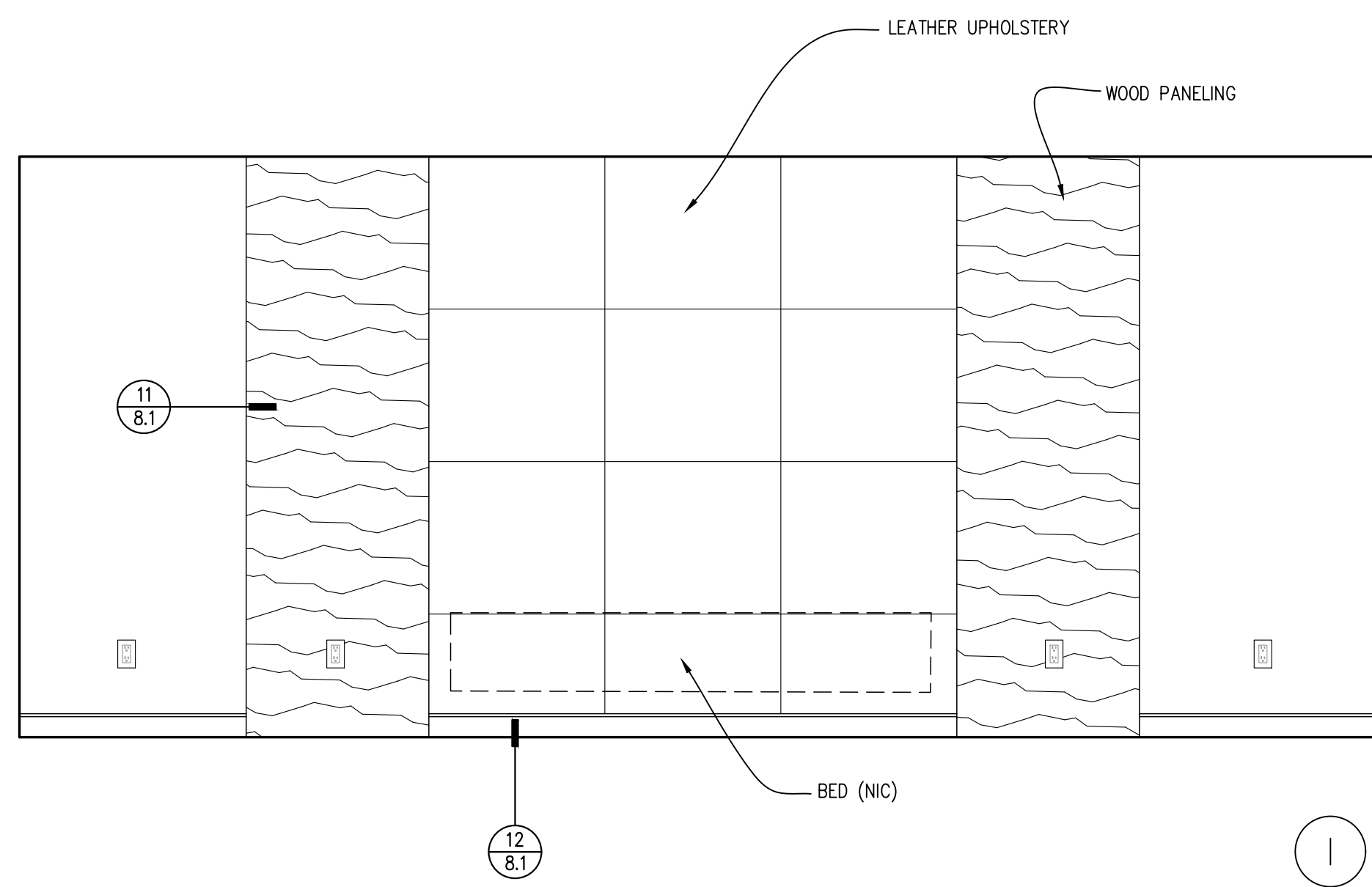
E

DECK

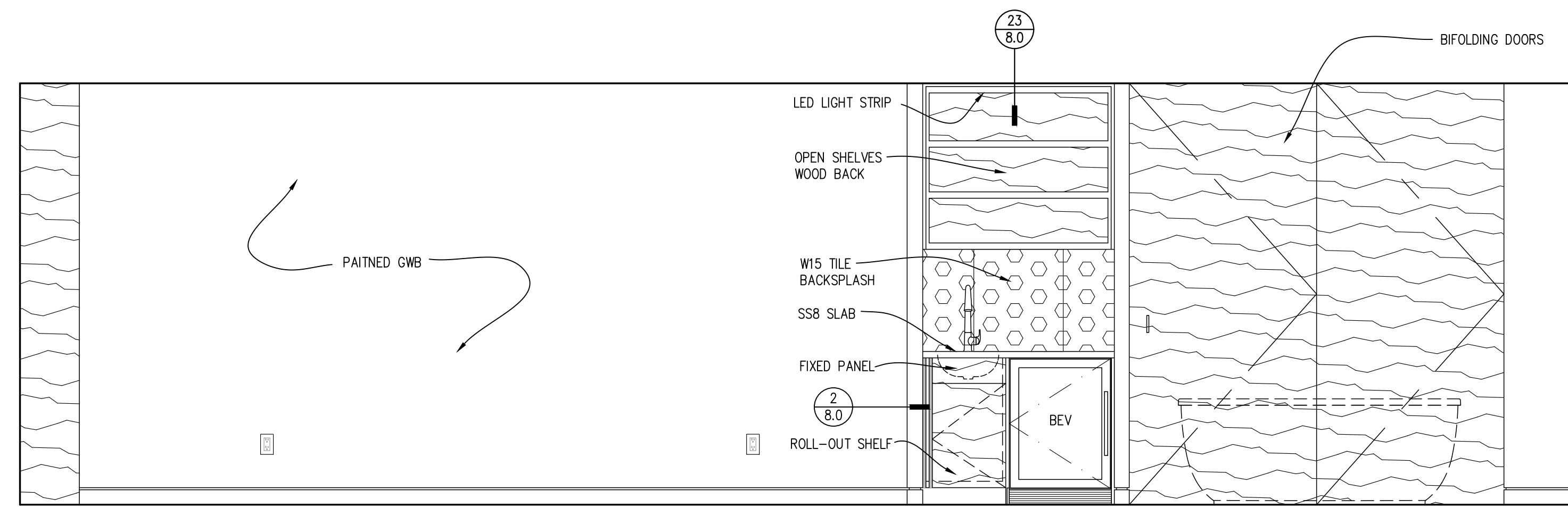
1/2" = 1'-0"



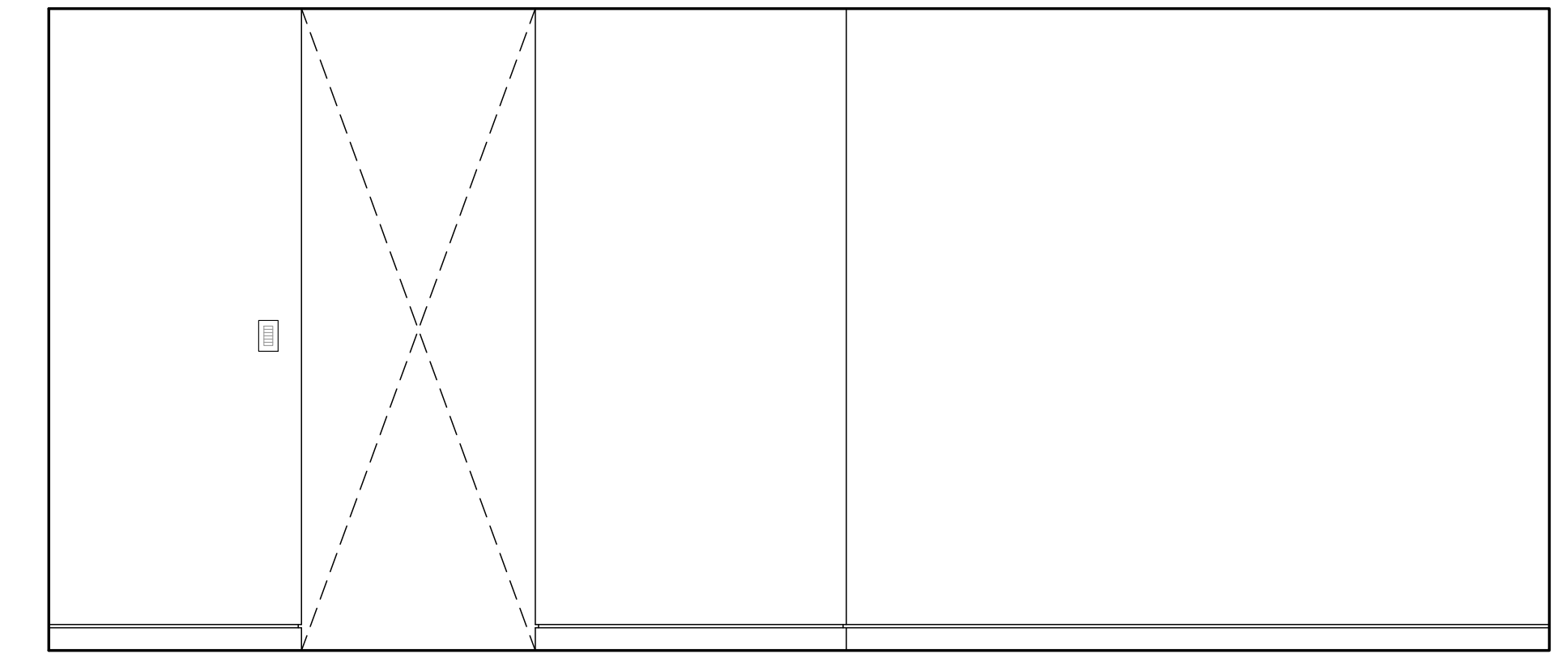
D



I



H



G

M. BEDROOM #306

1/2" = 1'-0"

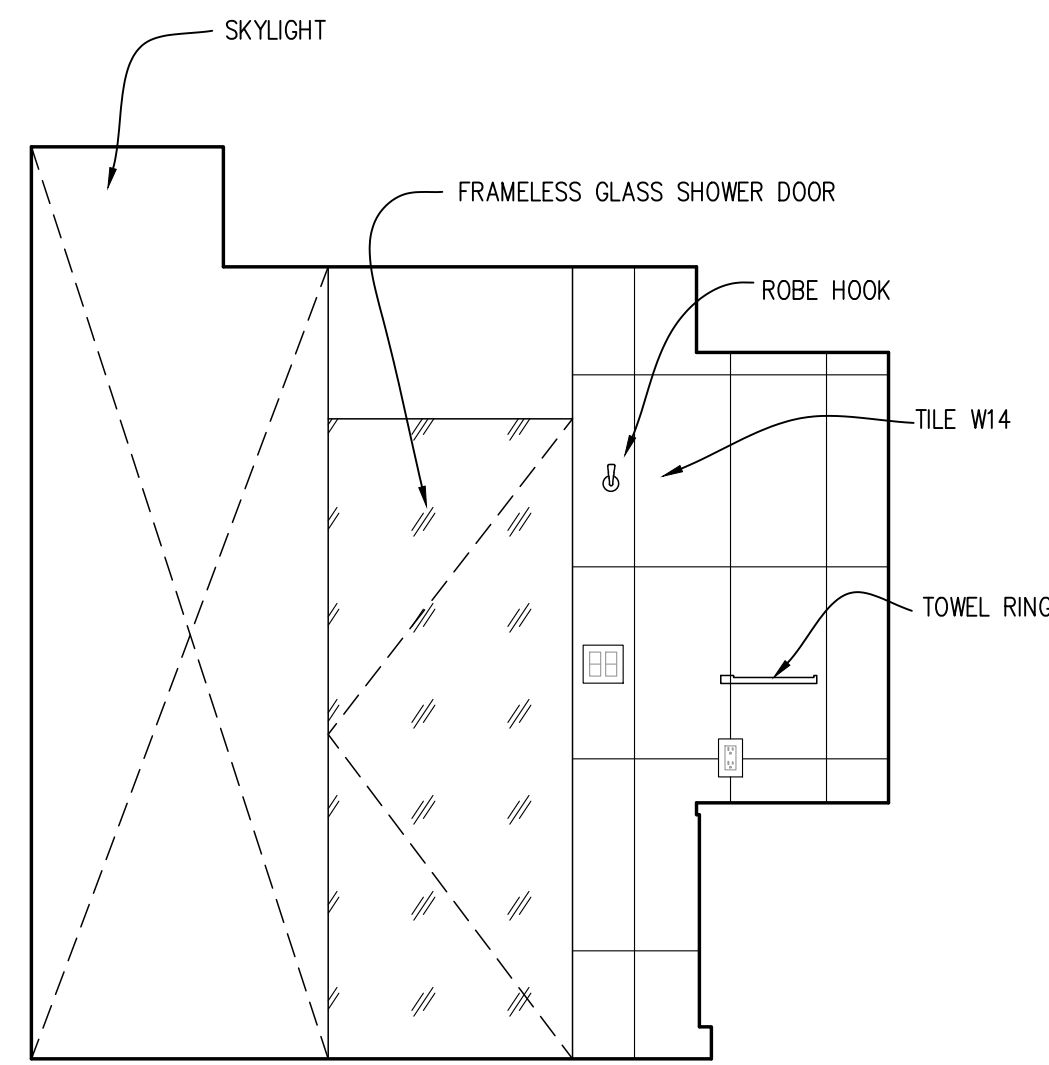


1 10/16/23 RESPONSE
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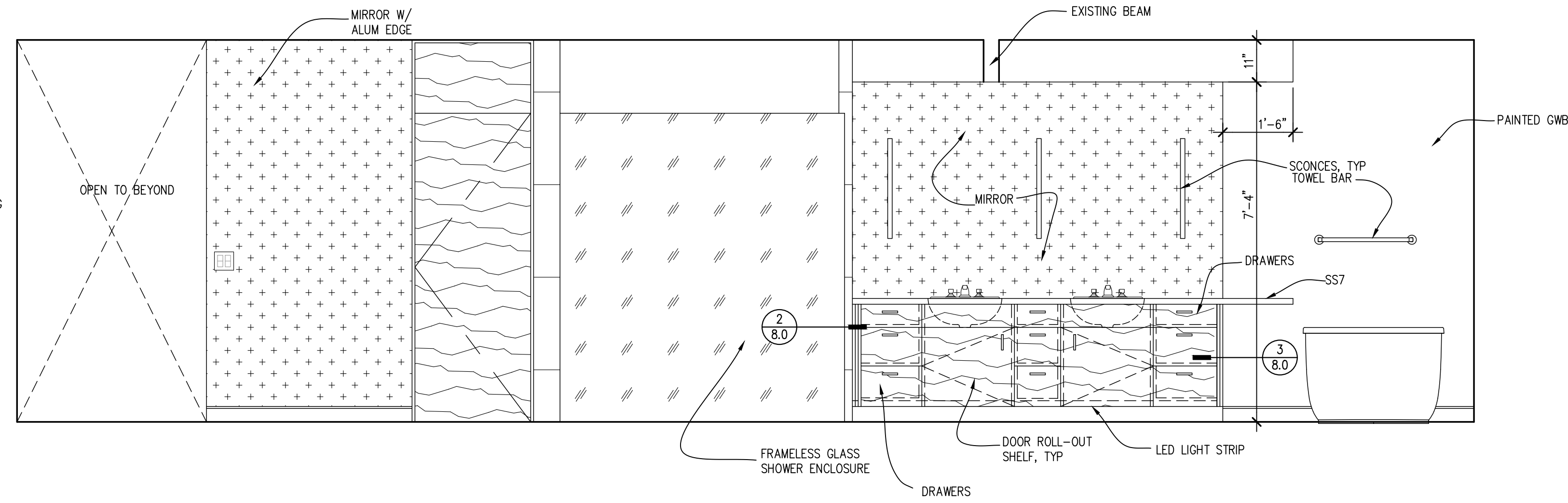
No. Date Revision

INTERIOR ELEVATIONS

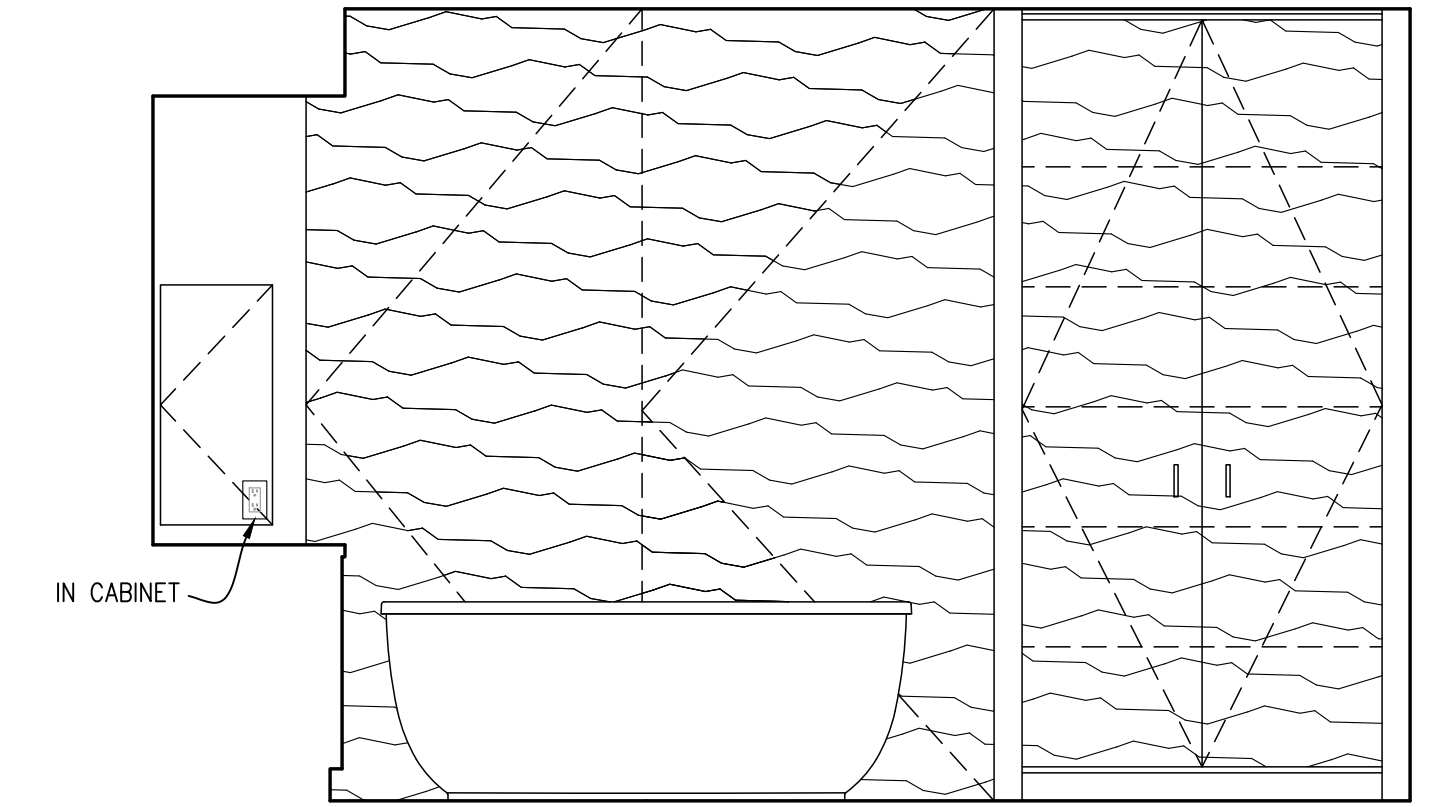
Sheet No. **7.6**
Project No. 2222
Date: 9/8/23



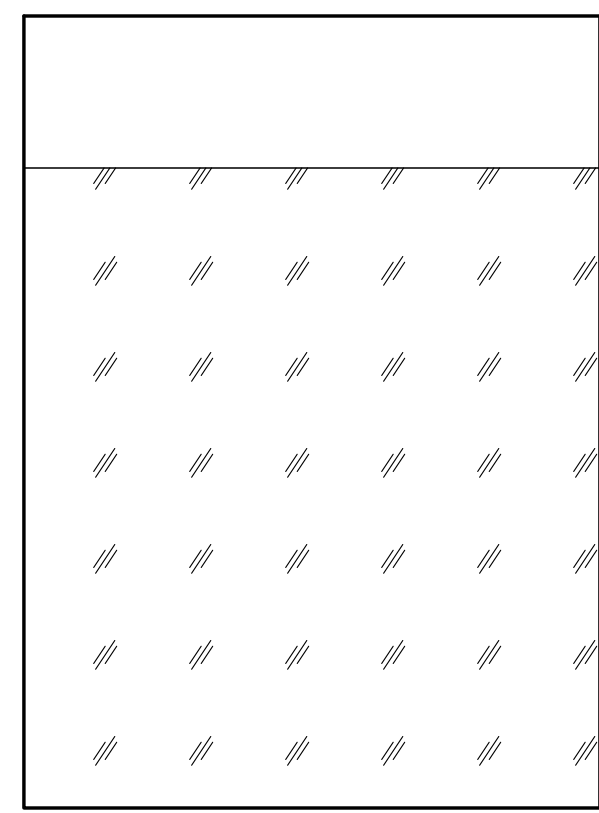
C



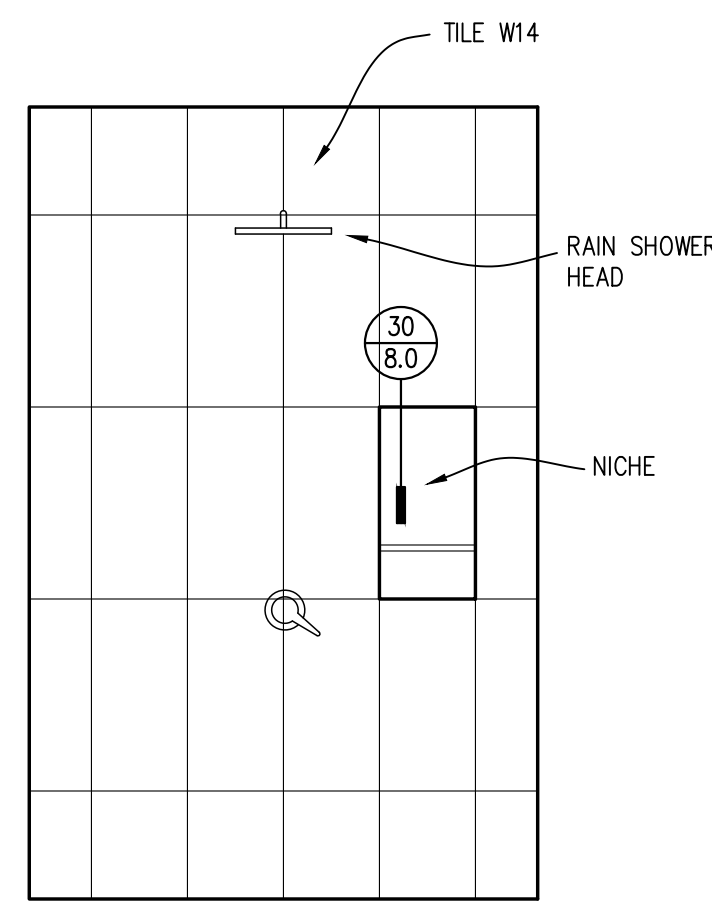
B



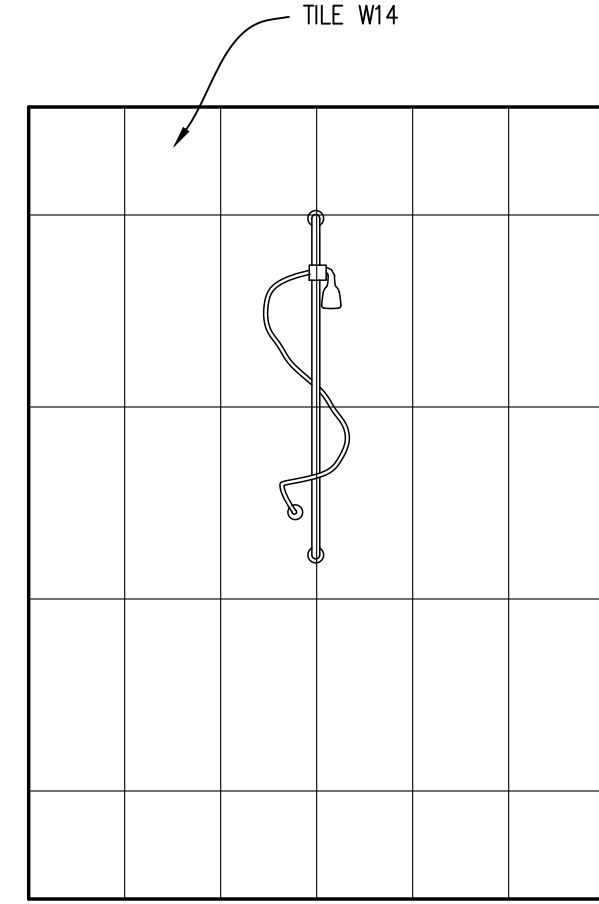
A



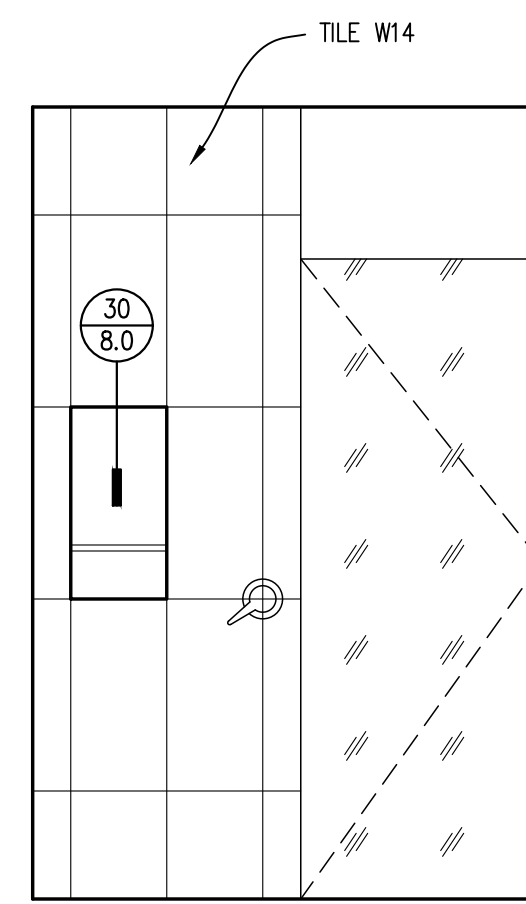
H



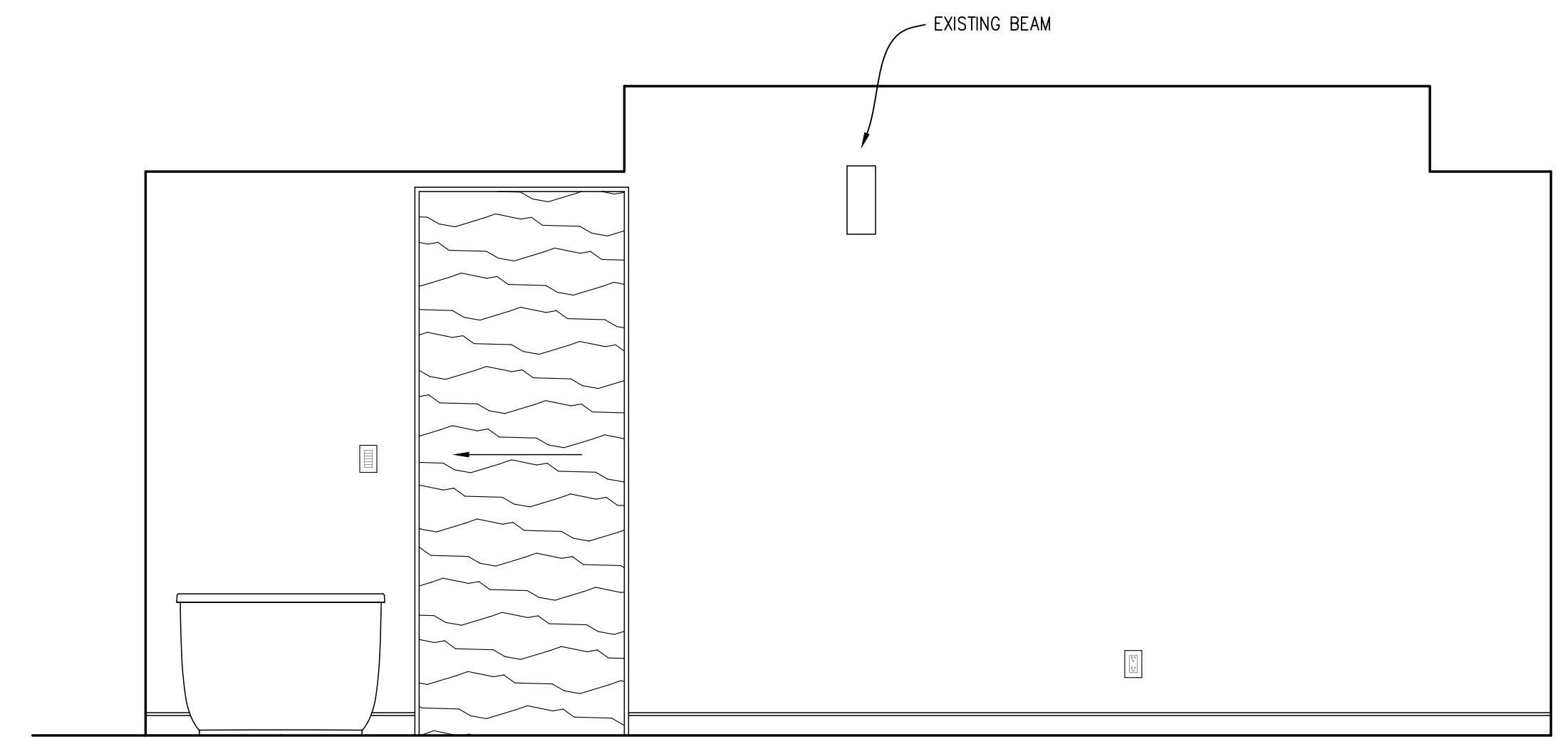
G



F



E



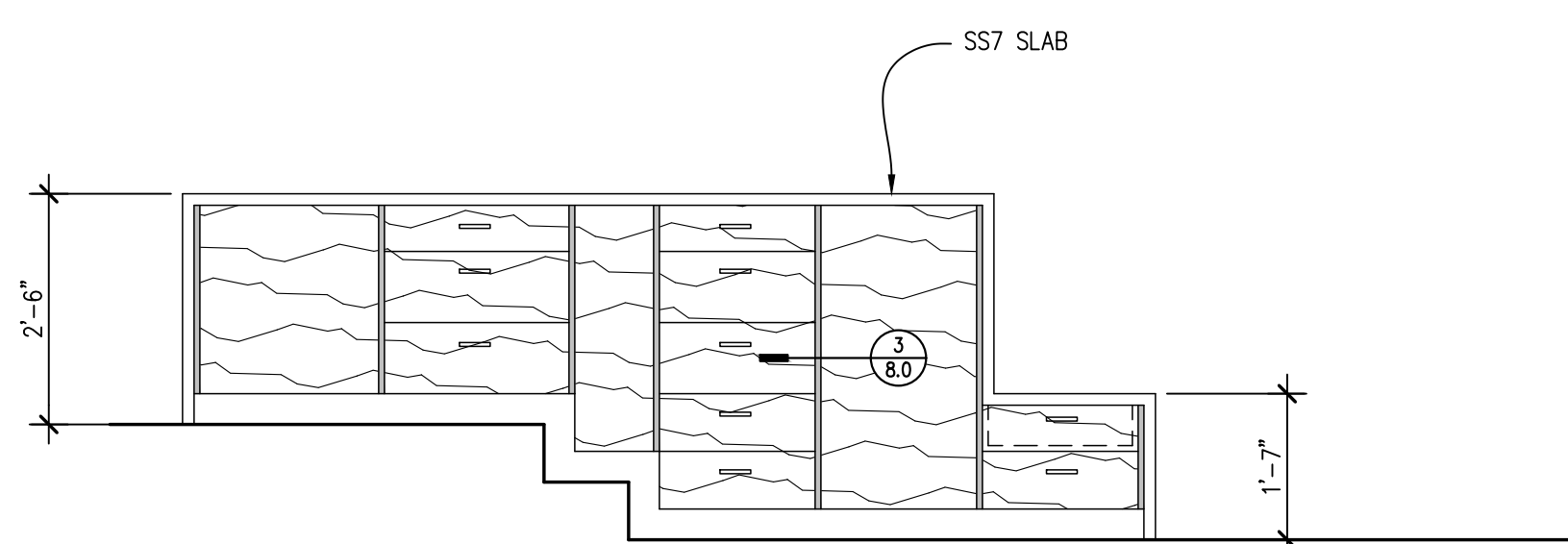
D

SHOWER #312

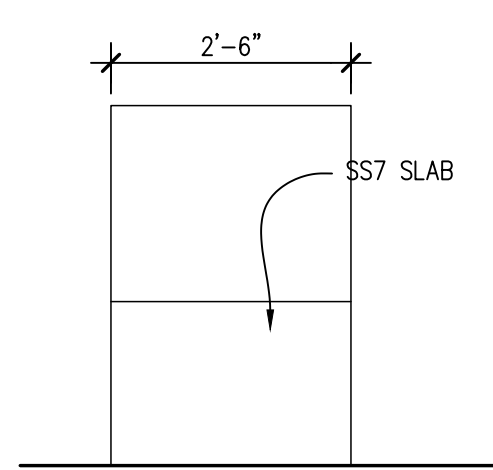
1/2" = 1'-0"

M.BATH #309

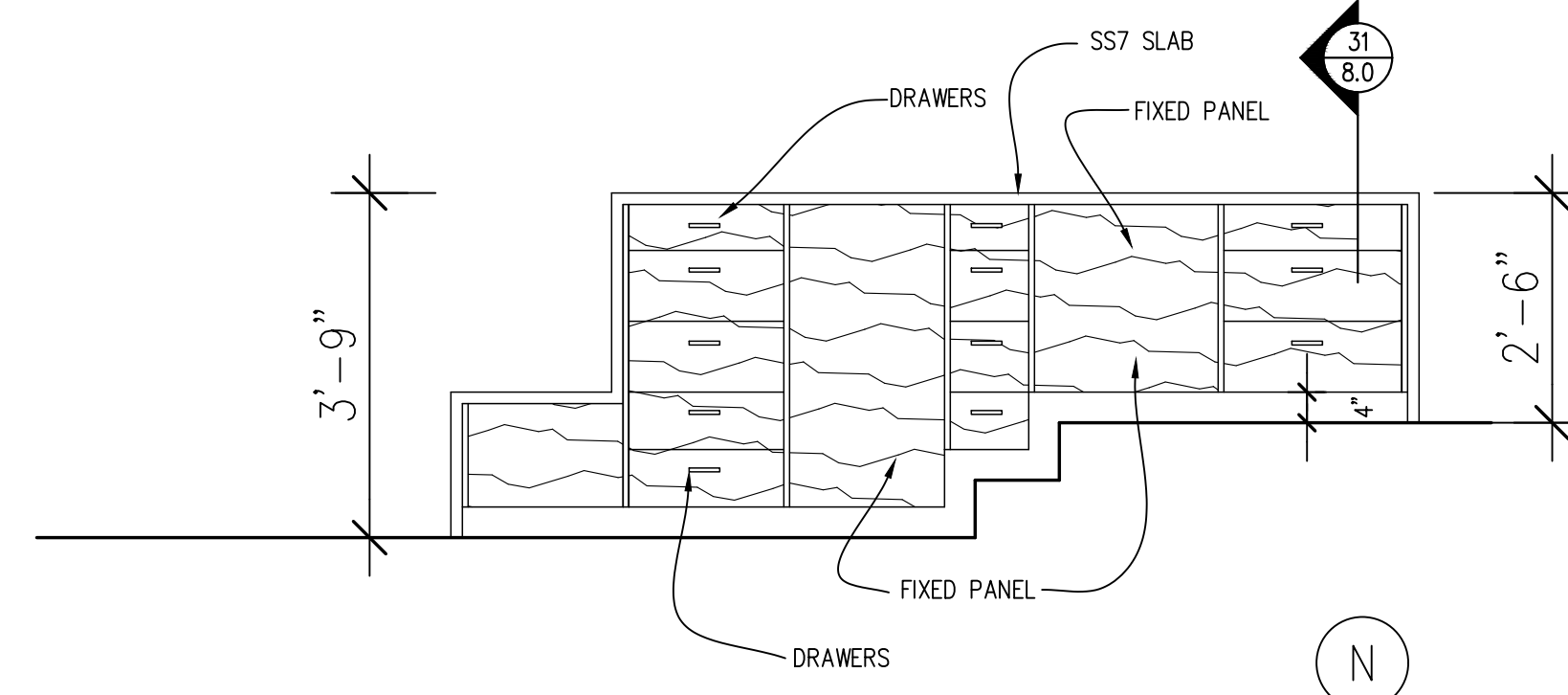
1/2" = 1'-0"



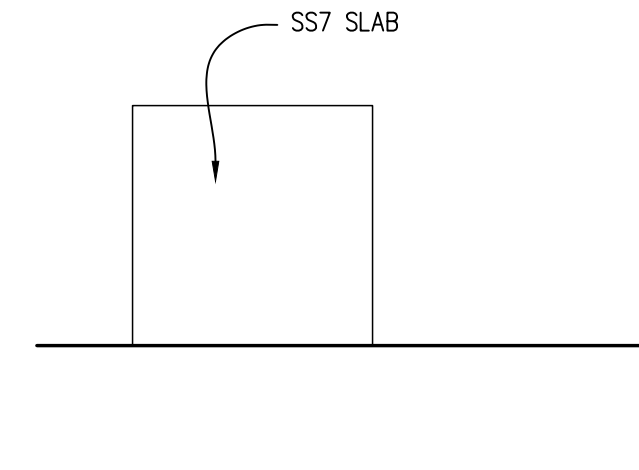
P



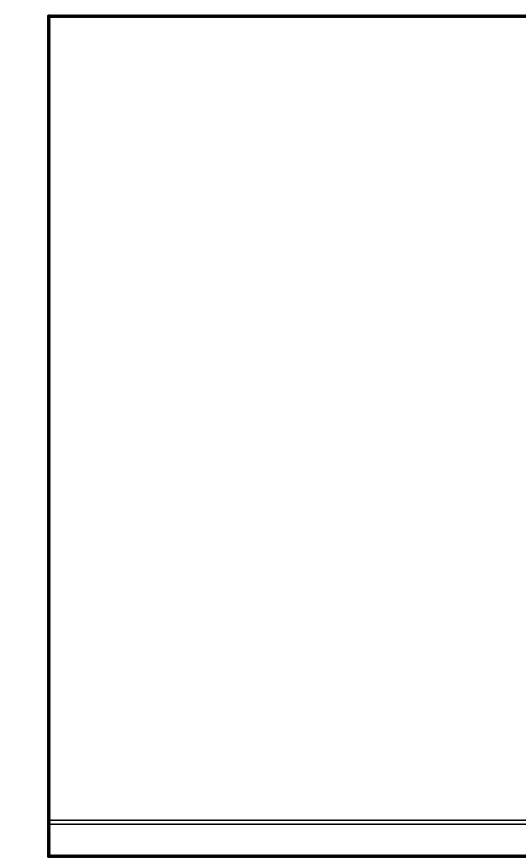
O



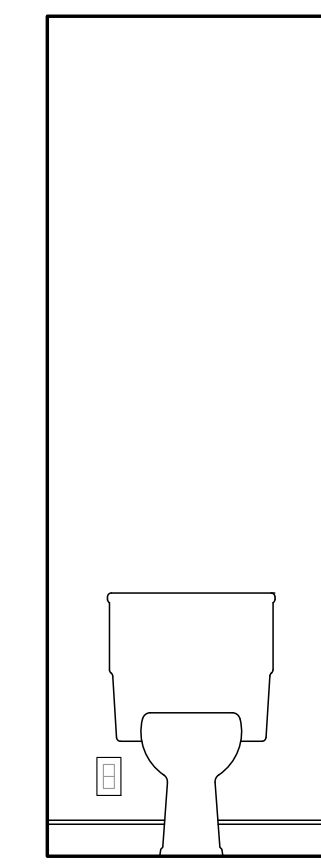
N



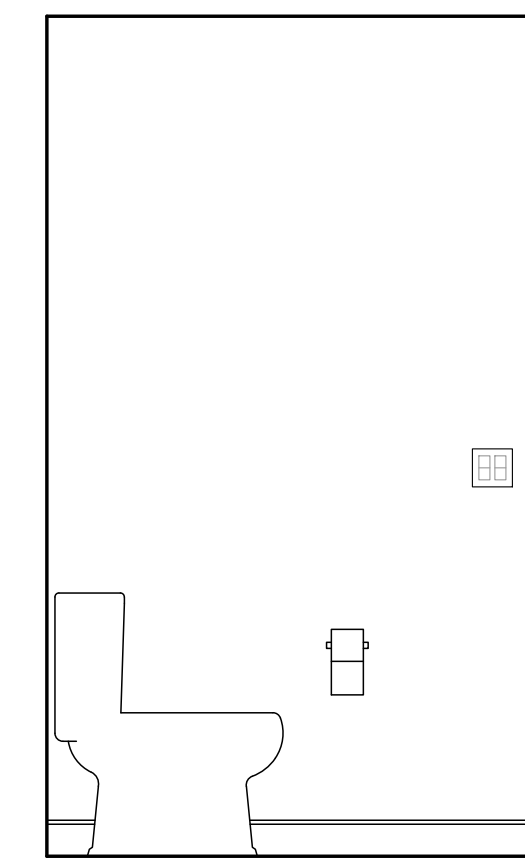
M



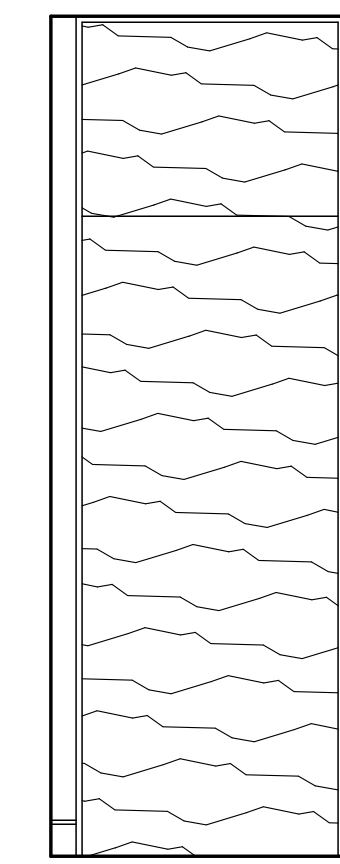
L



K



J



I

M.CLOSET ISLAND #314

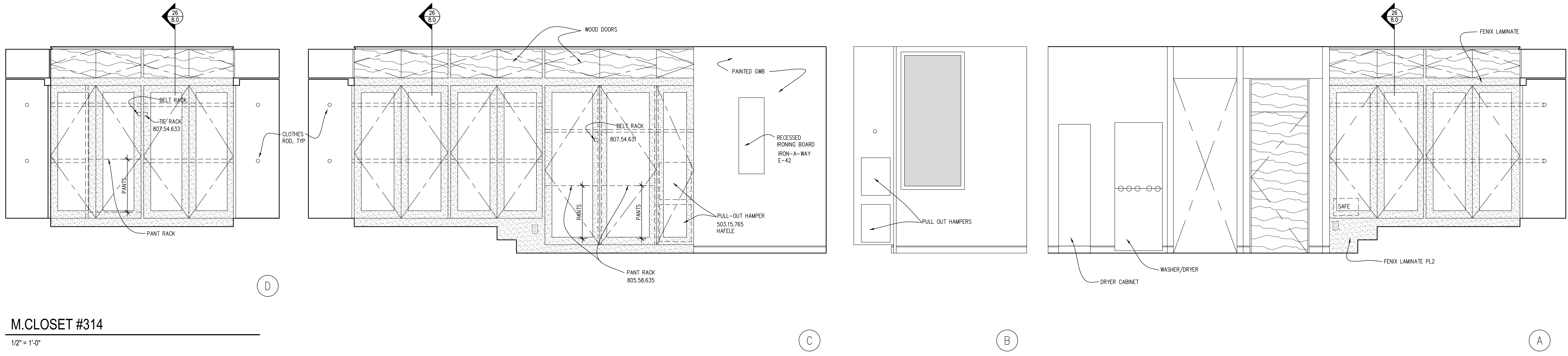
1/2" = 1'-0"

WC3 #310

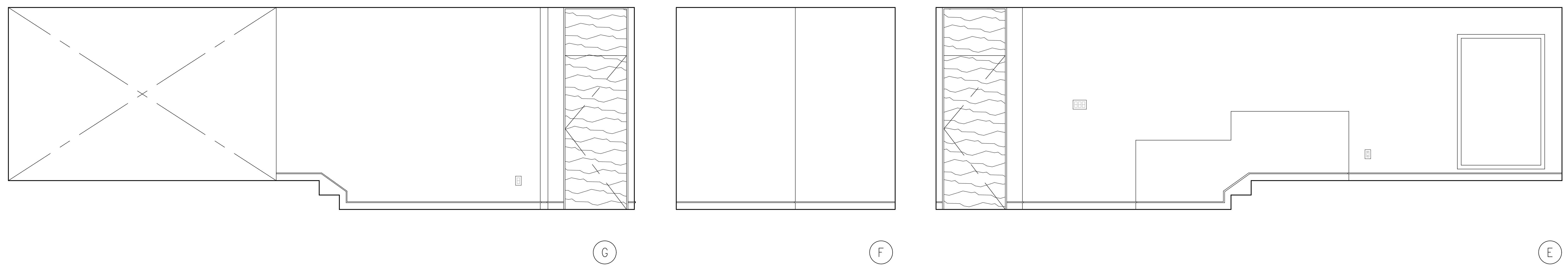
1/2" = 1'-0"



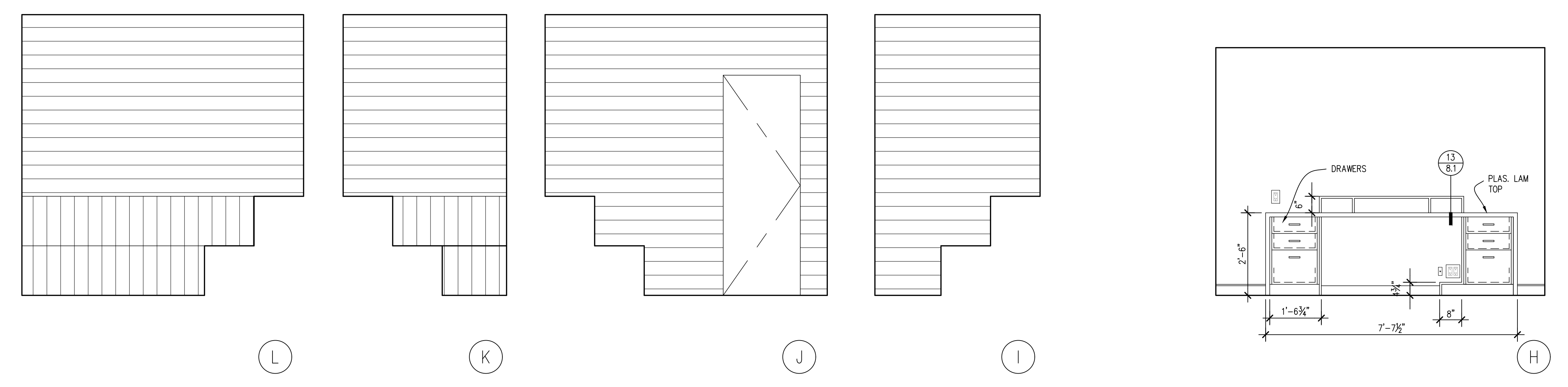
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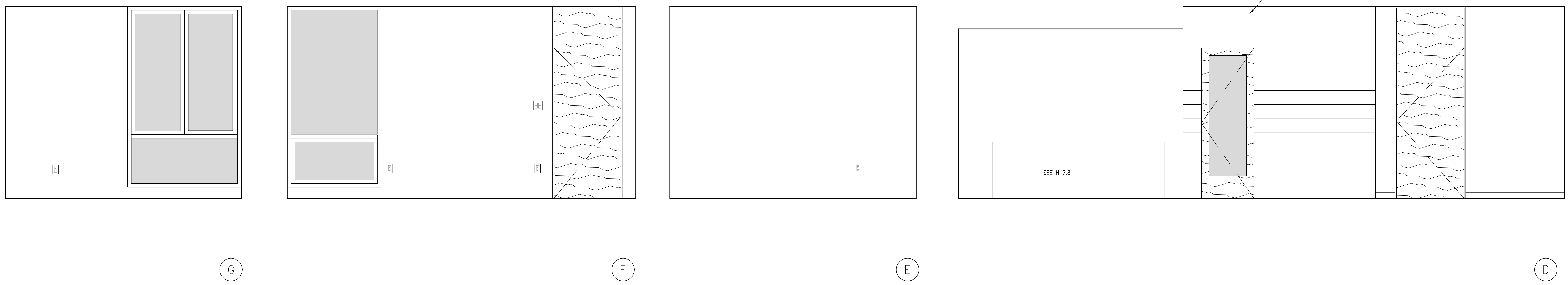
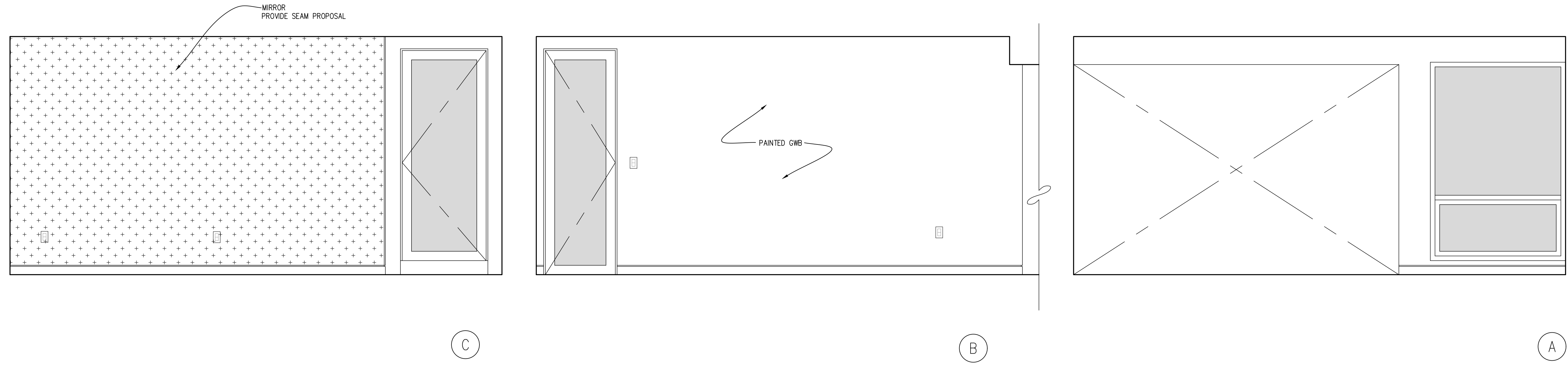
M.CLOSET #314
1/2" = 1'-0"



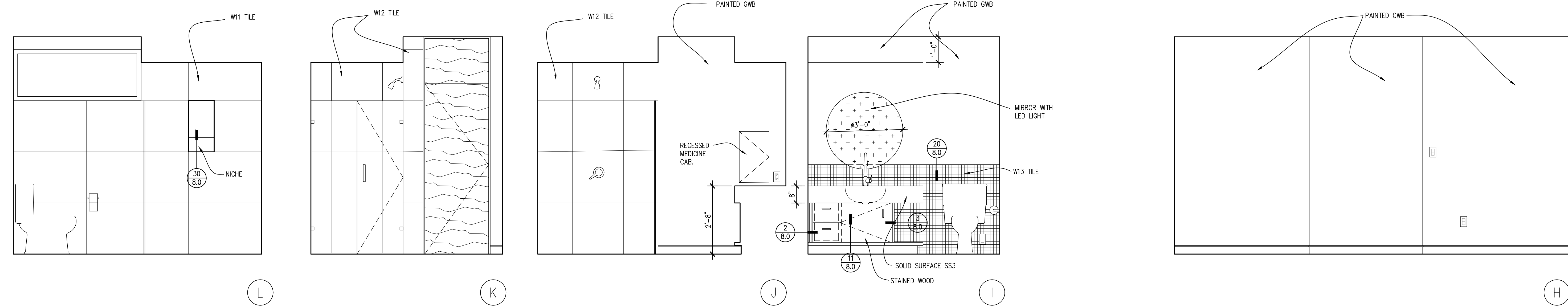
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EXERCISE 304
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BATH5 #302
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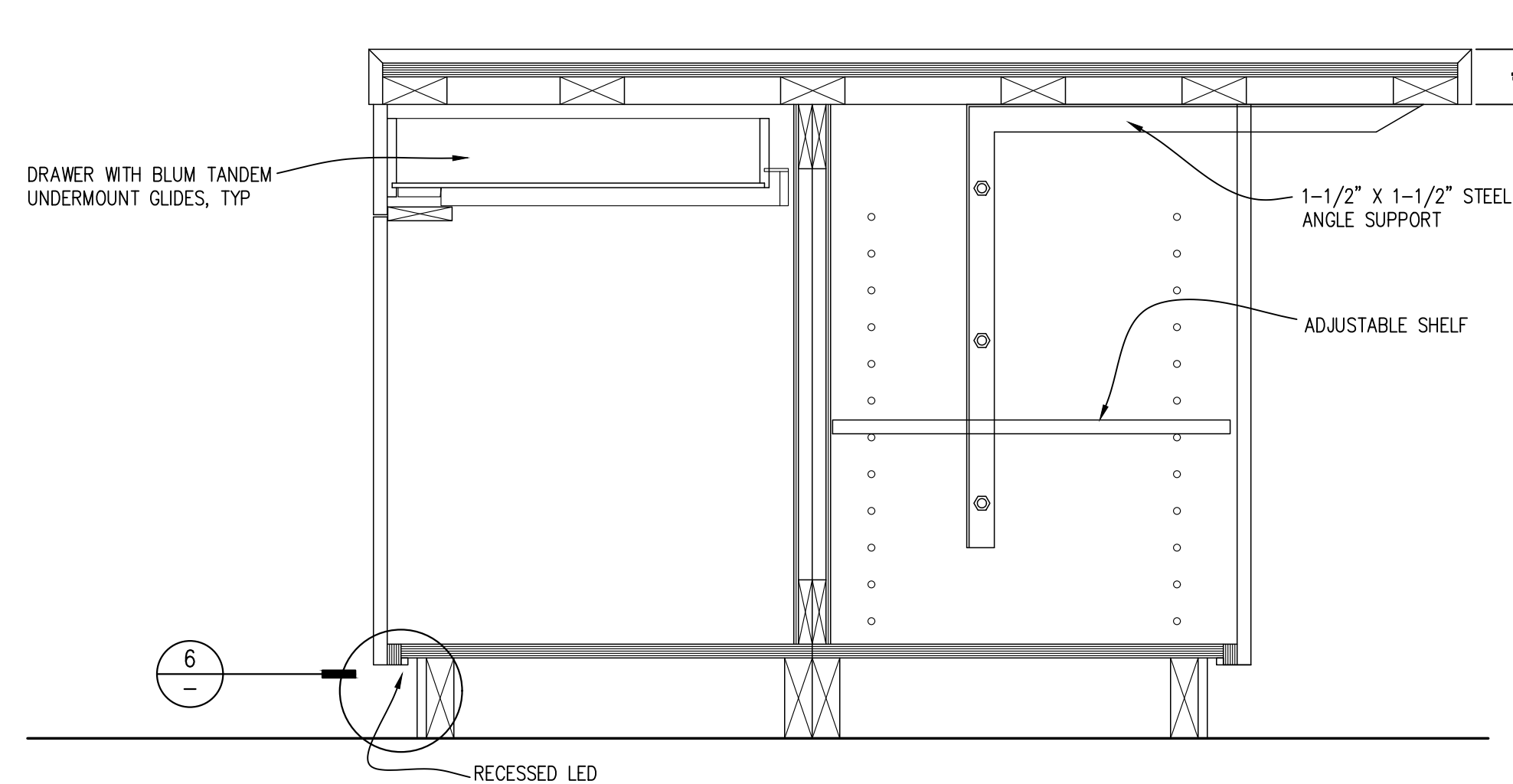
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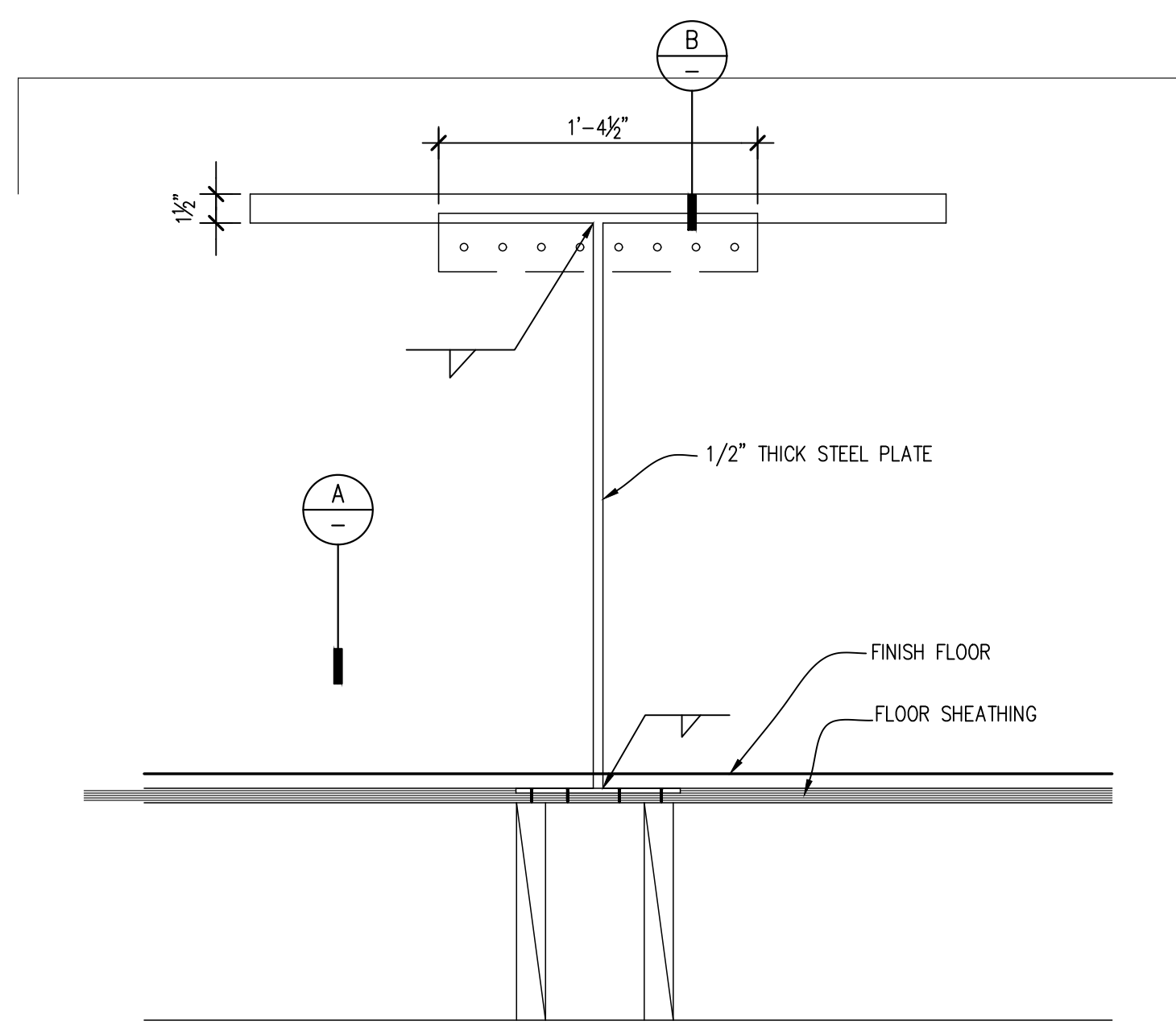
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	9/28/23	PRICING SET
No.	Date	Revision

INTERIOR ELEVATIONS

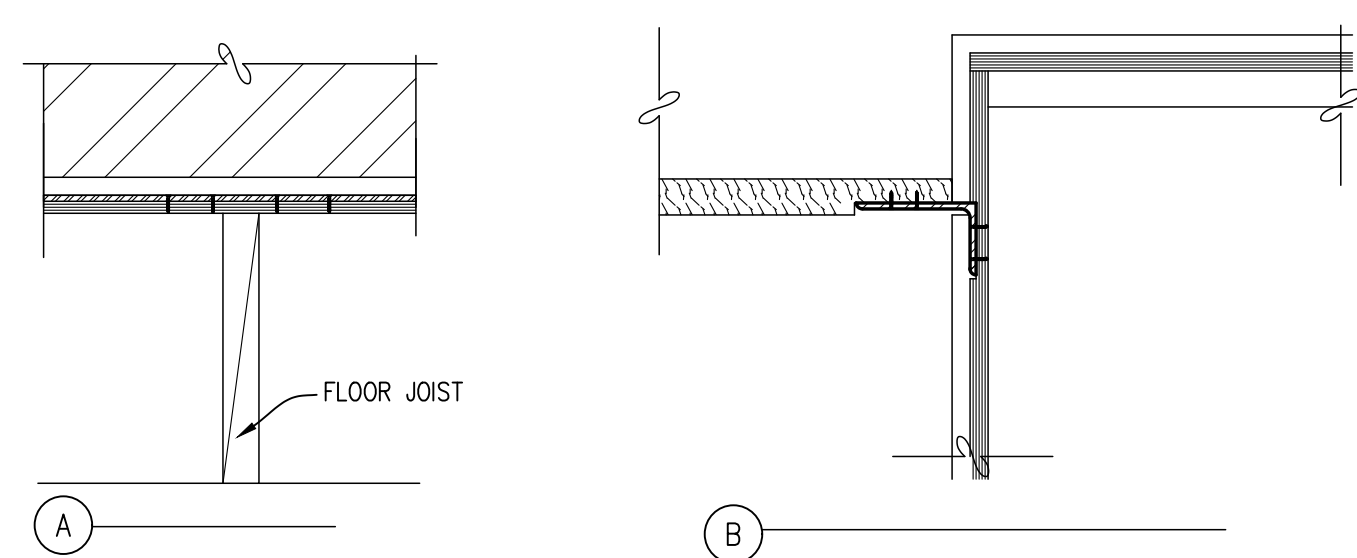
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Project No.	2222
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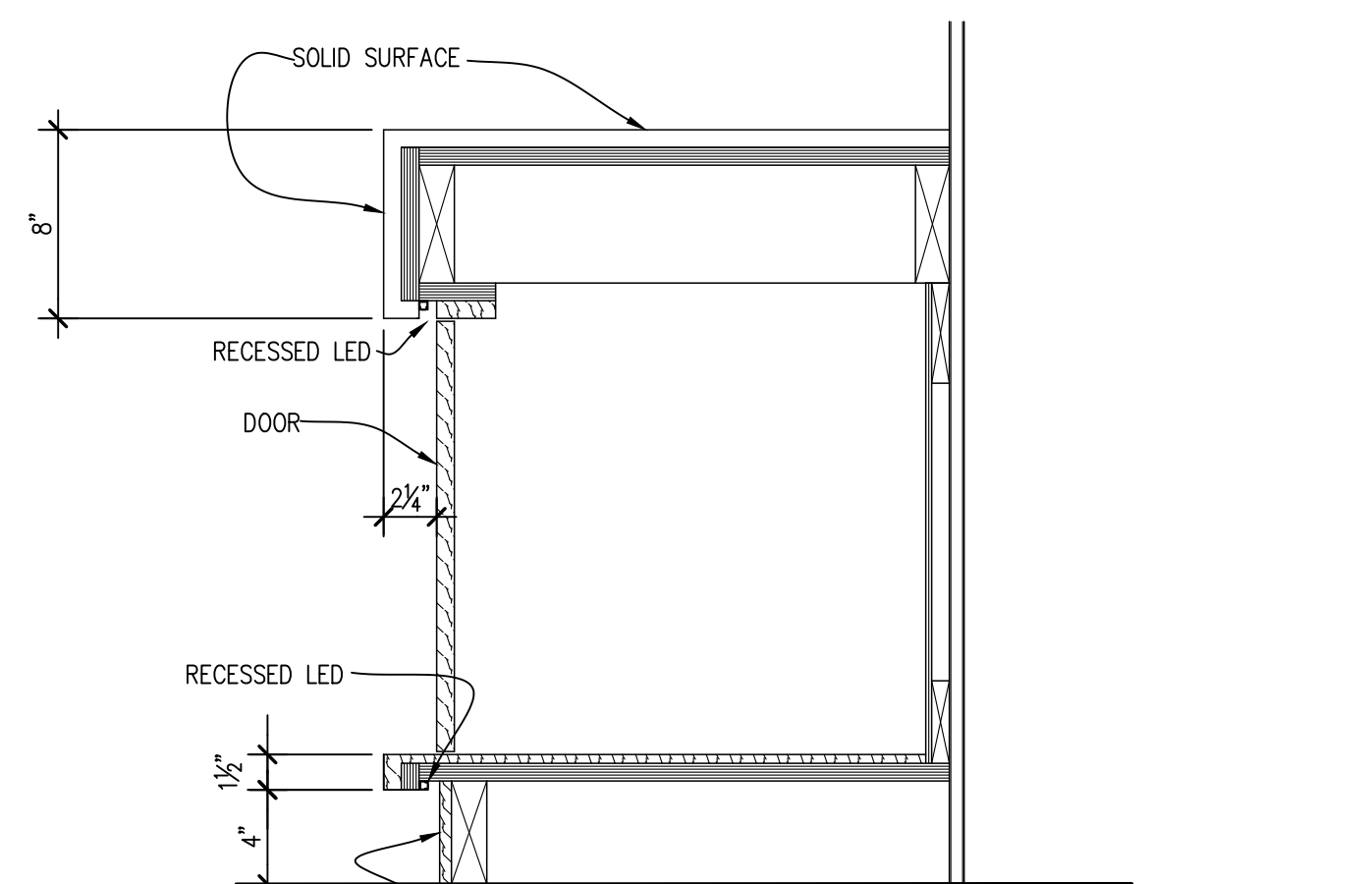
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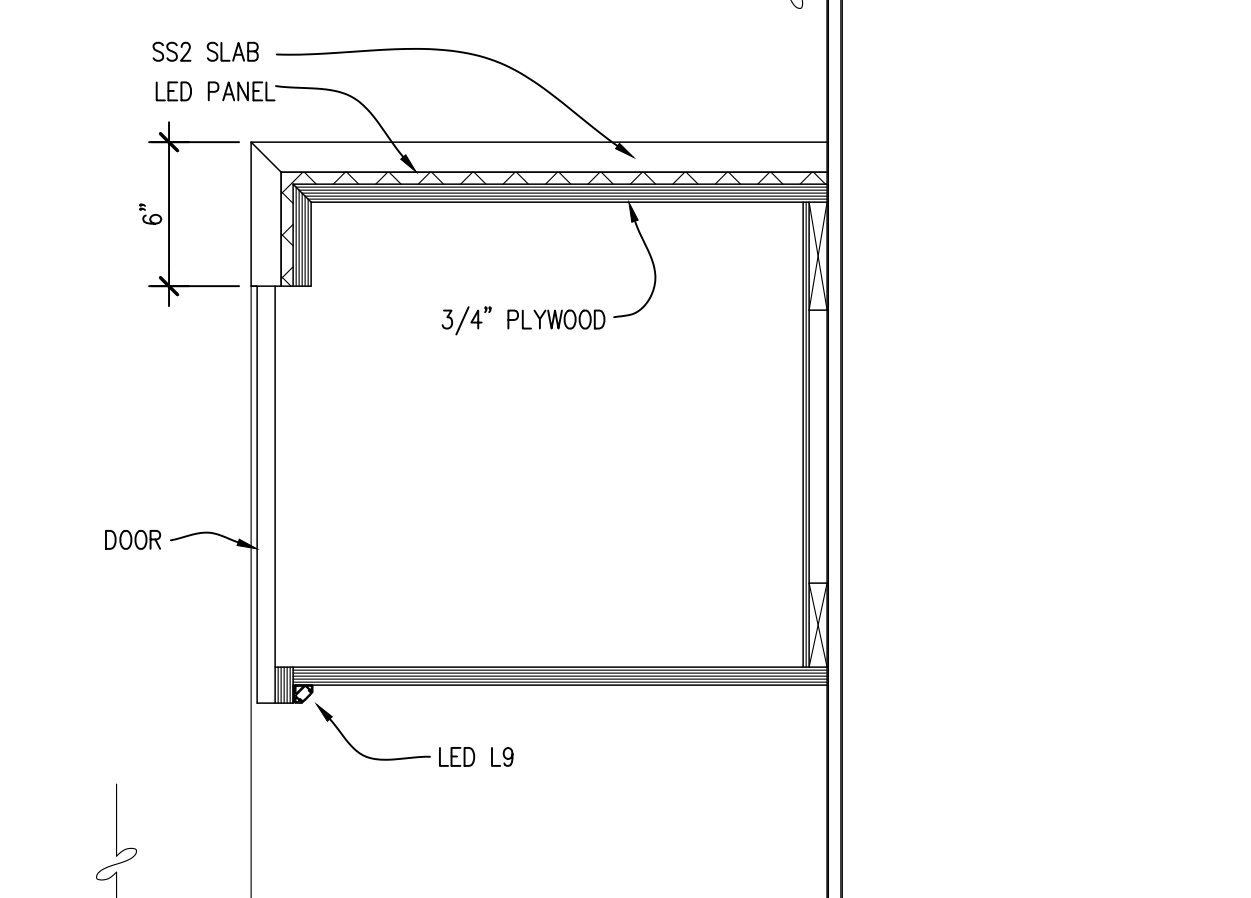
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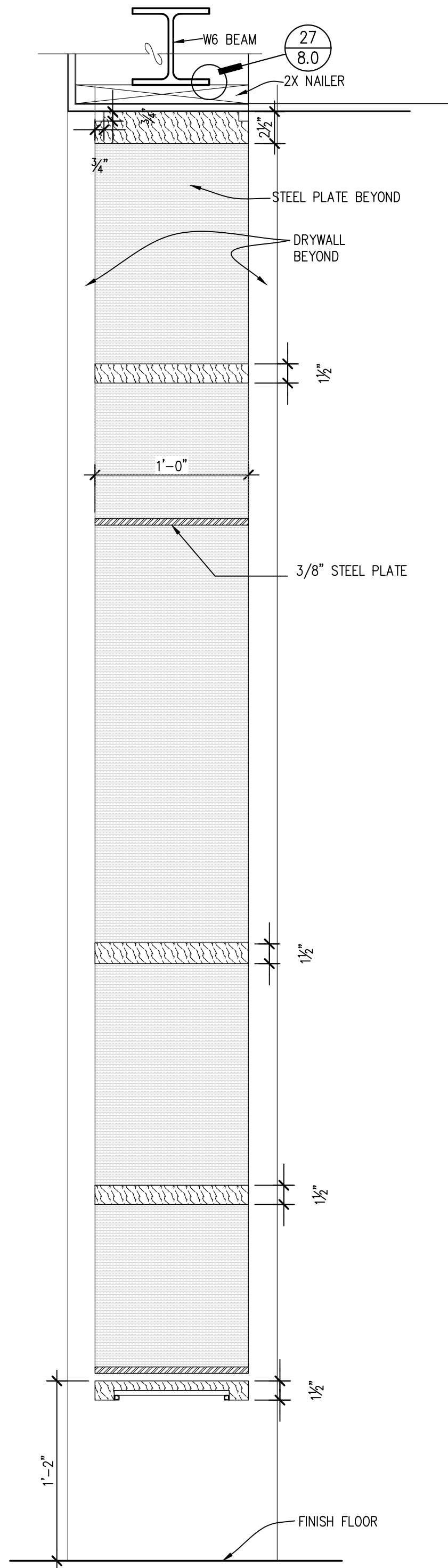
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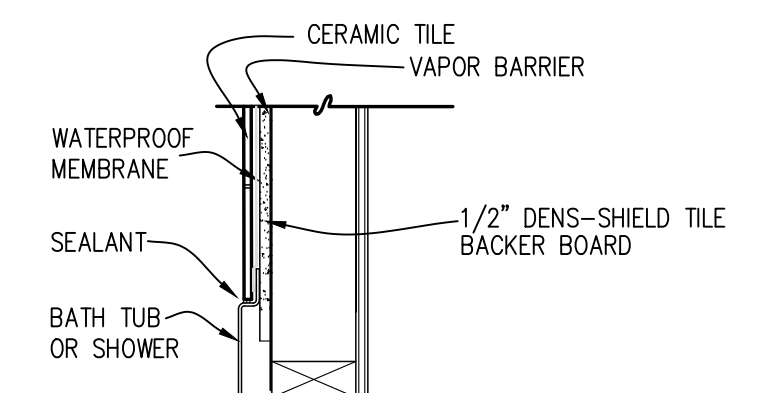
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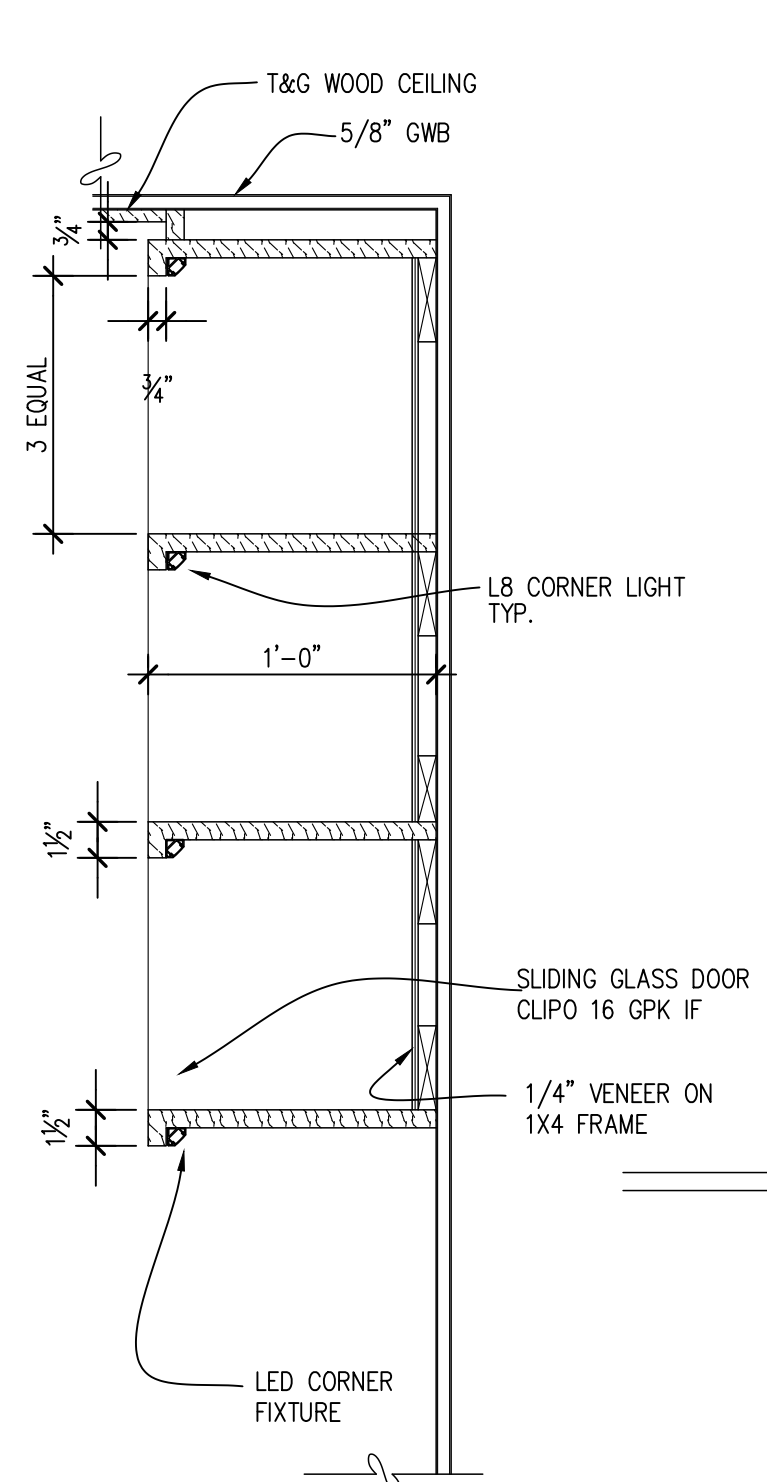
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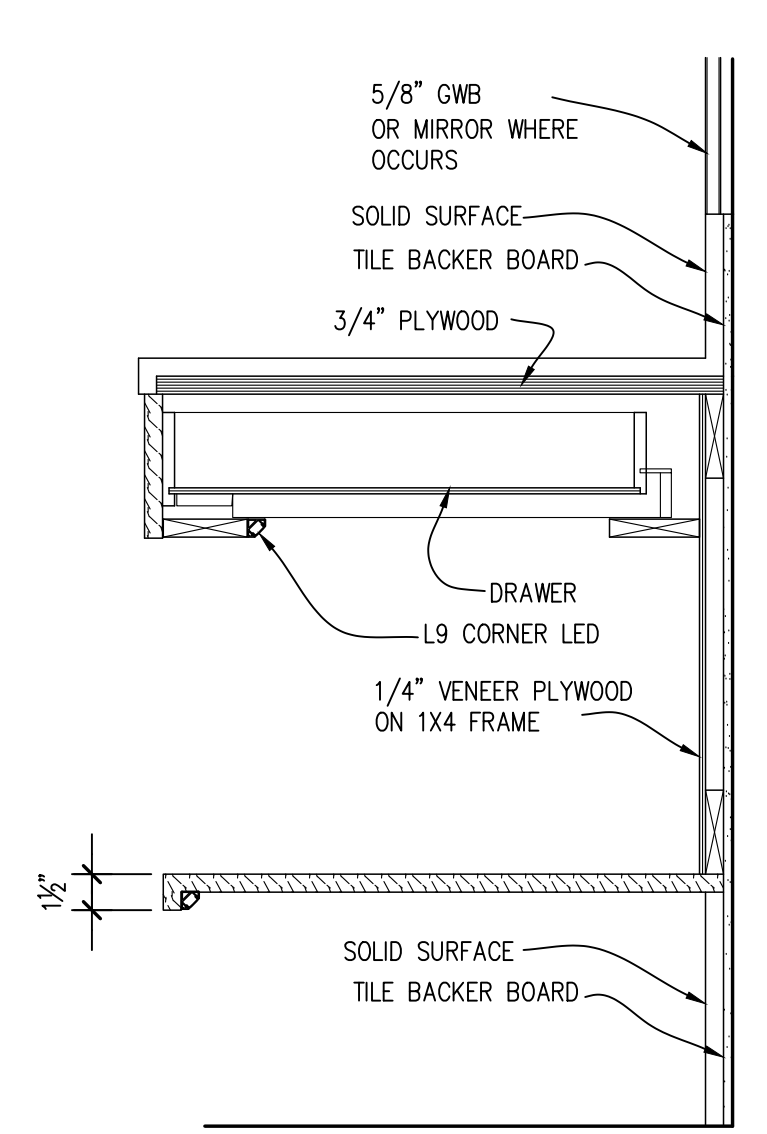
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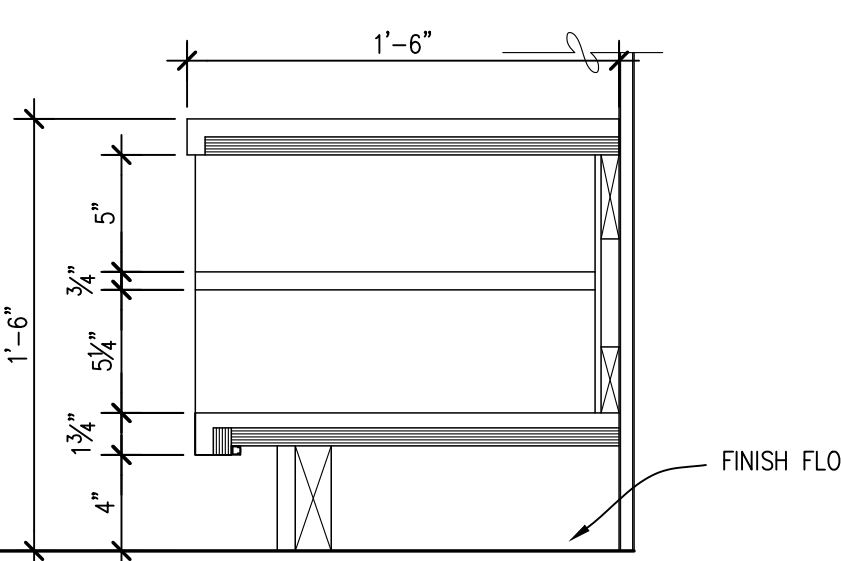
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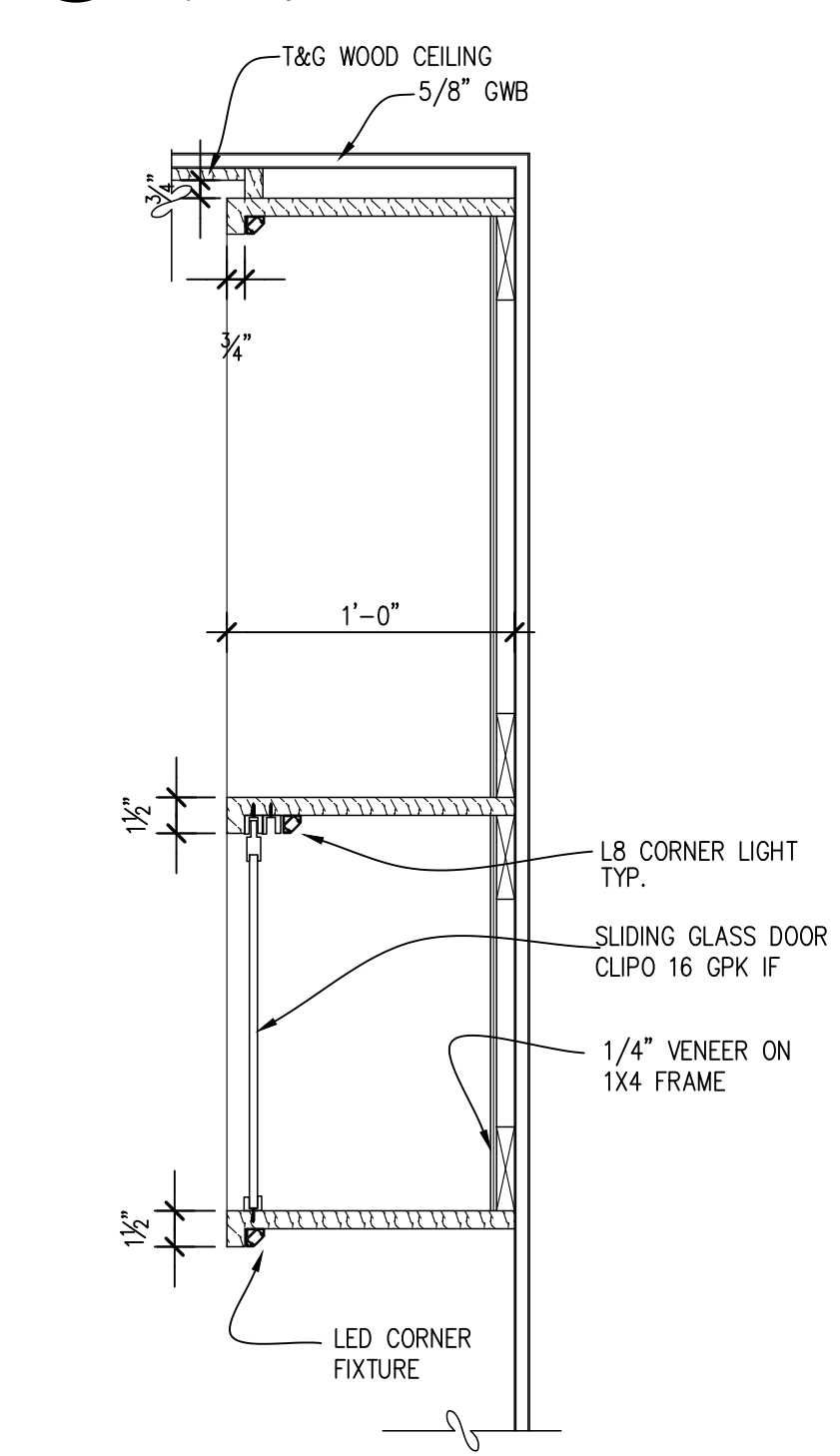
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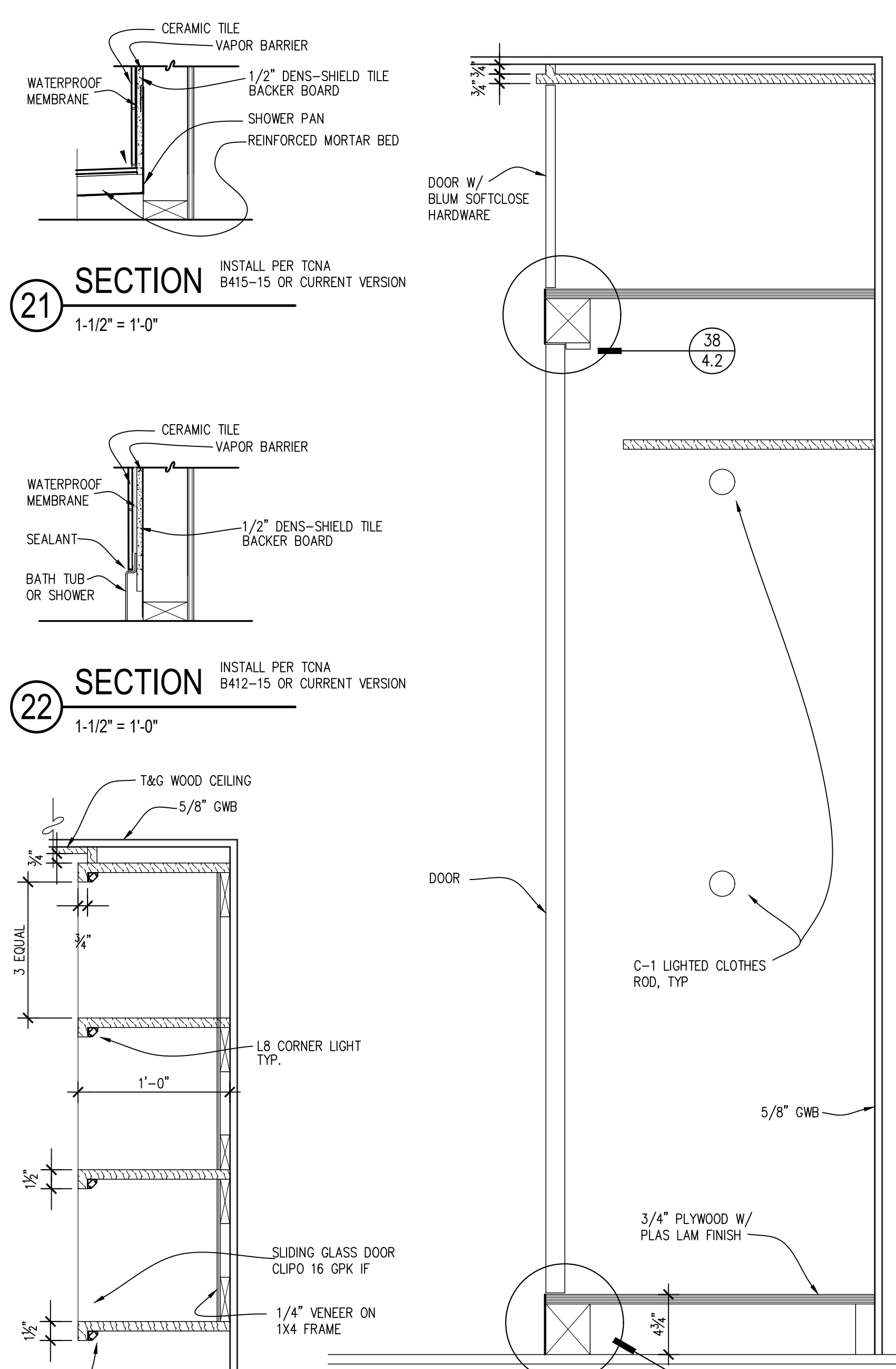
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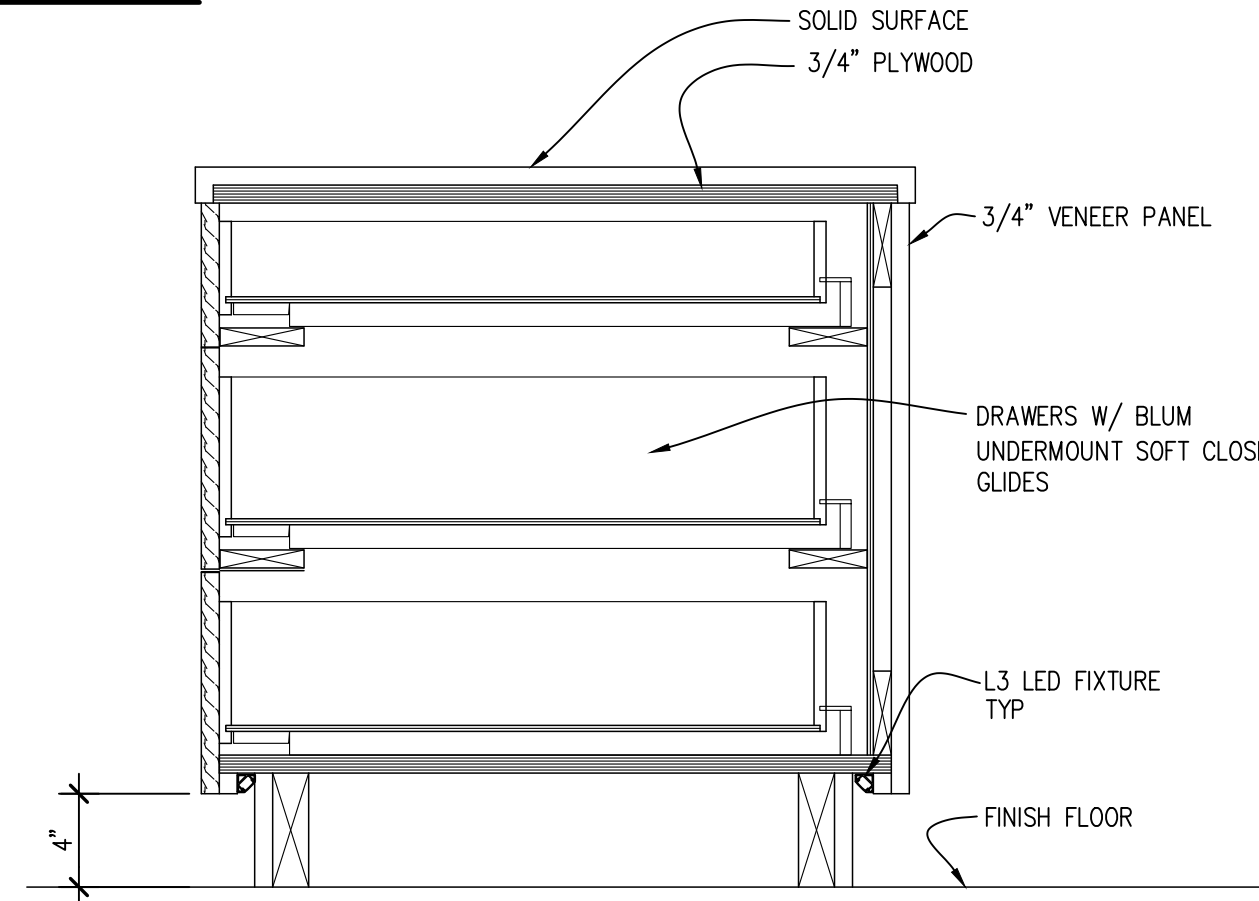
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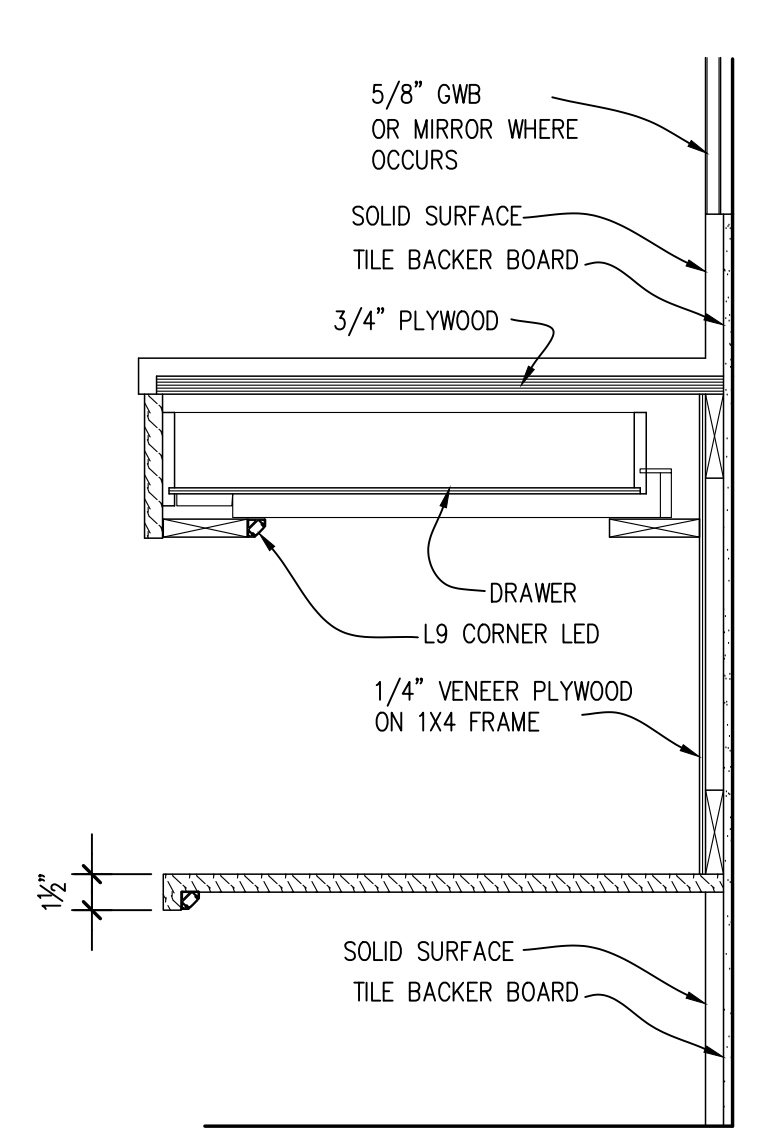
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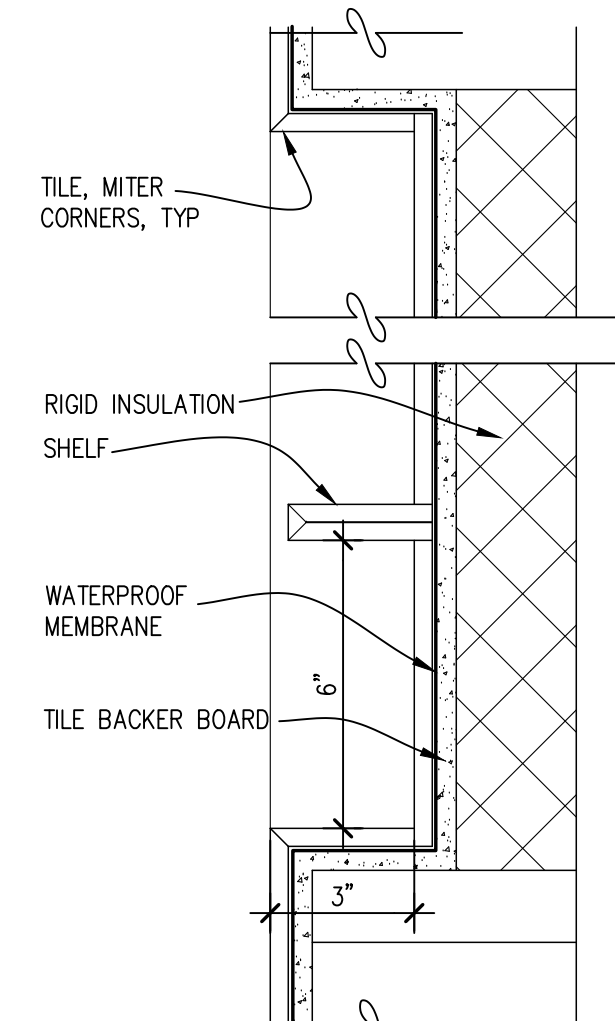
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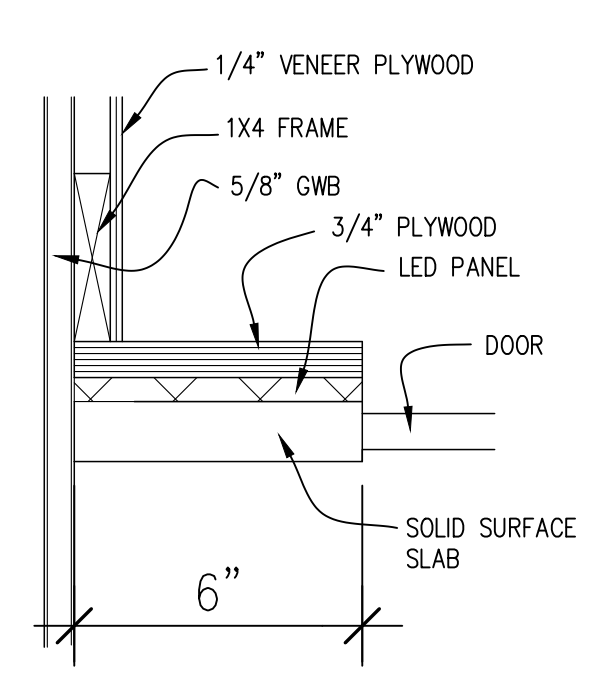
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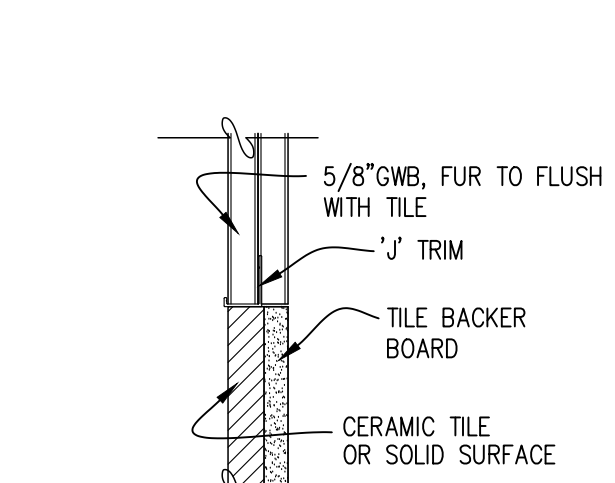
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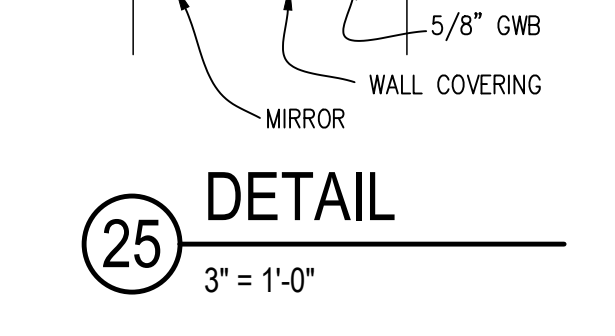
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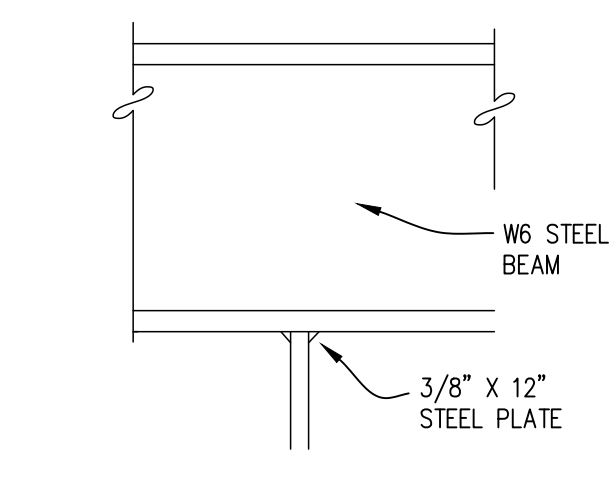
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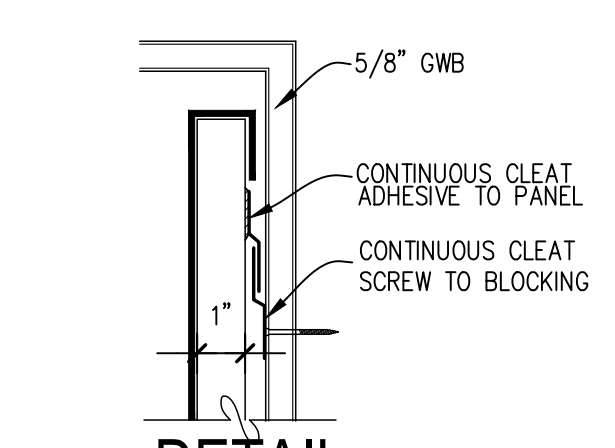
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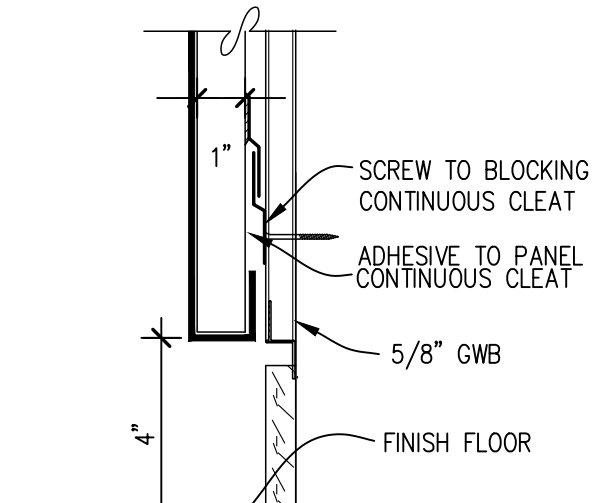
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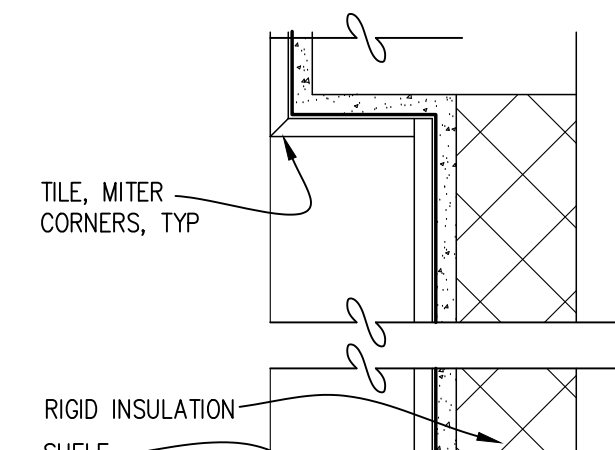
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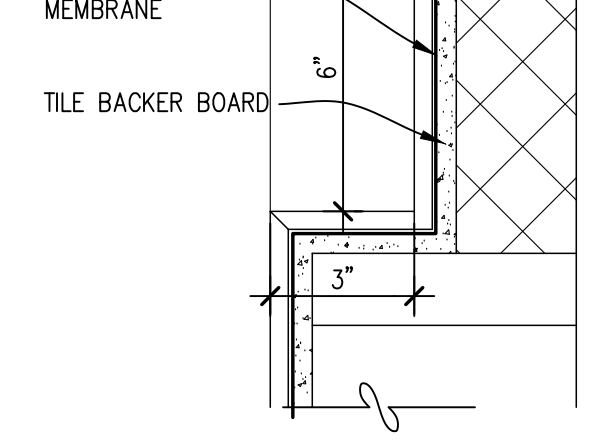
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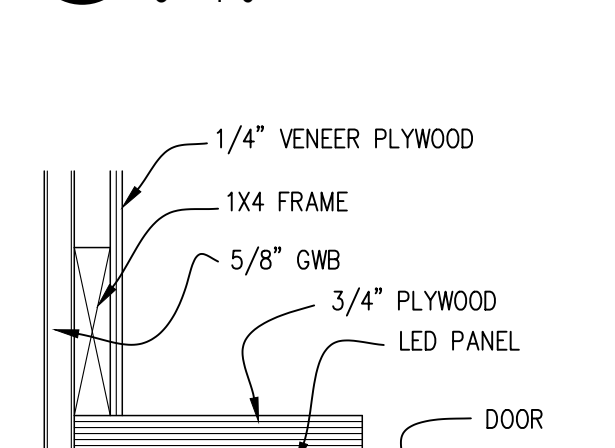
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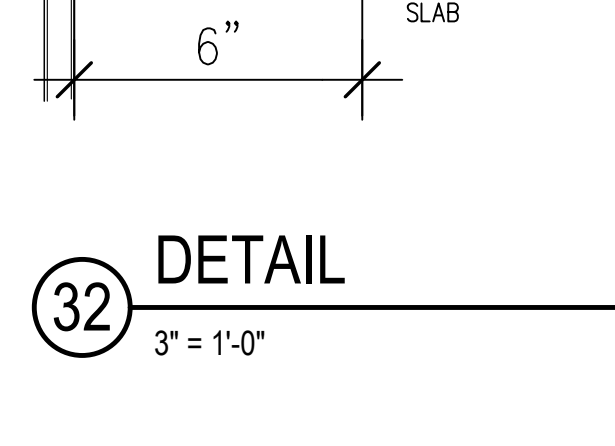
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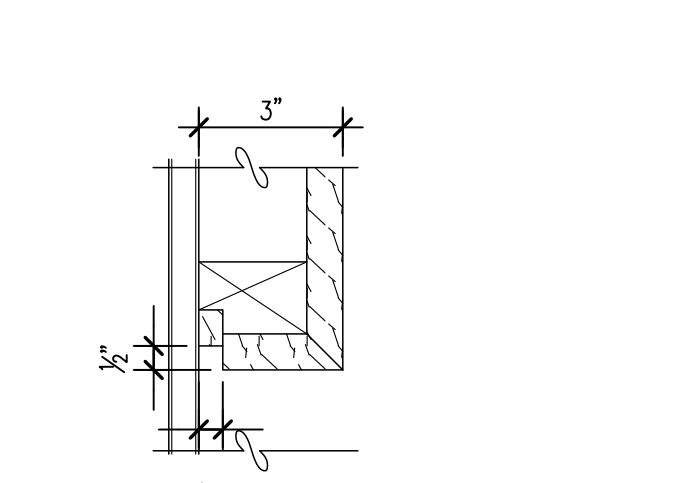
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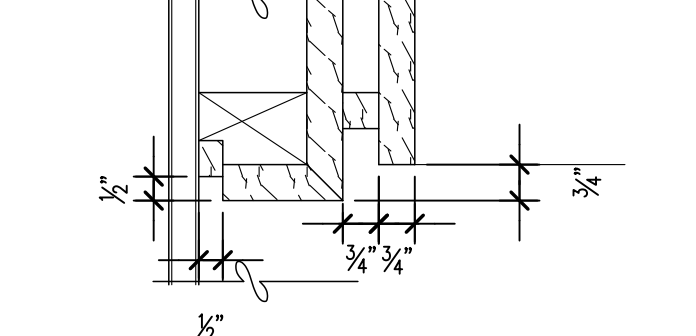
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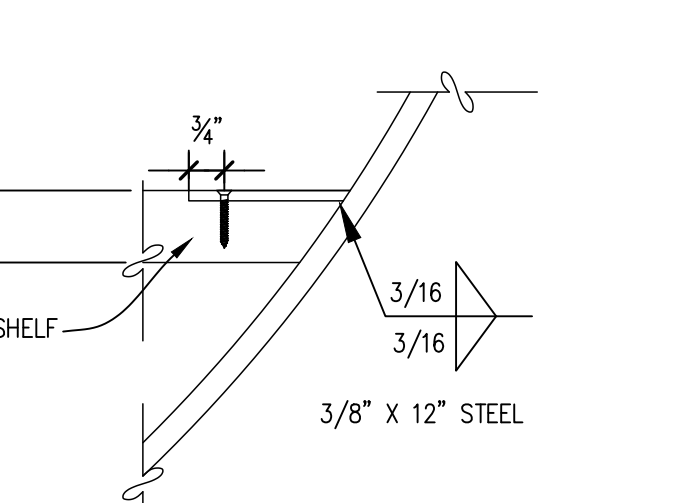
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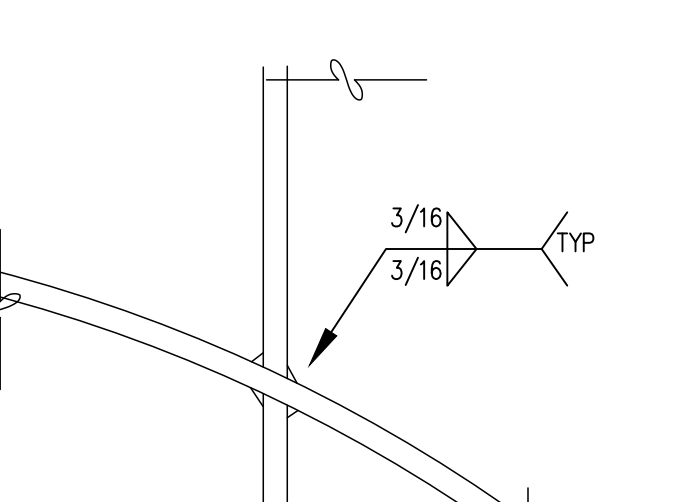
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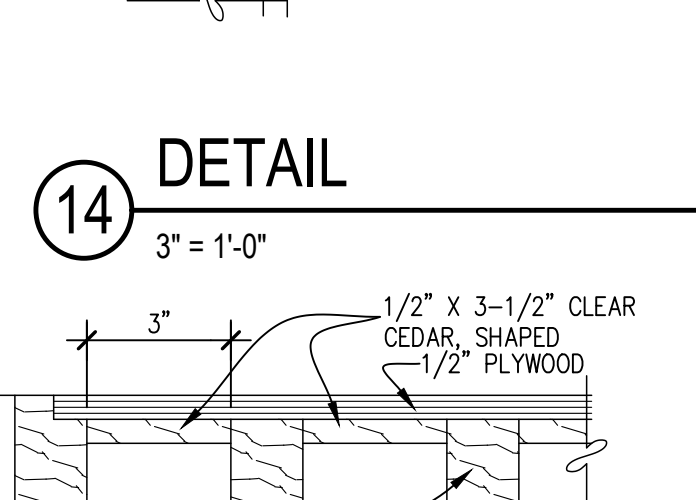
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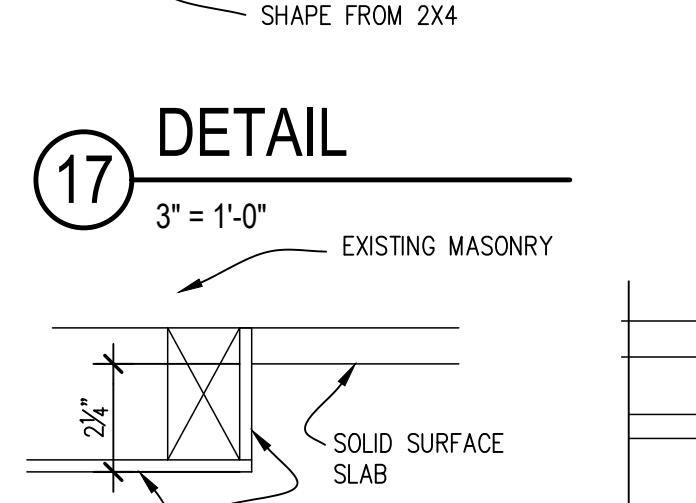
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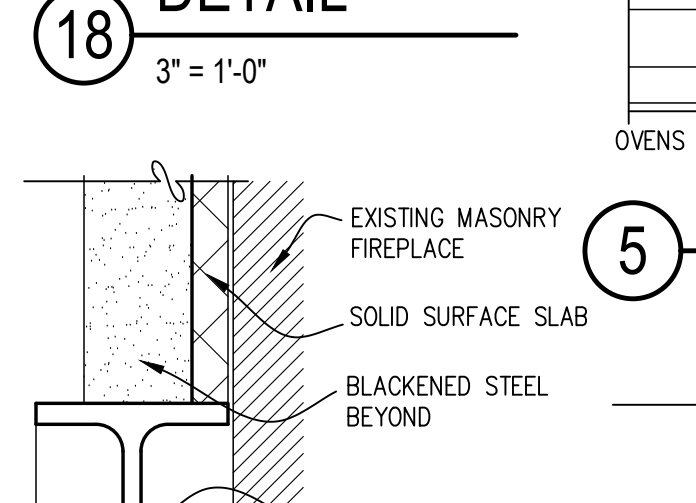
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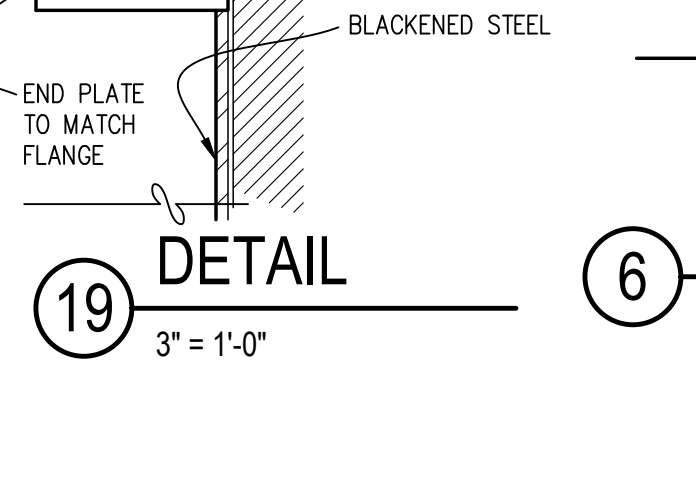
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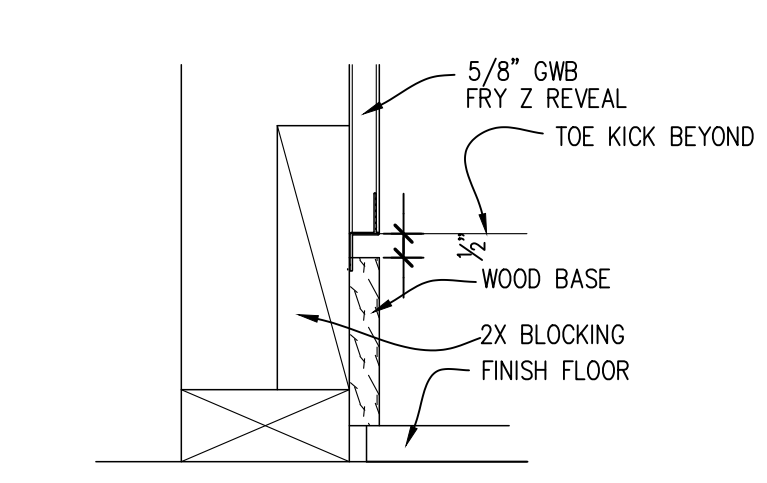
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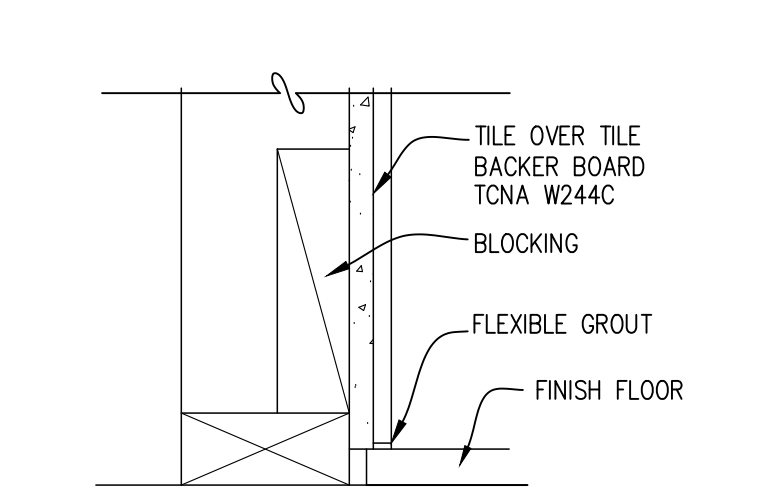
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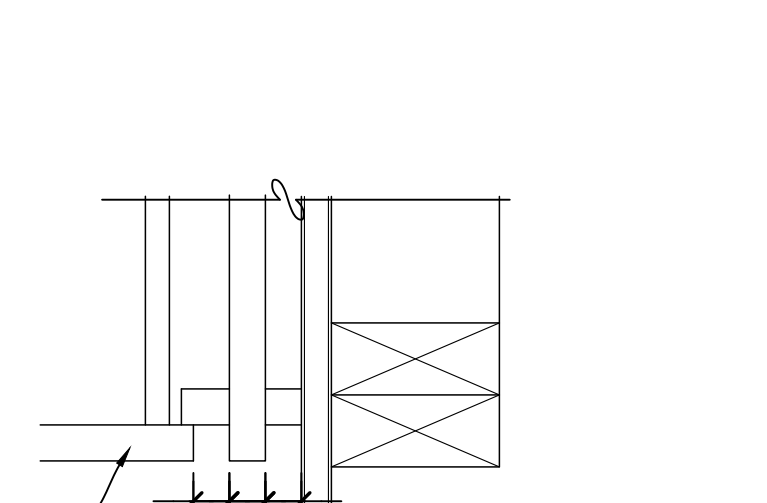
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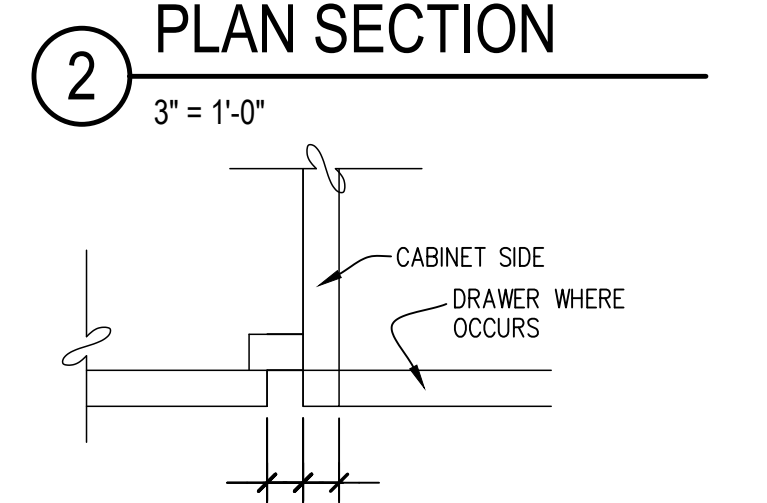
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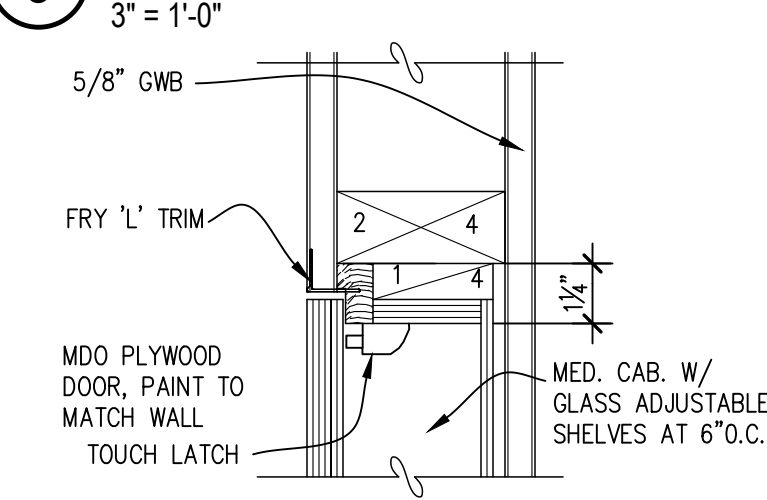
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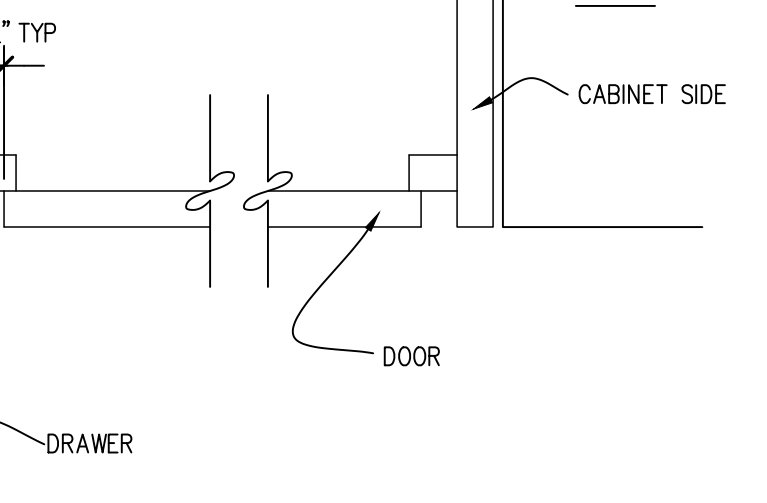
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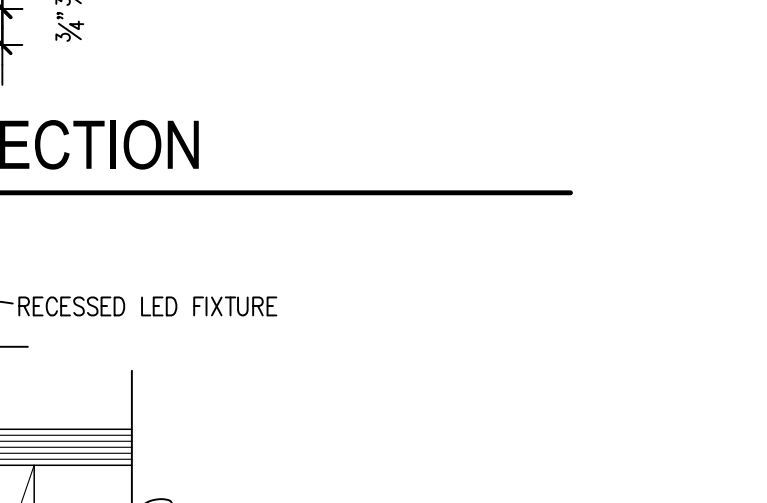
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4 DETAIL
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5 PLAN SECTION
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6 DETAIL
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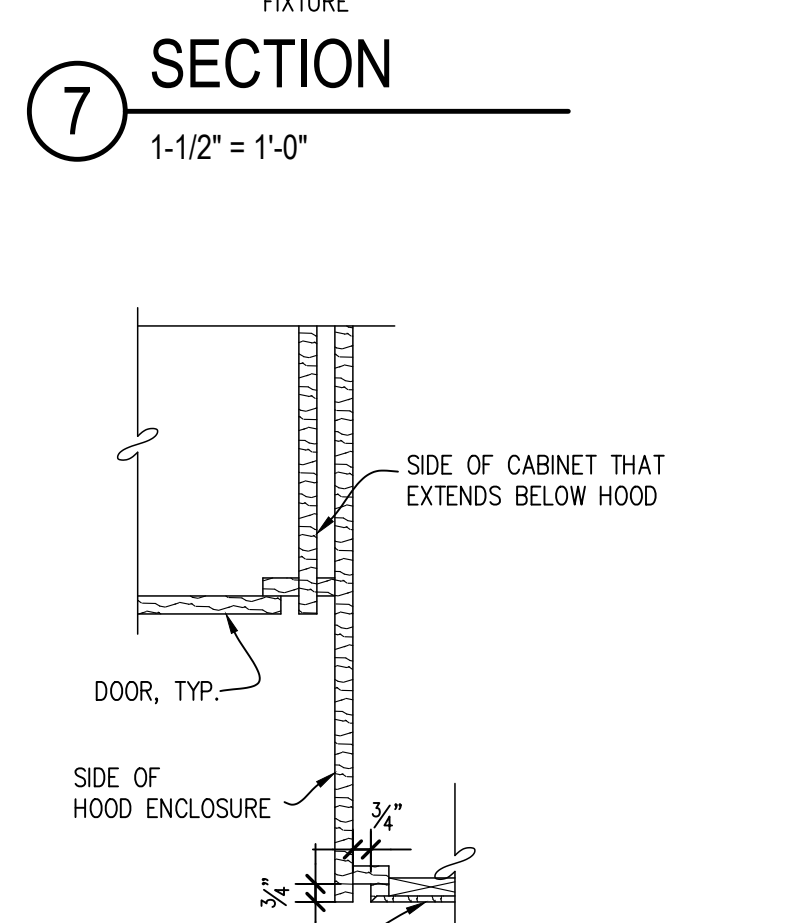
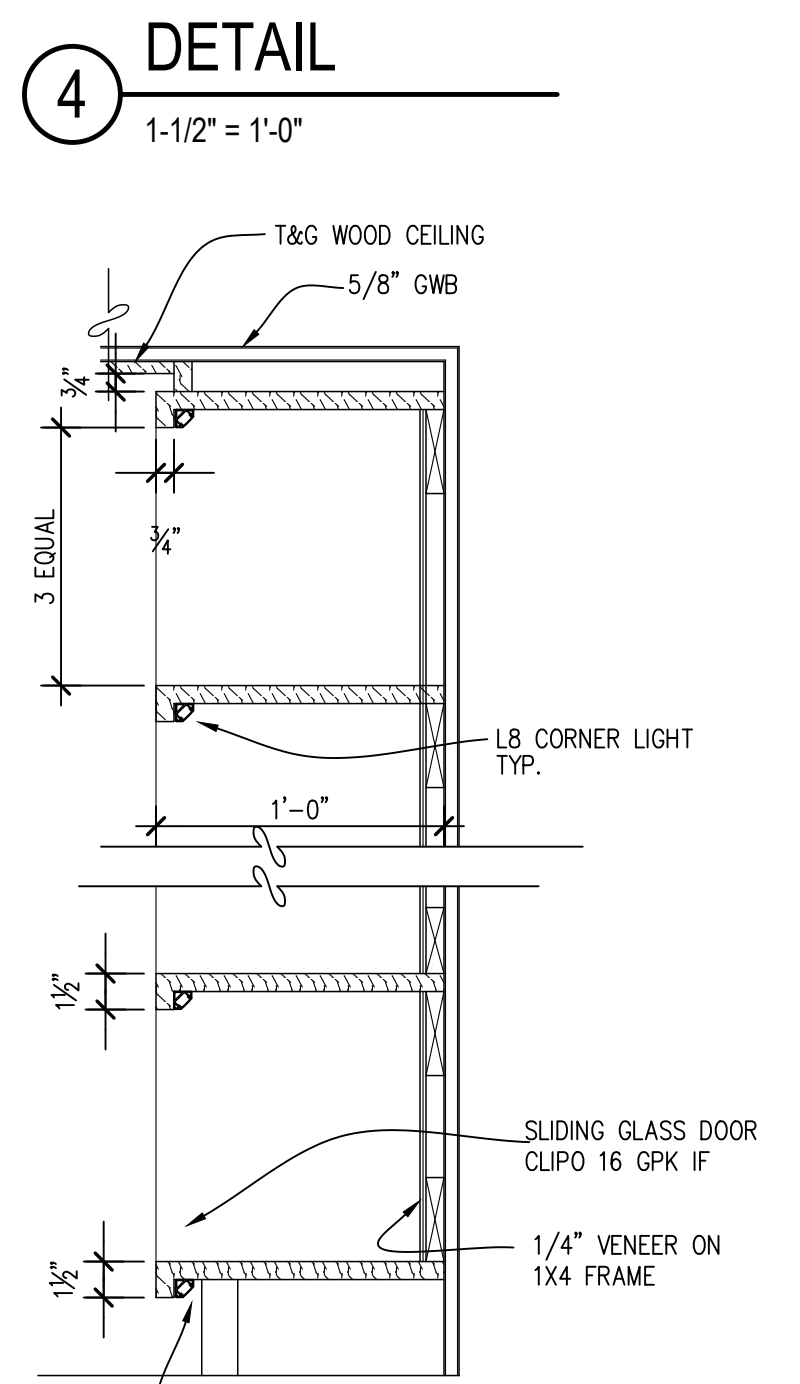
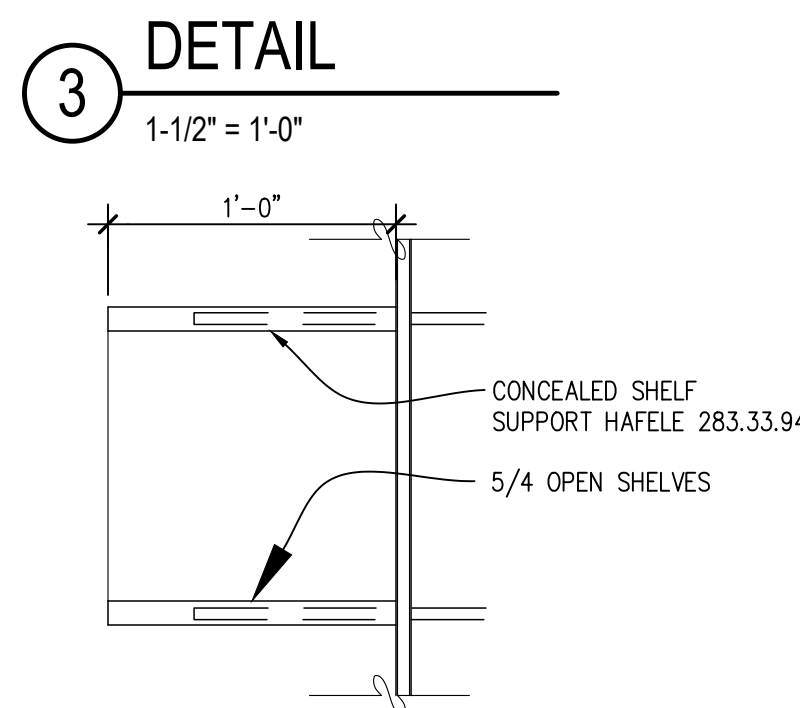
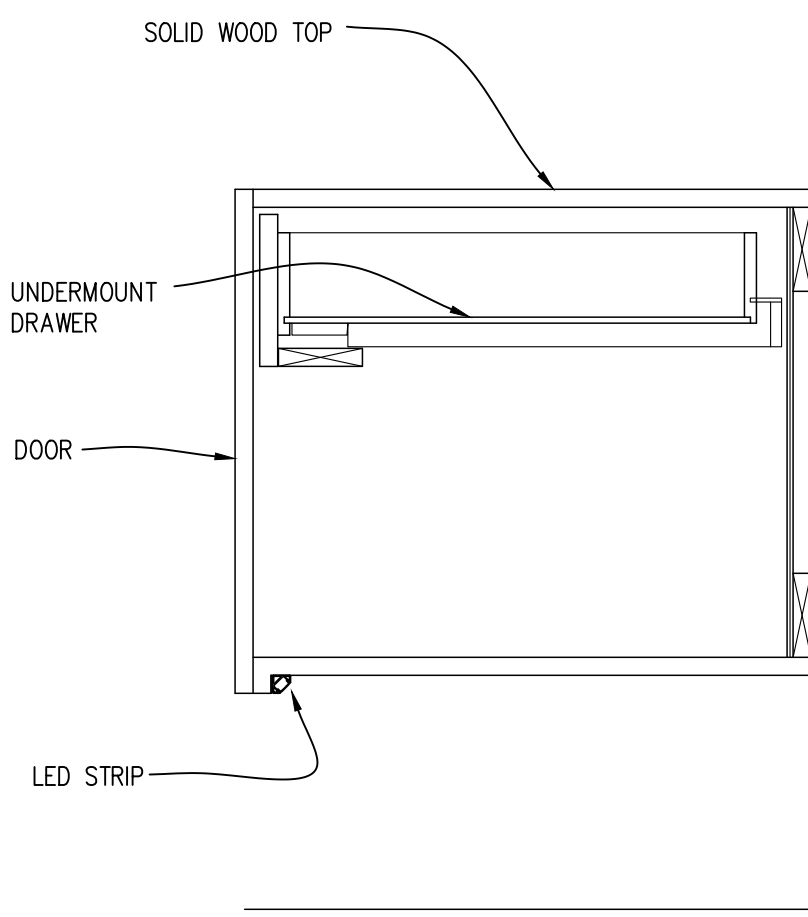
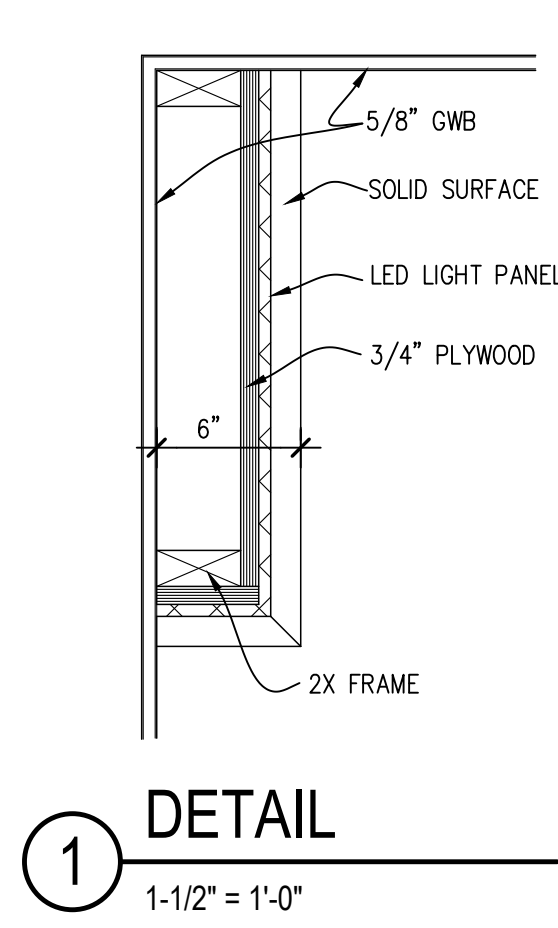
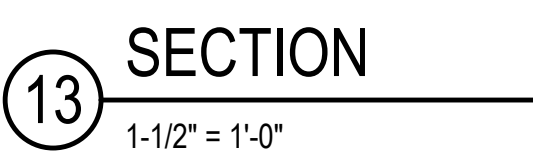
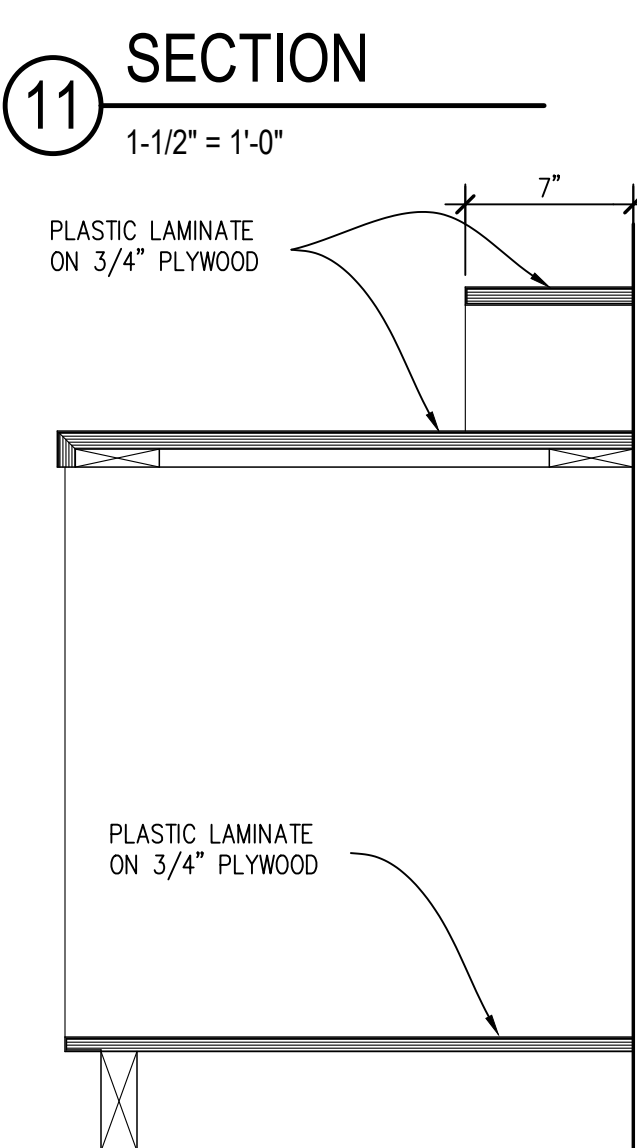
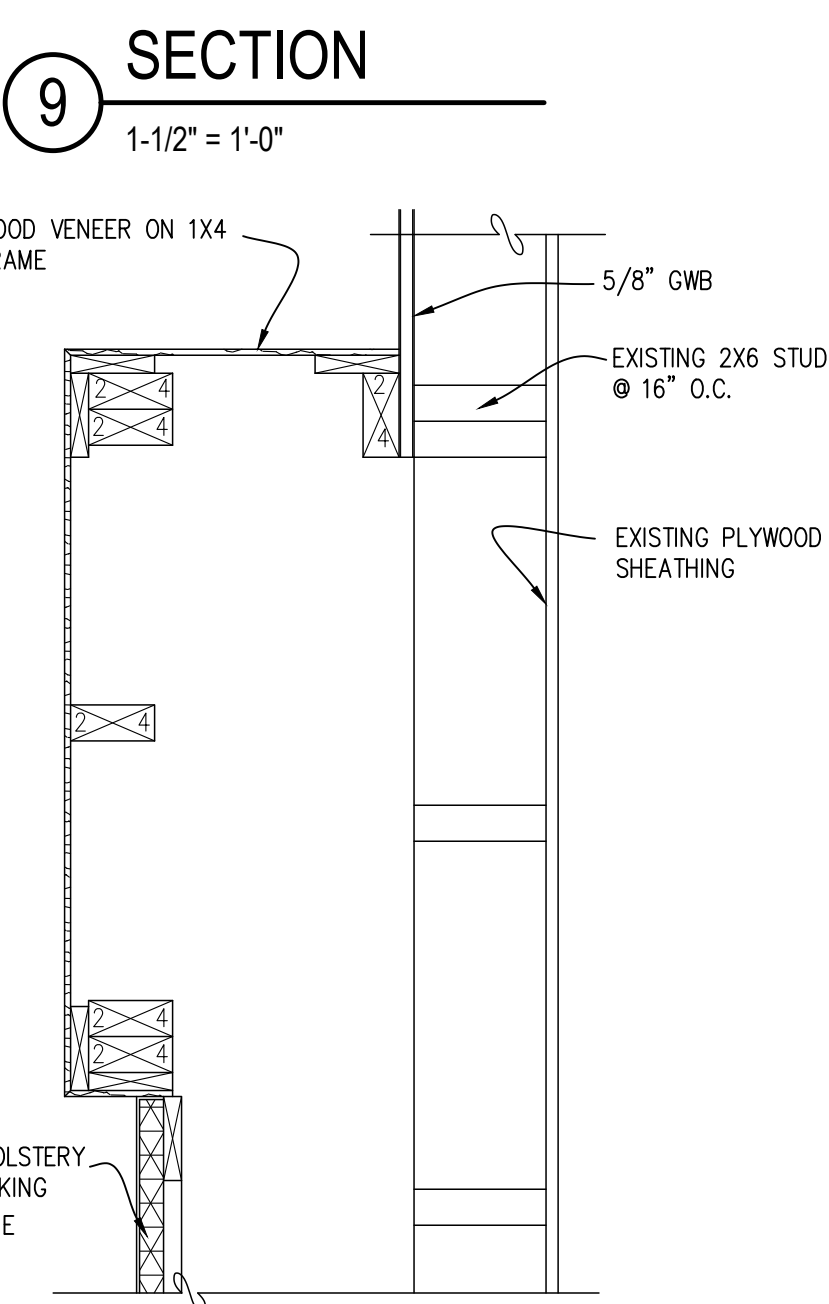
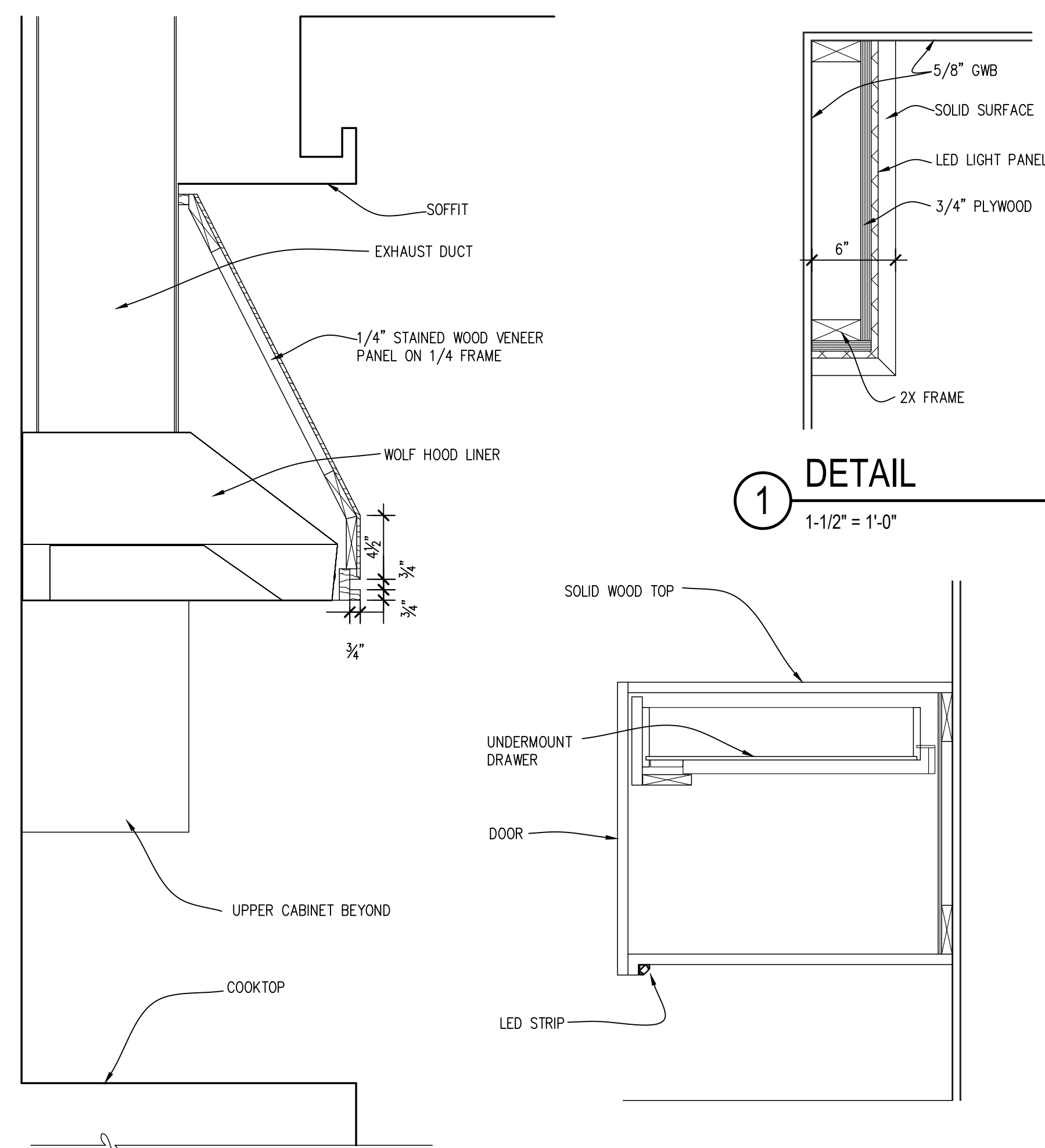
HONG AND KAO RESIDENCE
5425 W. MERCER WAY
MERCER ISLAND, WA 98040

CHESMORE|BUCK
architects
27 100TH AVENUE NE, SUITE 100
BELLEVUE, WA 98004
PHONE: 425-679-0907
FAX: 425-679-0804

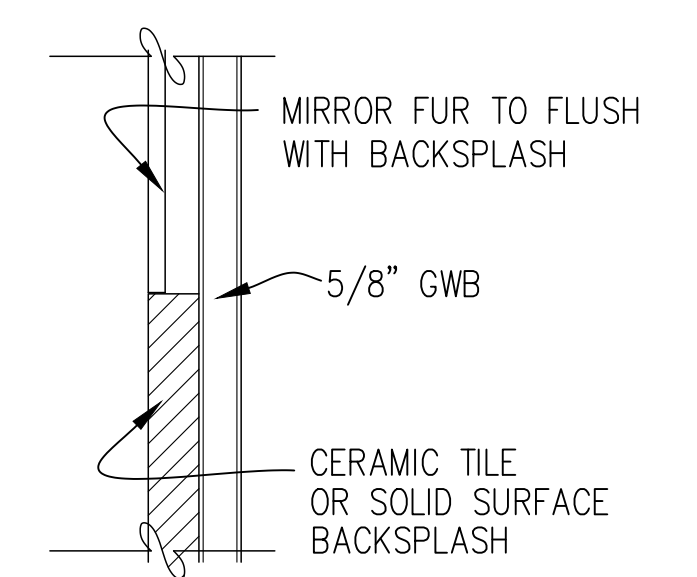
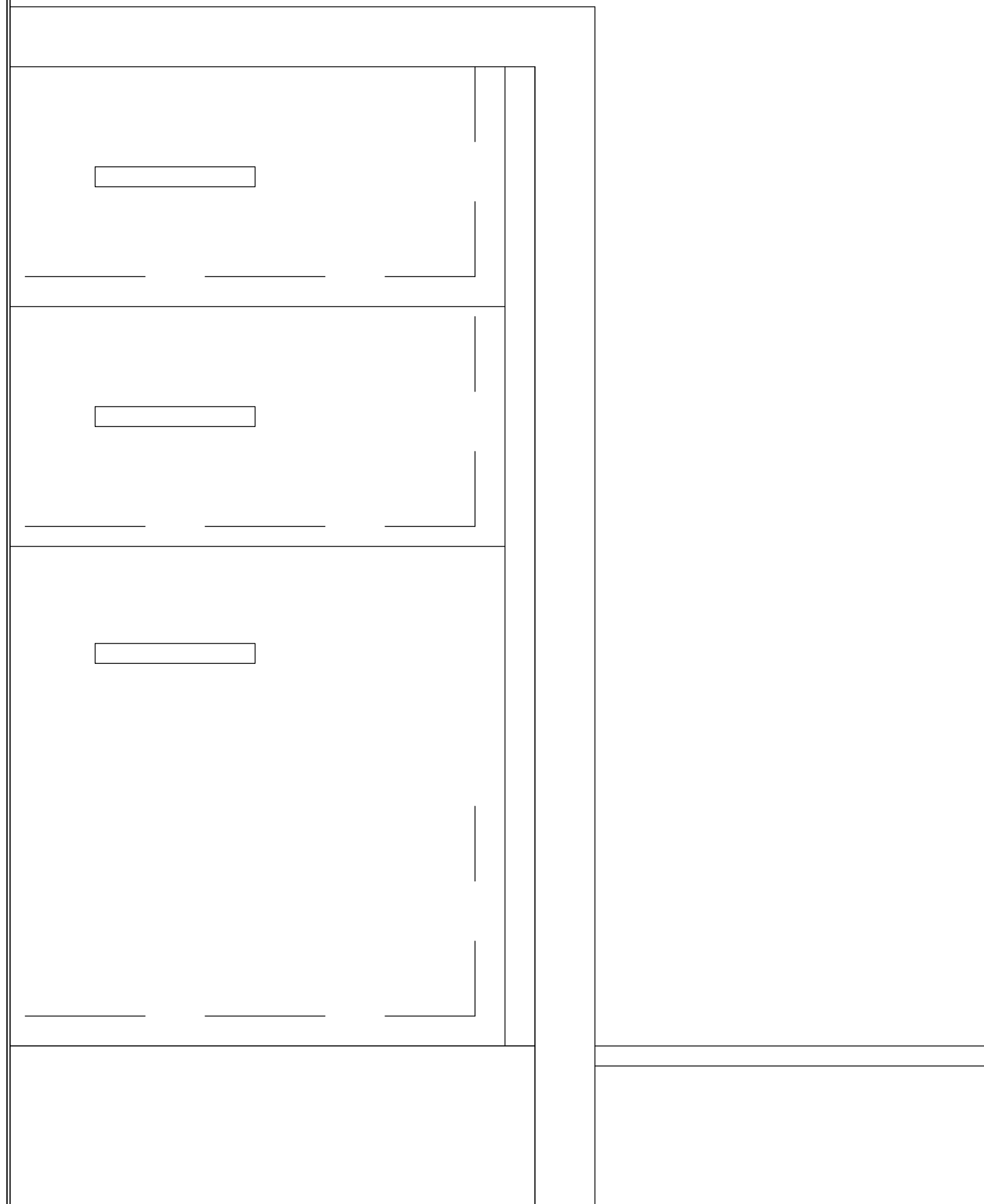
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9/28/23 PRICING SET

No. Date Revision

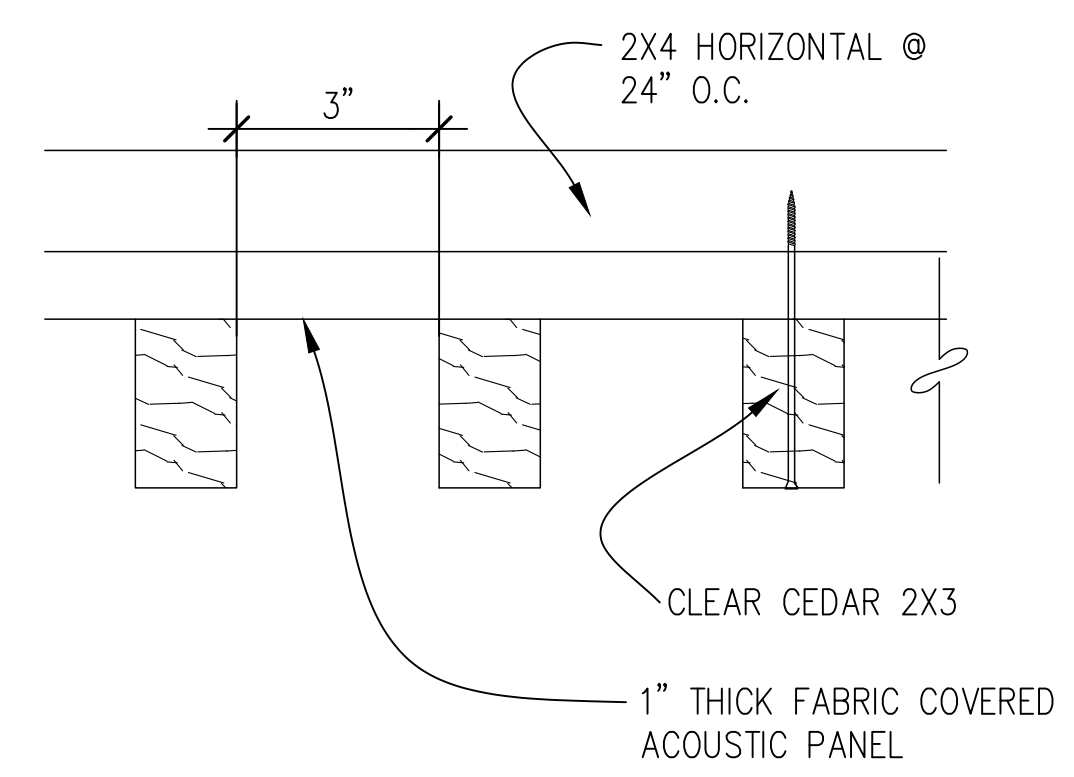
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Date: 9/8/23



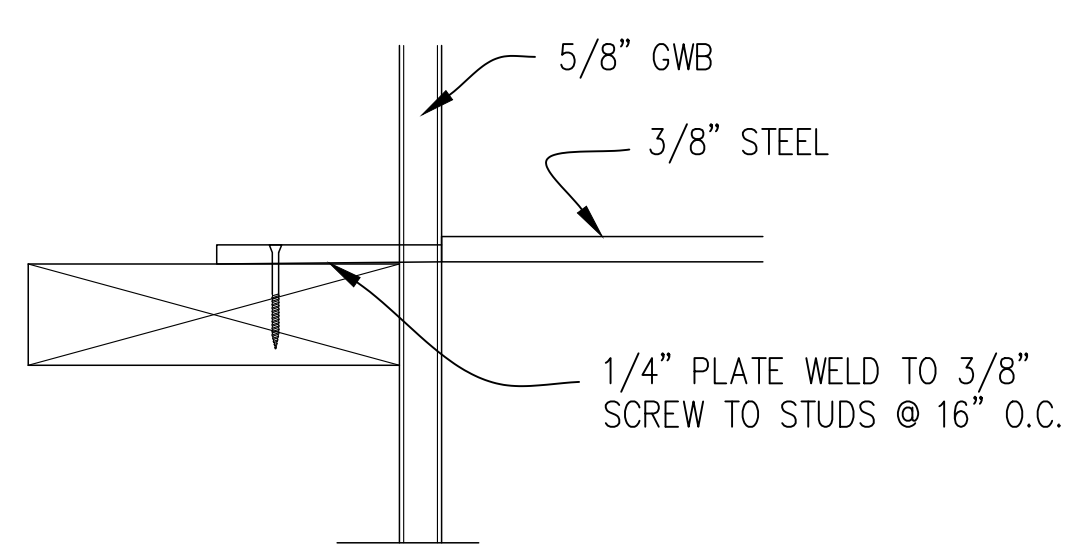
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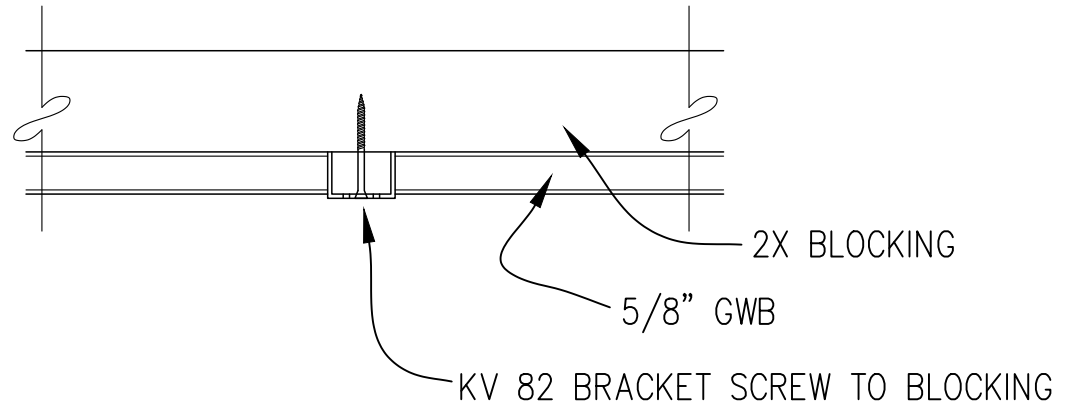
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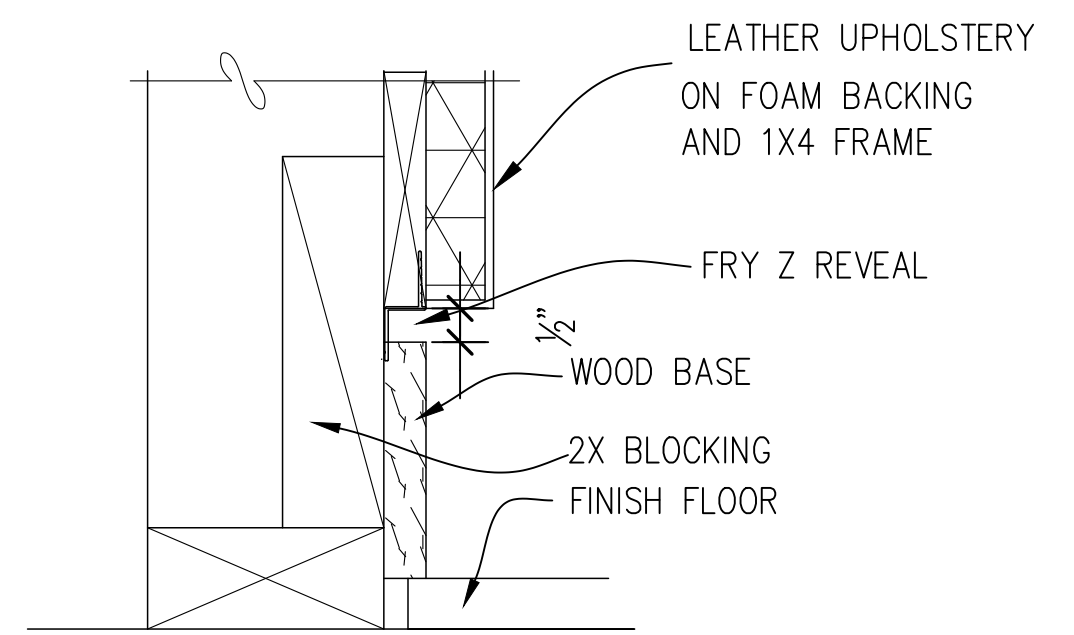
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6 DETAIL
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10 DETAIL
3" = 1'-0"



12 DETAIL
3" = 1'-0"

SECTION 07531 - TPO MEMBRANE ROOFING

PART 1 - GENERAL

1.1 SECTION REQUIREMENTS

- A. Submittals: Shop Drawings of tapered insulation.
- B. Exterior Fire-Test Exposure: ASTM E 108, Class [A][B][C].
- C. Warranties: Manufacturer's standard form, without monetary limitation, signed by roofing manufacturer agreeing to repair leaks due to defects in materials or workmanship for period of [10][15] years.

PART 2 - PRODUCTS

2.1 ROOFING MATERIALS

- A. TPO Sheet: **80 mils** thick; color to be selected
 - 1. Products:
 - a. Carlisle Sure-Weld TPO or equivalent
- B. Auxiliary Materials: Recommended by roofing system manufacturer for intended use and as follows:
 - 1. Sure-Weld reinforced flashing, low VOC adhesive, Pressure sensitive cover strip, TPO joint covers, Cut edge sealant and others as recommended by manufacturer.

2.2 BALLAST

- A. Aggregate Ballast: Smooth, washed, black riverbed gravel or other acceptable smooth-faced stone, **3/4 to 1-1/2 inches**.

PART 3 - EXECUTION

3.1 INSTALLATION

- A. Install TPO sheet according to roofing system manufacturer's written instructions and as follows:
 - B. 1. Sweep loose debris from the substrate.
 - C. 2. Position Sure-Weld Membrane over acceptable substrate and fold membrane back so half the underside is exposed.
 - D. 3. Apply the applicable Carlisle Bonding Adhesive to the exposed underside of the membrane and the corresponding substrate area with a plastic cone medium nap paint roller at the published application rate on the applicable Product Data Sheet.
 - E. 4. Allow adhesive to dry until tacky and roll coated membrane into coated substrate and avoid wrinkling.
 - F. 5. Brush down the bonded section of membrane immediately with a soft bristle push broom.
 - G. 6. Fold back the un-bonded half of the sheet and repeat the bonding procedure.
 - H. 7. Install adjoining membrane sheets in the same manner, overlapping edges a minimum of 2" to provide for a minimum 1- 1/2" hot air weld. It is recommended that all splices be shingled to avoid bucking of water.
 - I. 8. Hot air weld the membrane sheets a minimum of 1-1/2" with an Automatic Hot Air Welding Machine.
 - J. 9. Membrane that has been exposed to the elements for approximately 7 days must be prepared with Weathered Membrane Cleaner. Wipe the surface where Weathered Membrane Cleaner has been applied with a clean, dry HP Splice Wipe or other white rag to remove cleaner residue prior to hot air welding.

END OF SECTION 07531

SECTION 08211 - FLUSH WOOD DOORS

PART 1 - GENERAL

1.1 SECTION REQUIREMENTS

- A. Submittals: Samples for doors, shop drawings.
- B. Quality Standard: NWDA I.S. I-A.

1.2 FLUSH WOOD DOORS

- A. Doors for Transparent Finish: **Premium grade**.
 - 1. Faces: **white oak, rift cut, horizontal grain**.
 - 2. Veneer Matching: **Book and balance match**.
 - 3. Pair matching and set matching.
 - 4. Continuous matching for doors with transoms.
- B. Doors for Opaque Finish: **Custom grade**.
 - 1. Faces: **Medium-density overlay**.
- C. Interior Veneer-Faced Solid-Core Doors: **Five-ply, structural composite lumber cores**.
- D. Interior Solid-Core Doors with Hardboard Faces: **Three-ply, particleboard cores**.

1.3 FABRICATION AND FINISHING

- A. Factory fit doors to suit frame-opening sizes indicated and to comply with referenced quality standard.
 - 1. Comply with NFPA 80 for fire-resistance-rated doors.
- B. Factory machine doors for hardware that is not surface applied.
- C. Cut and trim openings to comply with referenced standards.
 - 1. Trim light openings with moldings indicated.
 - 2. Factory install louvers in prepared openings.
- D. Factory doors indicated for transparent finish with **stain** and manufacturer's standard finish comparable to **AWI System TR-4, conversion varnish**.

PART 2 - EXECUTION

2.1 INSTALLATION

- A. Comply with WDMA's "How to Store, Handle, Finish, Install, and Maintain Wood Doors."
 - 1. Install fire-rated doors to comply with NFPA 80.

Align and fit doors in frames with uniform clearances and bevels. Machine doors for hardware. Repair, refinish, or replace factory-finished doors damaged during installation, as directed by Architect.

END OF SECTION 08211

DOOR HARDWARE 08710 - 1

SECTION 08710 - DOOR HARDWARE

PART 1 - GENERAL

1.1 SECTION REQUIREMENTS

- Allowances: Provide Hardware Allowance in Division 8 Section 8700
- A. Submittals: Hardware Schedule.
- B. Deliver keys to Owner.
- C. For fire-rated openings provide hardware tested and listed by UL or FMG (NFPA 80). On exit devices provide UL or FMG label indicating "Fire Exit Hardware."

PART 2 - PRODUCTS

2.1 HARDWARE

- A. Manufacturers:
 - 1. Baldwin
- B. Hinges:
 - 1. Blum

Two hinges for 1-3/8-inch- thick wood doors.

- 2. Three hinges for 1-3/4-inch- thick doors 90 inches or less in height; four hinges for doors more than 90 inches in height.

C. Locksets and Latches:

- 1. BHMA A156.13, Series 1000, Grade 3 for mortise locks and latches.
- 2. **Lever handles** on locksets and latchesets, Baldwin L022 lever.
- 3. **Pocket door pulls - see schedule**

Provide wall stops or floor stops for doors without closers.

D. Provide hardware finishes as follows:

- 1. Hinges: **Matching finish of lockset/latchset**.
- 2. Locksets, Latchesets, and Exit Devices: Brushed Nickel US15
- 3. Other Hardware: Matching finish of lockset/latchset.

PART 3 - EXECUTION

3.1 INSTALLATION

- A. Mount hardware in locations recommended by the Door and Hardware Institute, unless otherwise indicated.

END OF SECTION 08710

SECTION 06402 - INTERIOR ARCHITECTURAL WOODWORK

PART 1 - GENERAL

1.1 SECTION REQUIREMENTS

- A. Submittals: **Product Data for solid-surfacing materials. Shop Drawings and Samples showing the full range of colors, textures, and patterns available for each type of finish.**
- B. Quality Standard: **Architectural Woodwork Institute's "Architectural Woodwork Quality Standards"**
- C. Environmental Limitations: Do not deliver or install woodwork until building is enclosed, wet work is completed, and HVAC system is operating.

PART 2 - PRODUCTS

2.1 MATERIALS

- A. Hardboard: AHA A135.4
- B. Medium-Density Fiberboard: ANSI A208.2, Grade MD.
- C. Particleboard: not allowed
- D. Softwood Plywood: DCC PS 1.
- E. Hardwood Plywood and Face Veneers: HPVA HP-1.
- F. Solid-Surfacing Material:
 - 1. Products:
 - a. See finish schedule

2.2 CABINET HARDWARE AND ACCESSORY MATERIALS

- A. Hardware Standards: Comply with BHMA A156 series standards.
- B. Exposed Hardware Finishes: Comply with BHMA A156.18 for BHMA code number indicated.
 - 1. Finish: **Satin Chrome: BHMA 626 or BHMA 652 or Satin Stainless Steel: BHMA 630.**
- C. Furring, Blocking, Shims, and Hanging Strips: **Softwood or hardwood** lumber, kiln dried to 15 percent moisture content.

2.3 INTERIOR WOODWORK

- A. Complete fabrication before shipping to Project site to maximum extent possible. Disassemble only as needed for shipping and installing. Where necessary for fitting at Project site, provide for scoring and trimming.
- B. Backcut or groove backs of flat trim members, keef backs of other wide, flat members, except for members with ends exposed in finished Work.
- C. Interior Standing and Running Trim for Transparent Finish: **Premium grade, made from white oak, rift sawn.**
- D. Interior Standing and Running Trim for Opaque Finish: **Premium grade, made from any closed-grain hardwood.**
- E. Wood Cabinets (Casework) for Transparent Finish: **Premium grade**.
 - 1. AWI Type of Cabinet Construction: **Reveal overlay, see details.**
 - 2. Wood Species for Exposed Surfaces: **White oak, rift sawn or cut.**
 - 3. Grain Matching: Run and match grain **horizontal** for drawer fronts, doors, and fixed panels.
 - 4. Matching of Veneer Leaves: **Slip and balance match.**
 - 5. Semiexposed Surfaces Other Than Drawer Bodies: **Same species and cut as exposed surfaces.**
 - 6. Drawer Sides and Backs: **Solid hardwood, stained to match exposed surfaces**
 - 7. Drawer Bottoms: **Hardwood plywood.**

2.4 SHOP FINISHING OF INTERIOR ARCHITECTURAL WOODWORK

- A. Finishes: Same grades as items to be finished.
- B. Finish architectural woodwork at the fabrication shop; defer only final touch up until after installation.
 - 1. Apply one coat of sealer or primer to concealed surfaces of woodwork.
 - 2. Apply a vinyl wash coat to woodwork made from closed-grain wood before staining and finishing.
 - 3. After staining, if any, apply paste wood filler to open-grain woods and wipe off excess. Tint filler to match stained wood.
- C. Transparent Finish: AWI Finish System **TR-4, conversion varnish**.

PART 3 - EXECUTION

3.1 INSTALLATION

- A. Condition woodwork to prevailing conditions before installing.
- B. Install woodwork to comply with **AWI Section 10** for grade specified.
- C. Install woodwork level, plumb, true, and straight. Shim as required with concealed shims. Install to a tolerance of 1/8 inch in 96 inches for level and plumb.
- D. Scribe and cut woodwork to fit adjoining work, seal cut surfaces, and repair damaged finish at cuts.
- E. Install trim with minimum number of joints possible, using full-length pieces to greatest extent possible. Stagger joints in adjacent and related members.
- F. Anchor countertops securely to base units. Seal space between backsplash and wall.
- G. Anchor paneling to supports with concealed panel-hanger clips and by blind nailing on back-up strips, splined-connection strips, and similar associated trim and framing.
- H. Stairwork and Rails: Cut carriages to accurately fit treads and risers and securely anchor to supporting substrates. Glue treads to risers, and glue and nail treads and risers to carriages. Glue and wedge treads and risers to housed stringers. Glue and dowel or pin balusters to treads and railings, and railings to newel posts.

3.2 CABINET HARDWARE AND ACCESSORY SCHEDULE

- A. Butt Hinges: 2-3/4-inch, 5-knuckle steel hinges made from 0.095-inch-thick metal, BHMA A156.9, B01361 for flush doors and BHMA A156.9, B01521 for overlay doors.
- B. Concealed (European-Type) Hinges: Clip top Blumotion BHMA A156.9, B01602.
- C. Pulls: TOPKNOB EUROPA TAB PULL BRUSHED SATIN NICKEL.
- D. Catches: **Magnetic catches, BHMA A156.9, B03141.**
- E. Adjustable Shelf Standards: BHMA A156.9, B04071; with shelf rests, BHMA A156.9, B04081.
- F. Drawer Slides: Blum Movento under-mounted, zinc-plated steel drawer slides with steel ball bearings, complying with BHMA A156.9, Grade 1 and rated for the following loads:
 - 1. Box Drawer Slides: **75 lbf.**
 - 2. File Drawer Slides: **150 lbf.**
 - 3. Pencil Drawer Slides: 45 lbf.
- G. Door Locks: BHMA A156.11, E07121
- H. Drawer Locks: BHMA A156.11, E07041.
- I. Grommets for Cable Passage through Countertops: 1-inch- OD brown, molded-plastic grommets with brown plastic cap.

END OF SECTION 06402

SECTION 07210 - BUILDING INSULATION

PART 1 - GENERAL

1.1 SECTION REQUIREMENTS

- A. Submittals: Product Data.
- B. Surface-Burning Characteristics: ASTM E 84, and as follows:
 - 1. Flame-Spread Index: 25 or less where exposed, otherwise, as indicated in Part 2 "Insulation Products" Article.
 - 2. Smokes/Developed Index: 450 or less.

PART 2 - PRODUCTS

2.1 INSULATION PRODUCTS

- Foamed-in-Place Insulation: closed cell spray applied polyurethane foam insulation.
 - 1. Product: Icyene ProSeal LE, R-7.1 per inch
 - C. Fiberglass Insulation Kraft Faced Batt Insulation: ASTM C 665, Type I, Class C preformed formaldehyde free glass fiber batt type, Kraft paper faced one side.
 - B. Acoustic Batt Insulation: ASTM C 665, **Type I, unfaced** with fibers manufactured from **rock wool**, with flame-spread index of 25 or less.

2.2 ACCESSORIES

Vapor Retarder: **Polyethylene, Reinforced polyethylene 6 mil** thick.

- C. Eave Ventilation Troughs: Preformed, rigid fiberboard or plastic sheets designed to fit between roof framing members and to provide cross-ventilation between attic spaces and vented eaves.

PART 3 - EXECUTION

3.1 INSTALLATION

- A. Install insulation in areas and in thicknesses indicated or required to produce R-values indicated. Cut and fit tightly around obstructions and fit voids with insulation.
- B. Extend vapor retarder to extremities of areas to be protected from vapor transmission. Secure in place with adhesives or other anchorage. Locate seams at framing members, overlap, and seal with tape.

END OF SECTION 07210

SECTION 04810 - UNIT MASONRY ASSEMBLIES

PART 1 - GENERAL

1.1 SECTION REQUIREMENTS

- A. Submittals: Samples for **face brick and colored mortar**.
- B. Comply with AD 530.1/ASCE 6/TMS 602.
- C. Mockups: Construct a sample wall panel approximately 48 inches long by 48 inches high to demonstrate aesthetic effects and set quality standards for materials and execution.

PART 2 - PRODUCTS

2.1 MASONRY UNITS

- A. Face Brick: **Grade SW, Type FBX**.
 - 1. Products:
 - a. Mutual Materials (Jackson Valencia 425-452-2430)
 - 2. Size: **Standard match existing**
 - 3. Solid brick with exposed surfaces finished for ends of sills and caps.
 - 4. Special shapes for applications where shapes produced by sawing would result in sawed surfaces being exposed to view.

2.2 MORTAR AND GROUT

- A. Mortar: **Ready-mixed mortar, ASTM C 1142, may be used at Contractor's option.**
 - 1. Do not use calcium chloride in mortar.
 - 2. For masonry below grade or in contact with earth, use Type M.

For exterior, above-grade, load-bearing and non-load-bearing walls and parapet walls; for interior load-bearing walls; for interior non-load-bearing partitions, and for other applications where another type is not indicated, use Type M.

2.3 REINFORCEMENT, TIES, AND ANCHORS

- A. Veneer Anchors: Two-piece adjustable masonry veneer anchors that allow vertical or horizontal adjustment but resist tension and compression forces perpendicular to plane of wall, for attachment over sheathing to studs, and acceptable to authorities having jurisdiction.

1. Products:

- a. **see detail 9 on sheet 44**

2.4 EMBEDDED FLASHING MATERIALS

- A. Sheet Metal Flashing: **Stainless steel, 0.0150 inch thick or Copper, 16-oz./sq. ft. weight or 0.0135 inch thick for fully concealed flashing, 16-oz./sq. ft. weight or 0.0216 inch thick elsewhere.**

2.5 MISCELLANEOUS MASONRY ACCESSORIES

- A. Compressible Filler: Pre-molded strips complying with ASTM D 1056, Grade 2A1.
- B. Preformed Control-Joint Gaskets: Designed to fit standard sash block and to maintain lateral stability in masonry wall; made from styrene-butadiene rubber or PVC.
- C. Weep Holes: **Round polyethylene tubing, 3/8-inch OD) (Cotton or polyester rope, 1/4 to 3/8 inch in diameter, 24 inches long).**

PART 3 - EXECUTION

3.1 INSTALLATION - GENERAL

- A. Cut masonry units with saw. Install with cut surfaces and, where possible, cut edges concealed.
- B. Mix units for exposed unit masonry from several pavers or cubes as they are placed to produce uniform blend of colors and textures.

Matching Existing Masonry: Match coursing, bonding, color, and texture of existing masonry.

- C. Stopping and Resuming Work: Rack back units; do not touch.
- D. Build non-load-bearing interior partitions full height and install compressible filler in joint between top of partition and underside of structure above.
- E. Tool exposed joints slightly concave when thumbprint hard, unless otherwise indicated.
- F. Keep cavities clean of mortar droppings and other materials during construction. Strike joints facing cavities flush.

3.2 UNTELS

- A. Install steel lintels where indicated.

3.3 FLASHING AND WEEP HOLES

- A. Install embedded flashing and weep holes in masonry at shelf angles, lintels, ledges, other obstructions to the downward flow of water in the wall, and where indicated.
- B. Place through-wall flashing on sloping bed of mortar and cover with mortar. Seal penetrations in flashing before covering with mortar.
- C. Extend flashing 4 inches into masonry at each end and turn up 2 inches to form a pan.
- D. Tint weep material used in weep holes flush with outside face of wall after mortar has set.

3.4 CLEANING

- A. Clean masonry as work progresses. Remove mortar fins and smears before tooling joints.
- B. Final Cleaning: After mortar is thoroughly cured, remove large mortar particles, scrub, and rinse unit masonry.

Wet wall surfaces with water before applying acidic cleaner; then remove cleaner promptly by rinsing thoroughly with clear water.

END OF SECTION 04810

SECTION 01701 - EXECUTION AND CLOSEOUT REQUIREMENTS

PART 1 - GENERAL

1.1 CLOSEOUT SUBMITTALS

- A. Record Drawings: Maintain a set of the Contract Drawings as Record Drawings. Mark to show installation that varies from the Work originally shown.
- Operation and Maintenance Data: Organize data into three-ring binders with identification on front and spine of each binder and pocket folders for folded sheet information. Include the following:
- 1. Manufacturer's operation and maintenance brochures.
 - 2. Emergency instructions.
 - 3. Spare parts list.
 - 4. Wiring diagrams.
 - 5. Copies of warranties.

PART 2 - PRODUCTS (Not Applicable)

PART 3 - EXECUTION

3.1 EXAMINATION AND PREPARATION

- A. Examine substrates and conditions for compliance with manufacturer's written requirements including, but not limited to, surfaces that are sound, level, plumb, smooth, clean, and free of deleterious substances; substrates within installation tolerances; and application conditions within environmental limits. Proceed with installation only after unsatisfactory conditions have been corrected.
- B. Verify layout information shown on Drawings, in relation to property survey and existing benchmarks, before laying out the Work.
- C. Prepare substrates and adjoining surfaces according to manufacturer's written instructions, including, but not limited to, filler and primer application.
- D. Take field measurements as required to fit the Work properly. Where fabricated products are to be fitted to other construction, verify dimensions by field measurement before fabricating and, when possible, allow for fitting and trimming during installation.

3.2 CUTTING AND PATCHING

- A. Do not cut structural member(s) or operational element(s) without prior written approval of Architect.
- B. For patching, provide materials whose installed performance will equal or surpass that of existing materials. For exposed surfaces, provide or finish materials to visually match existing adjacent surfaces to the fullest extent possible.

3.3 INSTALLATION

- A. Comply with manufacturer's written instructions for installation. Anchor each product securely in place, accurately located and aligned. Clean exposed surfaces and protect from damage. If applicable, prepare surfaces for field finishing.
- B. Clean Project site and work areas daily, including common areas.

3.4 FINAL CLEANING

- A. Clean each surface or item as follows before requesting inspection for certification of Substantial Completion:
 - 1. Remove labels that are not permanent.
 - 2. Clean transparent materials, including mirrors. Remove excess glazing compounds. Replace chipped or broken glass.
 - 3. Clean exposed finishes to a dust-free condition, free of stains, films, and foreign substances. Leave concrete floors broom clean.
 - 4. Vacuum carpeted surfaces and wax resilient flooring.
 - 5. Wipe surfaces of mechanical and electrical equipment. Remove excess lubrication. Clean plumbing fixtures. Clean light fixtures and lamps.
 - 6. Clean the site. Sweep paved areas; remove stains, spills, and foreign deposits. Rake grounds to a smooth, even-textured surface.

3.5 CLOSEOUT PROCEDURES

- A. Substantial Completion: Before requesting Substantial Completion inspection, complete the following:
 - 1. Advise Owner of pending insurance coverage requirements.
 - 2. Submit specific warranties, maintenance agreements, and similar documents.
 - 3. Obtain and submit releases permitting Owner unrestricted use of the Work and access to services and utilities. Include occupancy permits, operating certificates, and similar releases.
 - 4. Submit Record Drawing(s) and Specifications, operation and maintenance manuals, [property surveys], and similar final record information.
 - 5. Deliver tools, spare parts, extra materials, and similar items.
 - 6. Changeover locks and transmit keys to Owner.
 - 7. Complete startup testing of systems and instruction of operation and maintenance personnel.
 - 8. Remove temporary facilities and controls.
 - 9. Advise Owner of changeover information related to Owner's occupancy, operation, and maintenance.
 - 10. Complete final cleaning requirements, including touchup painting.
- B. 11. Touch up and otherwise repair and restore marked exposed finishes to eliminate visual defects.

On receipt of a request for inspection, Architect will proceed with inspection or advise Contractor of unfulfilled requirements. Architect will prepare the Certificate of Substantial Completion after inspection or advise Contractor of items that must be completed or corrected before the certificate will be issued.

C. Request inspection for certification of Final Completion, once the following are complete:

- 1. Submit a copy of Substantial Completion inspection list stating that each item has been completed or otherwise resolved for acceptance.
- 2. Instruct Owner's personnel in operation, adjustment, and maintenance of products, equipment, and systems.
- D. Architect will reinspect the Work on receipt of notice that the Work has been completed.
 - 1. On completion of reinspection, Architect will prepare a final Certificate for Payment. If the Work is incomplete, Architect will advise Contractor of the Work that is incomplete or obligations that have not yet been fulfilled.

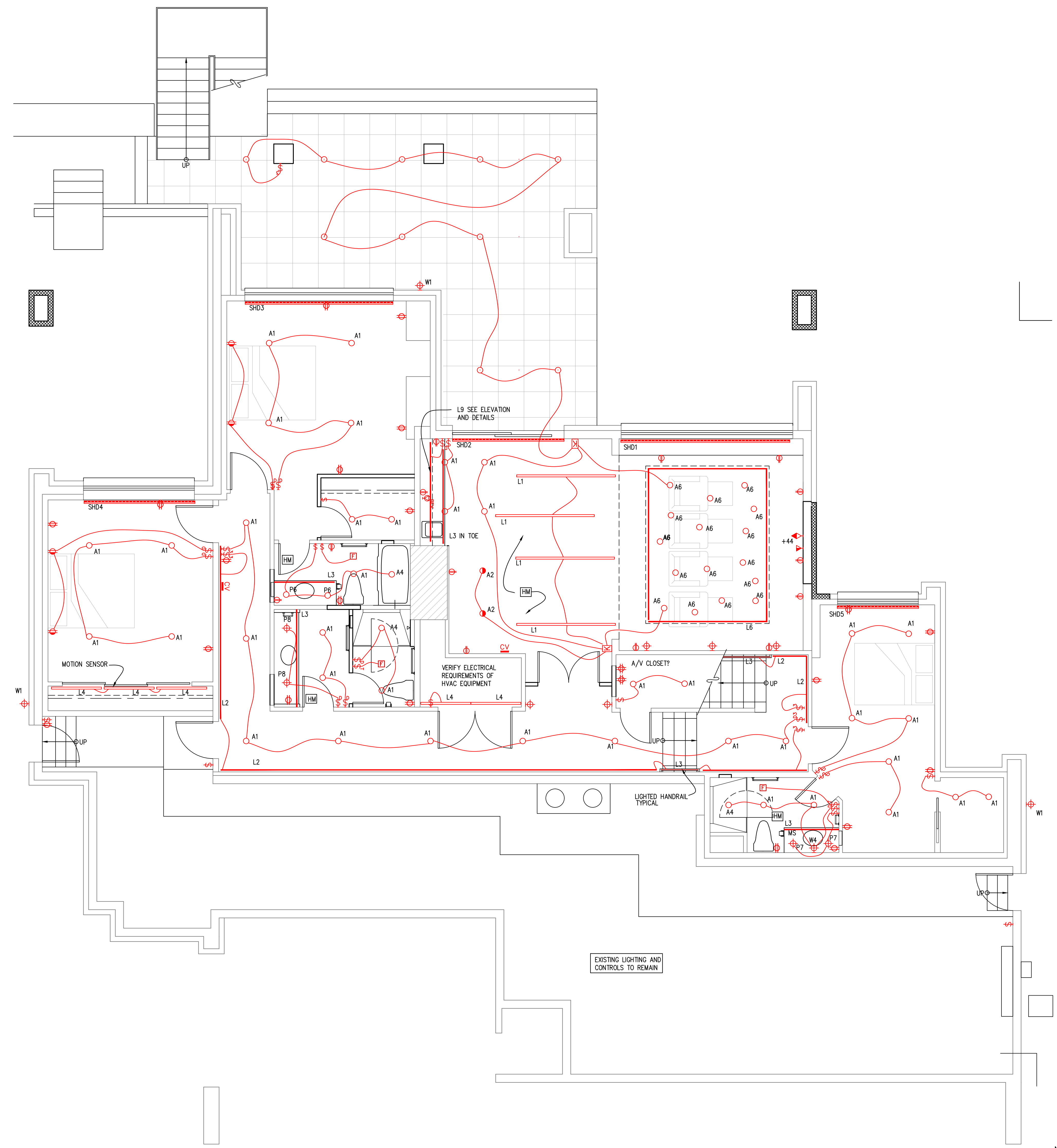
3.6 DEMONSTRATION AND TRAINING

- A. Provide experienced instructors for each piece of equipment that requires operation and maintenance to provide instruction to Owner's personnel. Include a detailed review of the following:
 - 1. Include instruction for system design and operational philosophy, review of documentation, operations, adjustments, troubleshooting, maintenance, and repair.

END OF SECTION 01701

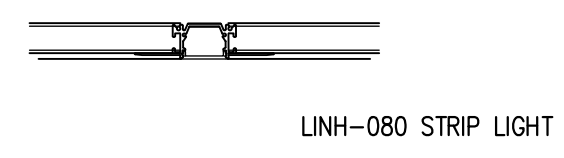
SECTION 01752 - SELECTIVE DEMOLITION

ELECTRICAL SYMBOLS			
○	RECESSED LIGHT/ROUND TRIM	⚡	SWITCH
◻	RECESSED LIGHT/SQUARE TRIM	⚡	3-WAY SWITCH
⊕	WALL MOUNTED LIGHT	⚡	DIMMING SWITCH
⊕	SURFACE/PENDANT LIGHT	⚡	SWITCH W/ TIMER
⊕	WALLWASH LIGHT	⚡	SWITCH W/ OCCUPANCY SENSOR
⊕	FLOOD LIGHT	⚡	6-BUTTON KEYPAD, LUTRON
⊕	STRIP LIGHT	⚡	SMART DIMMER SWITCH, LUTRON
⊕	STEP LIGHT	⊕	DUPLEX RECEPTACLE
⊕	CERAMIC SOCKET	⊕	DUPLEX RECEPT./HALF-SWITCHED
⊕	SMOKE DETECTOR (SD)	⊕	DUPLEX RECEPT. W/ DUAL USB-C
⊕	CARBON MONOXIDE DETECTOR (CM)	⊕	FOURPLEX RECEPTACLE
⊕	COMBO-SMOKE/CARBON MONOXIDE DETECTOR (S/CM)	⊕	FLOOR RECEPTACLE
⊕	HEAT DETECTOR	⊕	CEILING/SOFFIT RECEPTACLE
⊕	EXHAUST FAN (VENT TO EXTERIOR)	⊕	1xxV SPECIAL PURPOSE
⊕	CENTRAL VACUUM WALL PORT	⊕	2xxV SPECIAL PURPOSE
⊕	MOTION SENSOR	⊕	TELEPHONE
⊕	DOORBELL	⊕	TELEVISION
⊕	THERMOSTAT	⊕	TELEVISION/MULTI-FUNCTION CABLE
⊕	GARAGE DOOR CONTROL PANEL	⊕	CAT 6 COMPUTER NETWORK/DATA
⊕	CIRCUIT BREAKER PANEL	⊕	FIBER OPTIC OUTLET
⊕	METER	⊕	SPEAKER OUTLET
		⊕	SOUND SPEAKER
		⊕	WINDOW SHADE

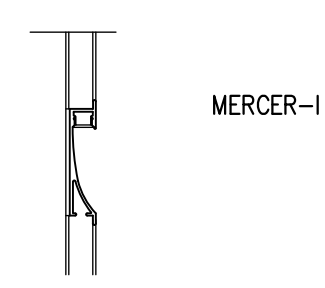


LOWER FLOOR ELECTRICAL PLAN
1/4" = 1'-0"

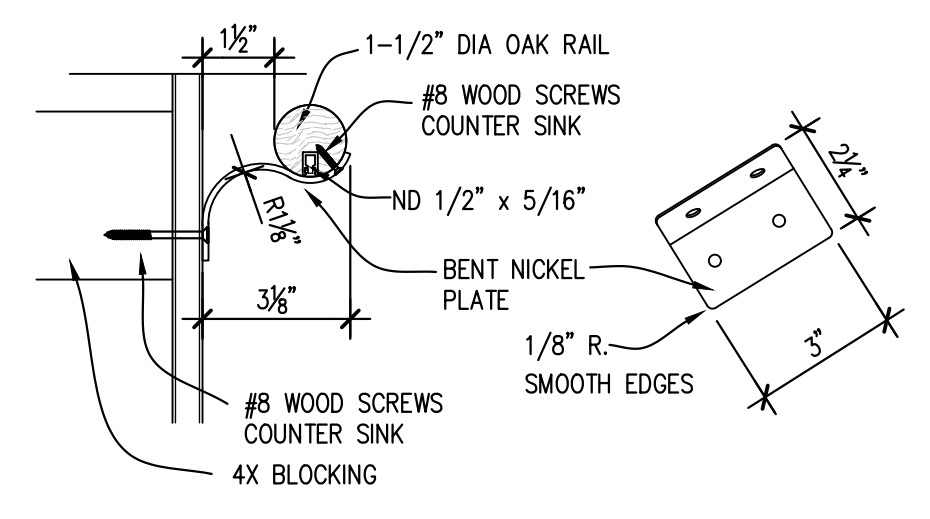
NOTE:
SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUAL ALARM WILL ACTIVATE ALL OF THE ALARMS.



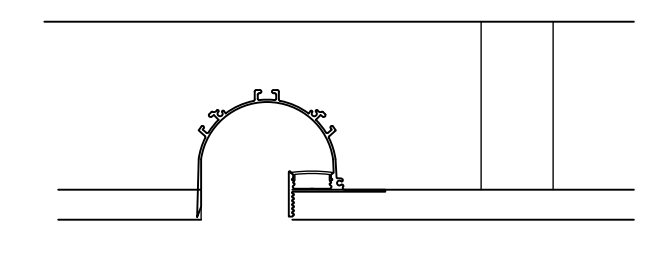
1 DETAIL
3" = 1'-0"



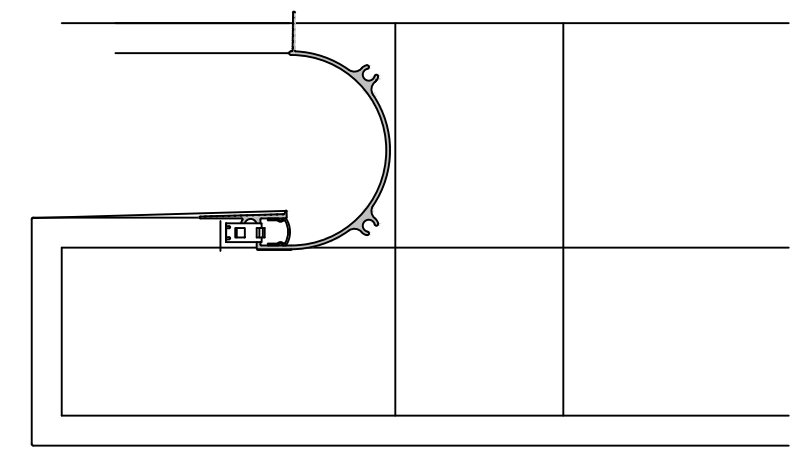
2 DETAIL
3" = 1'-0"



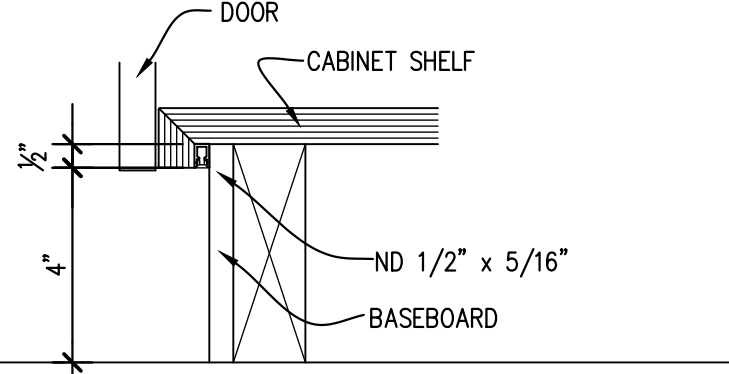
3 DETAIL
3" = 1'-0"



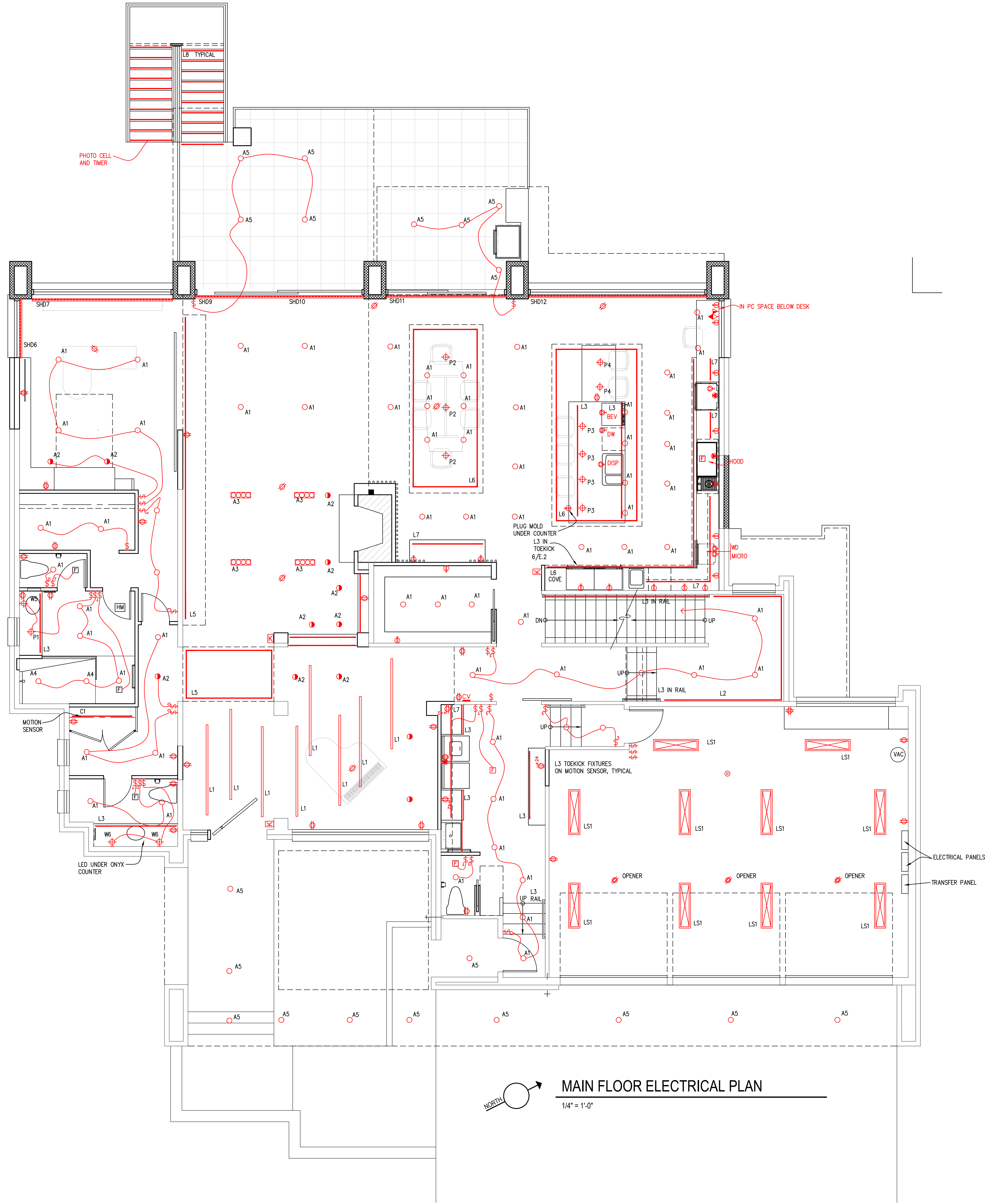
4 DETAIL
3" = 1'-0"

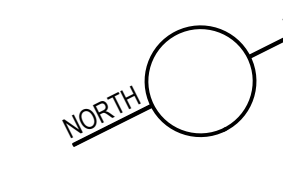
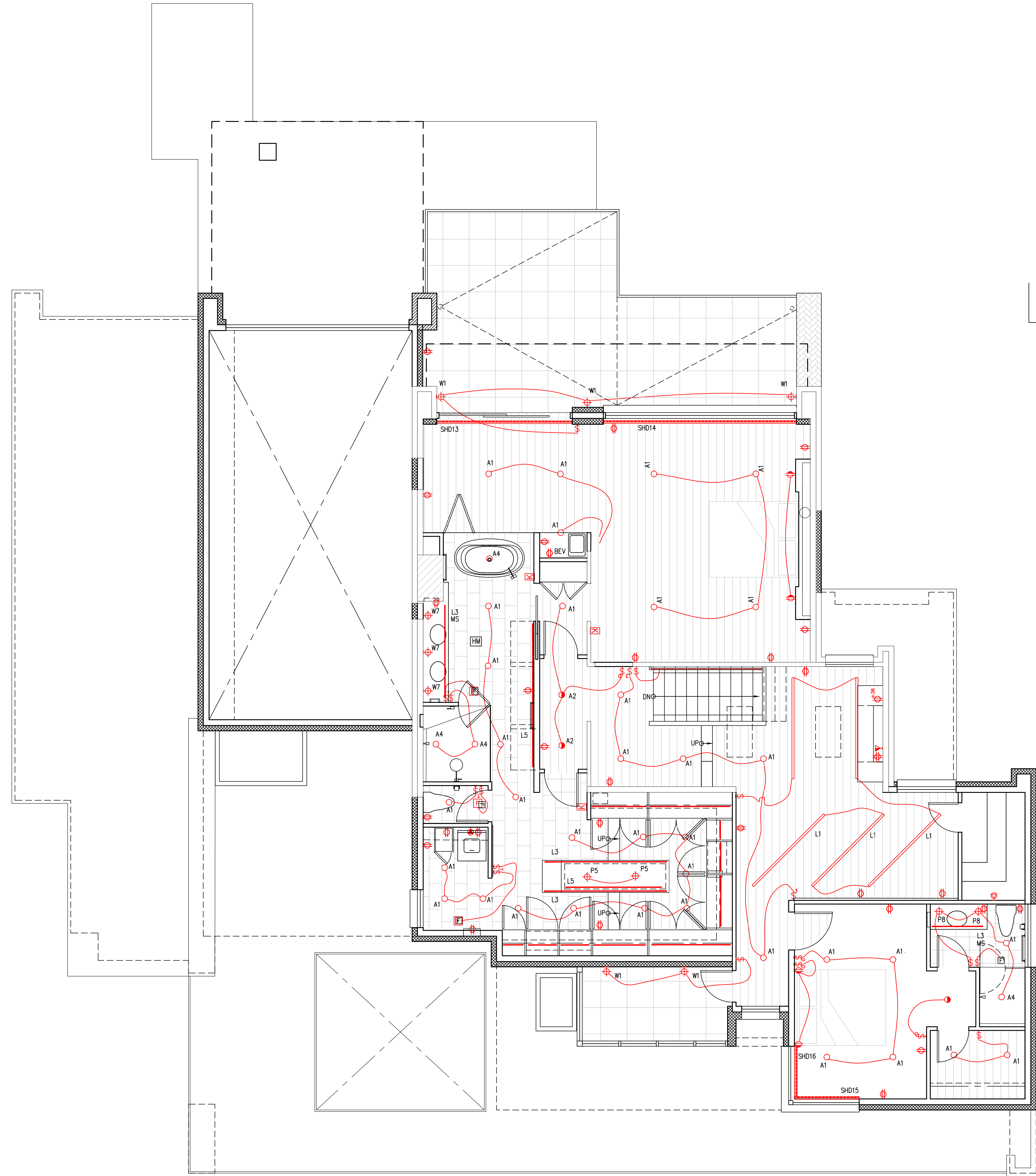


5 DETAIL
3" = 1'-0"



6 DETAIL
3" = 1'-0"





UPPER FLOOR ELECTRICAL PLAN

1/4" = 1'-0"

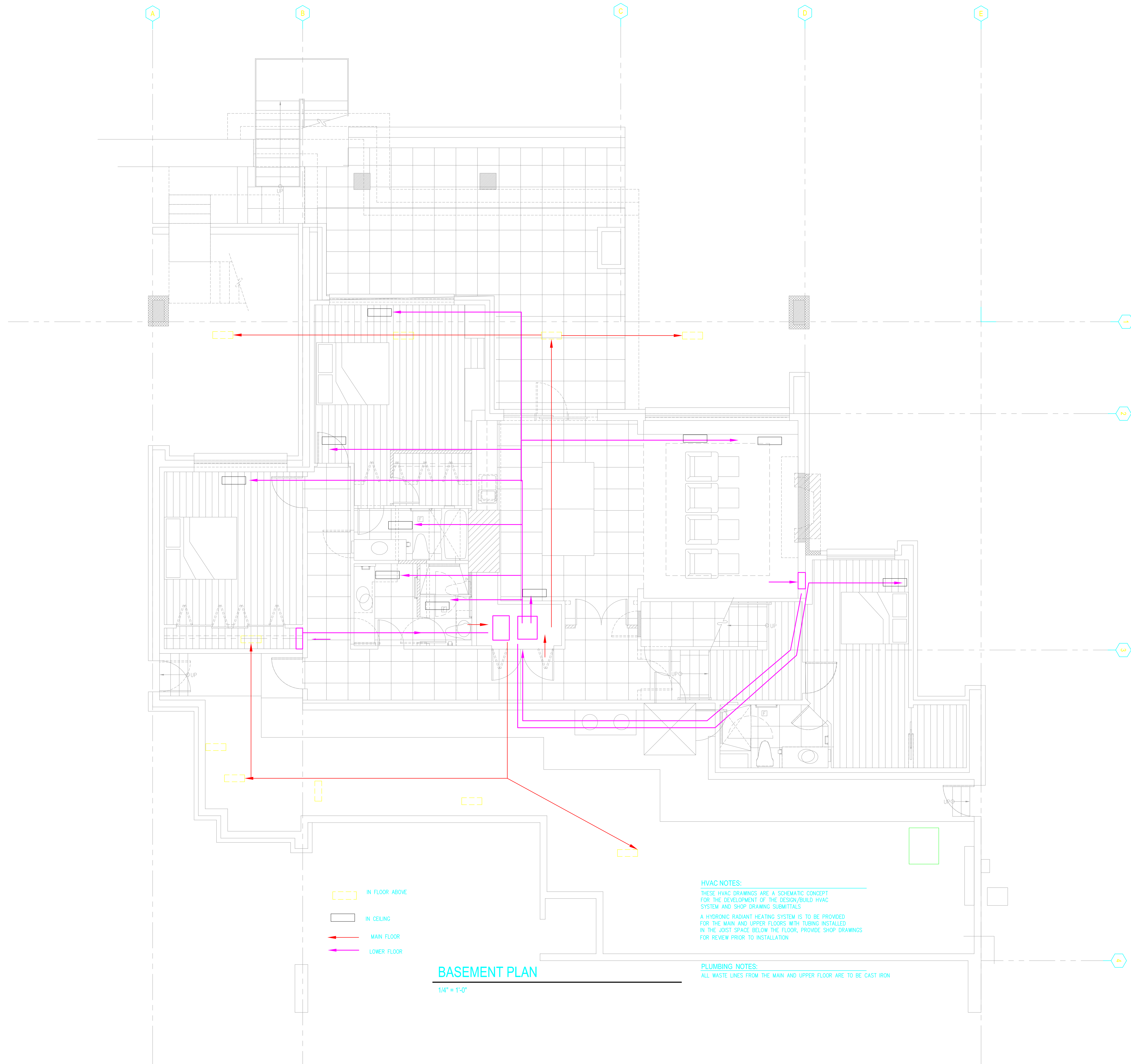


1 10/16/23 RESPONSE
9/28/23 PRICING SET

No. Date Revision

UPPER FLOOR ELECTRICAL

Sheet No. E.3
Project No. 2222
Date: 9/8/23

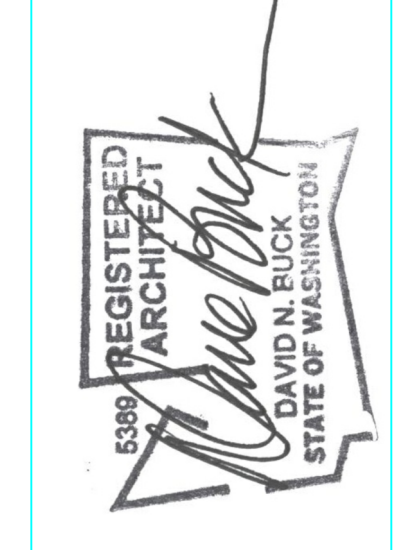


- IN FLOOR ABOVE
- IN CEILING
- MAIN FLOOR
- LOWER FLOOR

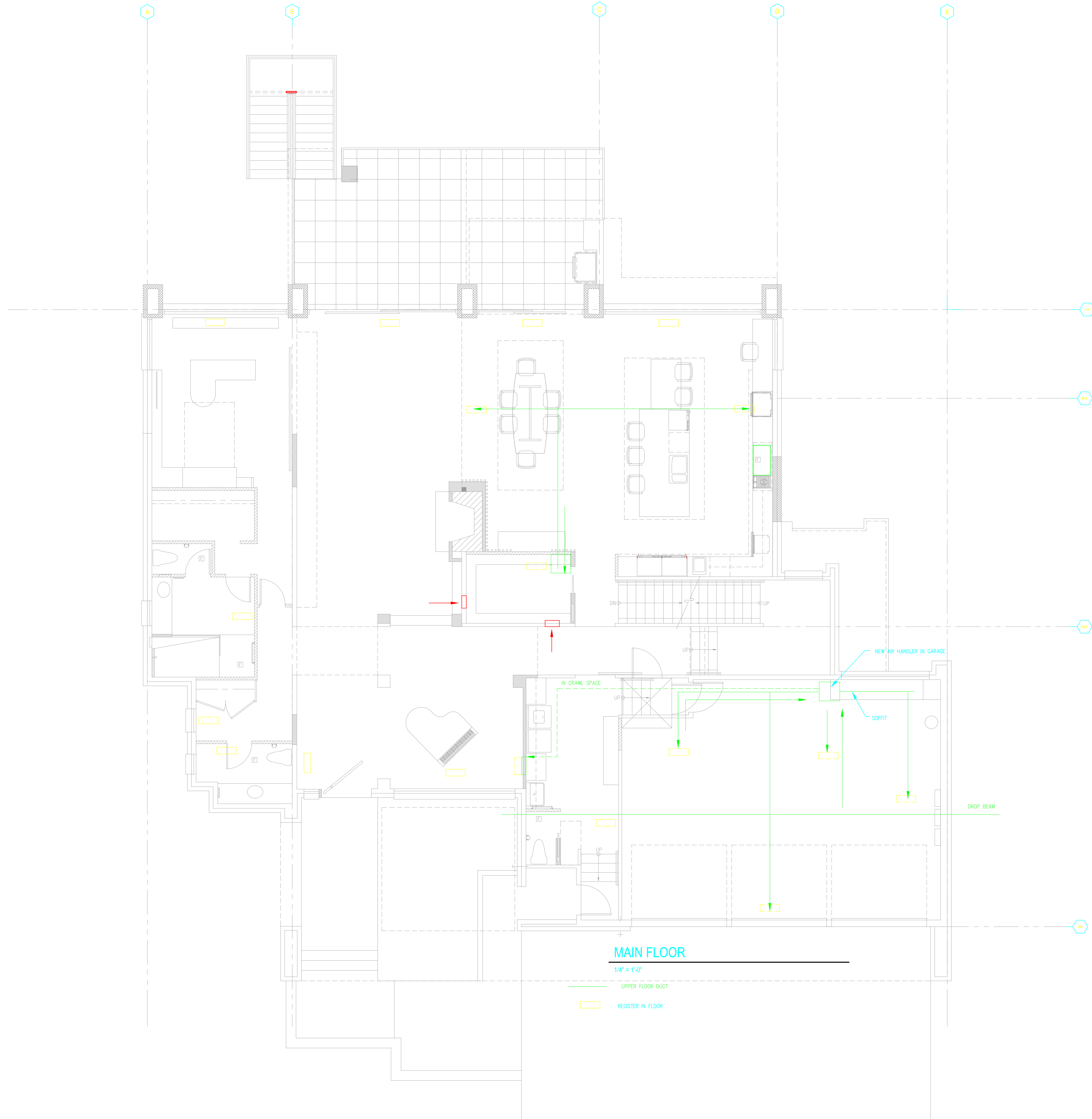
BASEMENT PLAN
1/4" = 1'-0"

HVAC NOTES:
 THESE HVAC DRAWINGS ARE A SCHEMATIC CONCEPT FOR THE DEVELOPMENT OF THE DESIGN/BUILD HVAC SYSTEM AND SHOP DRAWING SUBMITTALS
 A HYDRONIC RADIANT HEATING SYSTEM IS TO BE PROVIDED FOR THE MAIN AND UPPER FLOORS WITH TUBING INSTALLED IN THE JOIST SPACE BELOW THE FLOOR. PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO INSTALLATION

PLUMBING NOTES:
 ALL WASTE LINES FROM THE MAIN AND UPPER FLOOR ARE TO BE CAST IRON

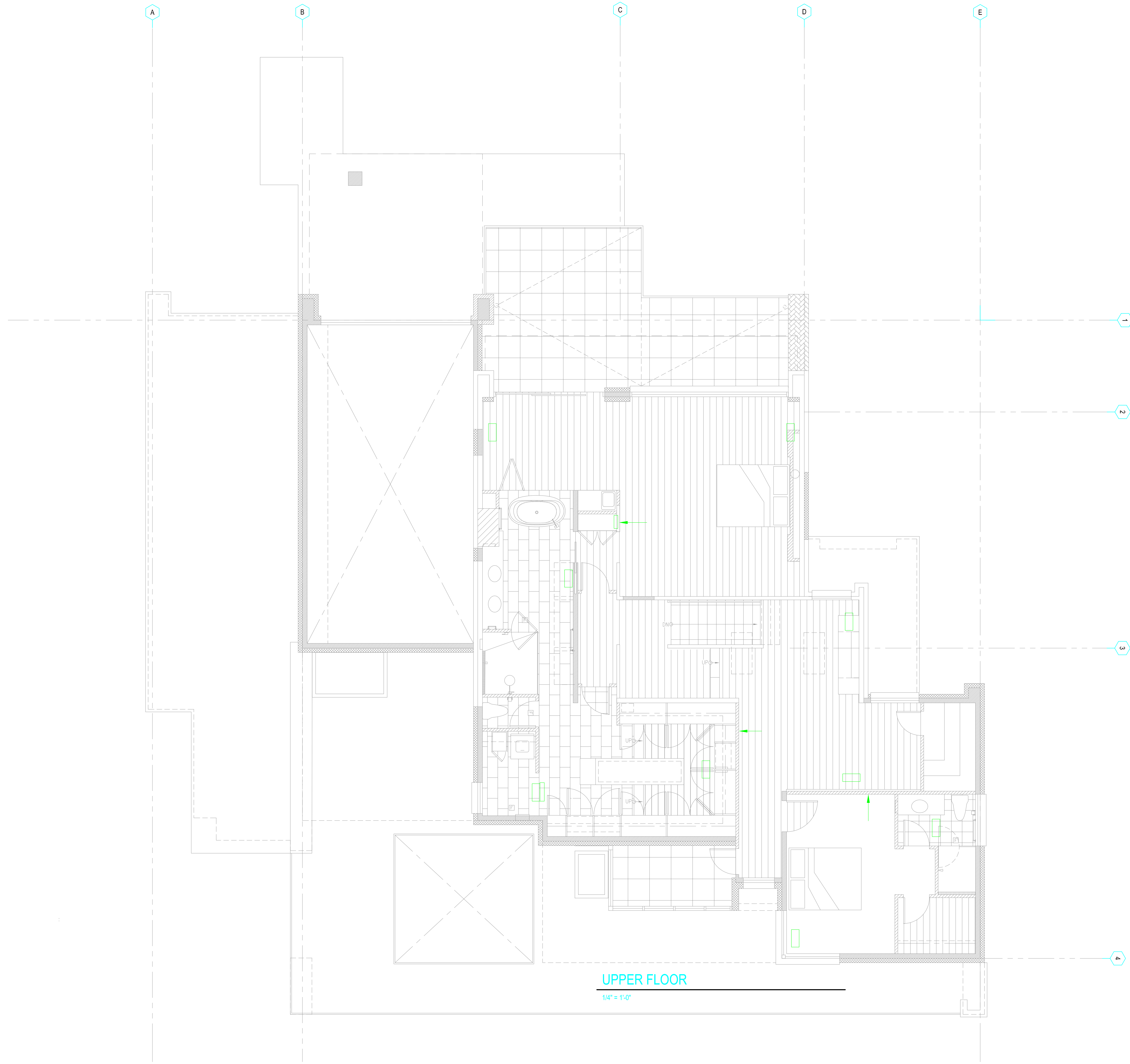


No.	Date	Revision
1	10/16/23	RESPONSE
	9/28/23	PRICING SET



No.	Date	Revision
1	10/16/23	RESPONSE
	9/28/23	PRICING SET

**MAIN FLOOR
 HVAC**



UPPER FLOOR

1/4" = 1'-0"



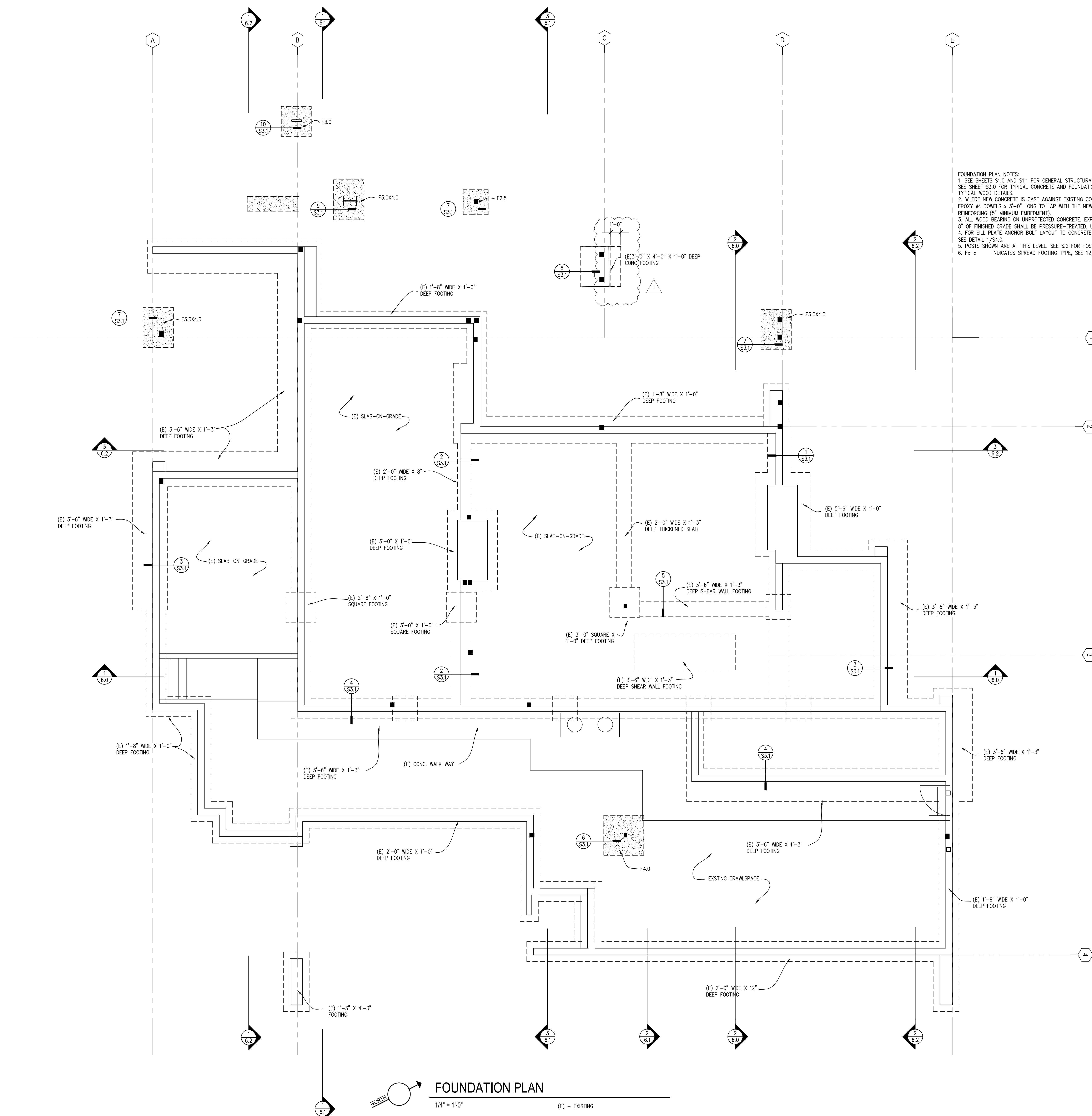
1 10/16/23 RESPONSE
 9/28/23 PRICING SET

No.	Date	Revision
1	10/16/23	RESPONSE
2	9/28/23	PRICING SET

HONG AND KAO RESIDENCE
 5425 W. MERCER WAY
 MERCER ISLAND, WA 98040

UPPER FLOOR
 HVAC

Sheet No. **M.3**
 Project No. 2222
 Date: 9/8/23



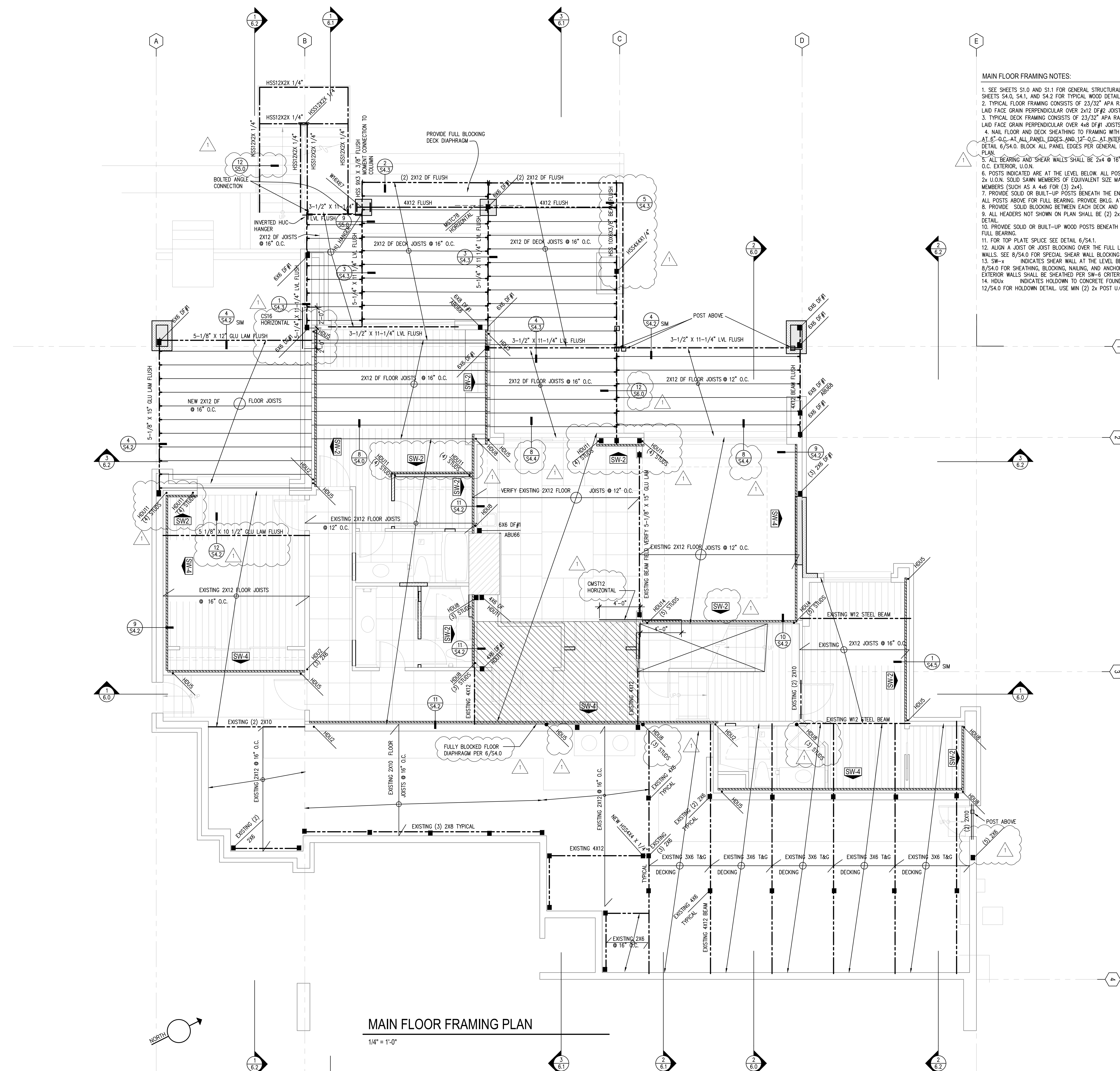
FOUNDATION PLAN NOTES:
 1. SEE SHEETS S1.0 AND S1.1 FOR GENERAL STRUCTURAL NOTES AND ABBREVIATIONS. SEE SHEET S3.0 FOR TYPICAL CONCRETE AND FOUNDATION DETAILS. SEE SHEET S4.0 FOR TYPICAL WOOD DETAILS.
 2. WHERE NEW CONCRETE IS CAST AGAINST EXISTING CONCRETE FOUNDATIONS, DRILL AND EPOXY #4 DOWELS X 3'-0" LONG TO LAP WITH THE NEW FOOTING LONGITUDINAL REINFORCING (5" MINIMUM EMBEDMENT).
 3. ALL WOOD BEARING ON UNPROTECTED CONCRETE, EXPOSED TO WEATHER, OR WITHIN 8" OF FINISHED GRADE SHALL BE PRESSURE-TREATED, U.O.N.
 4. FOR SILL PLATE ANCHOR BOLT LAYOUT TO CONCRETE FOUNDATION WALLS AND SLABS, SEE DETAIL 1/S4.0.
 5. POSTS SHOWN ARE AT THIS LEVEL. SEE S.2 FOR POST SIZES.
 6. Fx-x INDICATES SPREAD FOOTING TYPE, SEE 12/S3.0 FOR SCHEDULE.

FOUNDATION PLAN
 1/4" = 1'-0"
 (E) -- EXISTING



10/16/23 RESPONSE
 9/28/23 PRICING SET
 No. Date Revision





MAIN FLOOR FRAMING PLAN

1/4" = 1'-0"

LEGEND

	EXISTING CONSTRUCTION TO BE REMOVED
	NEW 2x6 EXTERIOR (2x4 INTERIOR) STUD WALLS @ 16" O.C.
	SHEAR WALL
	EXISTING CONSTRUCTION

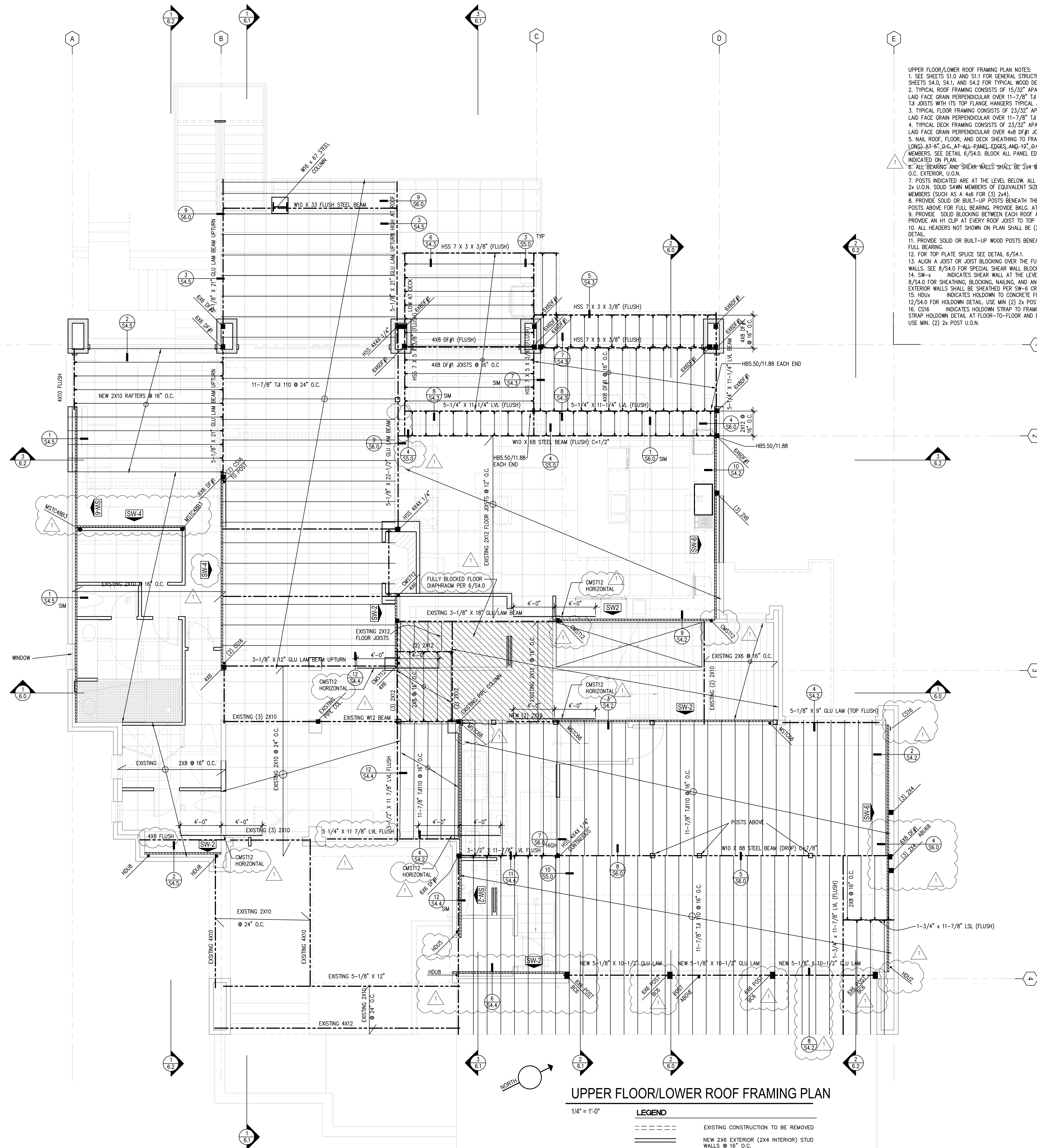
- MAIN FLOOR FRAMING NOTES:**
- SEE SHEETS S1.0 AND S1.1 FOR GENERAL STRUCTURAL NOTES AND ABBREVIATIONS. SEE SHEETS S4.0, S4.1, AND S4.2 FOR TYPICAL WOOD DETAILS.
 - TYPICAL FLOOR FRAMING CONSISTS OF 23/32" APA RATED SHEATHING (INDEX 48/24), LAID FACE GRAIN PERPENDICULAR OVER 2X12 DF#2 JOISTS @ 16" O.C., U.O.N.
 - TYPICAL DECK FRAMING CONSISTS OF 23/32" APA RATED SHEATHING (INDEX 48/24), LAID FACE GRAIN PERPENDICULAR OVER 4x8 DF#1 JOISTS @ 16" O.C., U.O.N.
 - NAIL FLOOR AND DECK SHEATHING TO FRAMING WITH 8d NAILS (0.131" x 2.5" LONG) AT 6" O.C. AT ALL PANEL EDGES AND 12" O.C. AT INTERMEDIATE FRAMING MEMBERS. SEE DETAIL 6/S4.0. BLOCK ALL PANEL EDGES PER GENERAL NOTES AT AREAS INDICATED ON PLAN.
 - ALL BEARING AND SHEAR WALLS SHALL BE 2x4 @ 16" O.C. INTERIOR AND 2x6 @ 16" O.C. EXTERIOR, U.O.N.
 - POSTS INDICATED ARE AT THE LEVEL BELOW. ALL POSTS NOT SPECIFIED SHALL BE (2) 2x U.O.N. SOLID SAWM MEMBERS OF EQUIVALENT SIZE MAY BE SUBSTITUTED FOR BUILT-UP MEMBERS (SUCH AS A 4x6 FOR (3) 2x4).
 - PROVIDE SOLID OR BUILT-UP POSTS BENEATH THE ENDS OF ALL FLOOR BEAMS AND ALL POSTS ABOVE FOR FULL BEARING. PROVIDE BKLG. AT JOISTS PER DETAIL 7/S4.1.
 - PROVIDE SOLID BLOCKING BETWEEN EACH DECK AND FLOOR JOIST AT SUPPORTS.
 - ALL HEADERS NOT SHOWN ON PLAN SHALL BE (2) 2x10. SEE 10/S4.1 FOR HEADER DETAIL.
 - PROVIDE SOLID OR BUILT-UP WOOD POSTS BENEATH THE ENDS OF ALL BEAMS FOR FULL BEARING.
 - FOR TOP PLATE SPURCE SEE DETAIL 6/S4.1.
 - ALIGN A JOIST OR JOIST BLOCKING OVER THE FULL LENGTH OF ALL BEARING/SHEAR WALLS. SEE 8/S4.0 FOR SPECIAL SHEAR WALL BLOCKING REQUIREMENTS.
 - SW-x INDICATES SHEAR WALL AT THE LEVEL BELOW. SEE SHEAR WALL SCHEDULE 8/S4.0 FOR SHEATHING, BLOCKING, NAILING, AND ANCHOR BOLT REQUIREMENTS. ALL EXTERIOR WALLS SHALL BE SHEATHED PER SW-6 CRITERIA, U.O.N.
 - HDUX INDICATES HOLDDOWN TO CONCRETE FOUNDATION WALLS OR FOOTINGS. SEE 12/S4.0 FOR HOLDDOWN DETAIL. USE MIN (2) 2x POST U.O.N.



10/16/23 RESPONSE
 9/28/23 PRICING SET
 No. Date Revision



MAIN FLOOR FRAMING PLAN



- UPPER FLOOR/LOWER ROOF FRAMING PLAN NOTES:
- SEE SHEETS S1.0 AND S1.1 FOR GENERAL STRUCTURAL NOTES AND ABBREVIATIONS. SEE SHEETS S4.0, S4.1, AND S4.2 FOR TYPICAL WOOD DETAILS.
 - TYPICAL ROOF FRAMING CONSISTS OF 15/32" APA RATED SHEATHING (INDEX 32/12), LAID FACE GRAIN PERPENDICULAR OVER 11-7/8" TJI 110 JOISTS @ 24" O.C., U.O.N. HANG TJI JOISTS WITH ITS TOP FLANGE HANGERS TYPICAL AT FLUSH BEAMS, U.O.N.
 - TYPICAL FLOOR FRAMING CONSISTS OF 23/32" APA RATED SHEATHING (INDEX 48/24), LAID FACE GRAIN PERPENDICULAR OVER 11-7/8" TJI 110 JOISTS @ 16" O.C., U.O.N.
 - TYPICAL BECK FRAMING CONSISTS OF 23/32" APA RATED SHEATHING (INDEX 48/24), LAID FACE GRAIN PERPENDICULAR OVER 4x8 DF#1 JOISTS @ 16" O.C., U.O.N.
 - NAIL ROOF, FLOOR, AND DECK SHEATHING TO FRAMING WITH 8d NAILS (0.131" Ø x 2.5" LONG) AT 6" O.C. AT ALL PANEL EDGES AND 12" O.C. AT INTERMEDIATE FRAMING MEMBERS. SEE DETAIL 6/S4.0. BLOCK ALL PANEL EDGES PER GENERAL NOTES AT AREAS INDICATED ON PLAN.
 - ALL BEARING AND SHEAR WALLS SHALL BE 2x4 @ 16" O.C. INTERIOR AND 2x6 @ 16" O.C. EXTERIOR, U.O.N.
 - POSTS INDICATED ARE AT THE LEVEL BELOW. ALL POSTS NOT SPECIFIED SHALL BE (2) 2x U.O.N. SOLID SAWM MEMBERS OF EQUIVALENT SIZE MAY BE SUBSTITUTED FOR BUILT-UP MEMBERS (SUCH AS A 4x6 FOR (3) 2x4).
 - PROVIDE SOLID OR BUILT-UP POSTS BENEATH THE ENDS OF ALL FLOOR BEAMS AND ALL POSTS ABOVE FOR FULL BEARING. PROVIDE BKG. AT JOISTS PER DETAIL 7/S4.1.
 - PROVIDE SOLID BLOCKING BETWEEN EACH ROOF AND FLOOR JOIST AT SUPPORTS. PROVIDE AN H1 CLIP AT EVERY ROOF JOIST TO TOP PLATE.
 - ALL HEADERS NOT SHOWN ON PLAN SHALL BE (2) 2x10. SEE 10/S4.1 FOR HEADER DETAIL.
 - PROVIDE SOLID OR BUILT-UP WOOD POSTS BENEATH THE ENDS OF ALL BEAMS FOR FULL BEARING.
 - FOR TOP PLATE SPICE SEE DETAIL 6/S4.1.
 - ALIGN A JOIST OR JOIST BLOCKING OVER THE FULL LENGTH OF ALL BEARING/SHEAR WALLS. SEE 8/S4.0 FOR SPECIAL SHEAR WALL BLOCKING REQUIREMENTS.
 - SW-4 INDICATES SHEAR WALL AT THE LEVEL BELOW. SEE SHEAR WALL SCHEDULE 8/S4.0 FOR SHEATHING, BLOCKING, NAILING, AND ANCHOR BOLT REQUIREMENTS. ALL EXTERIOR WALLS SHALL BE SHEATHED PER SW-6 CRITERIA, U.O.N.
 - HDUB INDICATES HOLDOWN TO CONCRETE FOUNDATION WALLS OR FOOTINGS. SEE 12/S4.0 FOR HOLDOWN DETAIL. USE MIN (2) 2x POST U.O.N.
 - CS16 INDICATES HOLDOWN STRAP TO FRAMING BELOW WALL. SEE 10/S4.0 FOR STRAP HOLDOWN DETAIL AT FLOOR-TO-FLOOR AND BEAM SUPPORTING SHEAR WALL END. USE MIN. (2) 2x POST U.O.N.

UPPER FLOOR/LOWER ROOF FRAMING PLAN

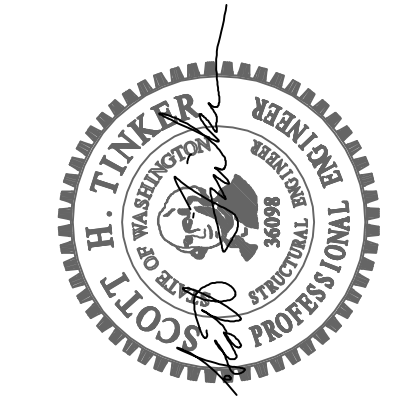
1/4" = 1'-0"

LEGEND

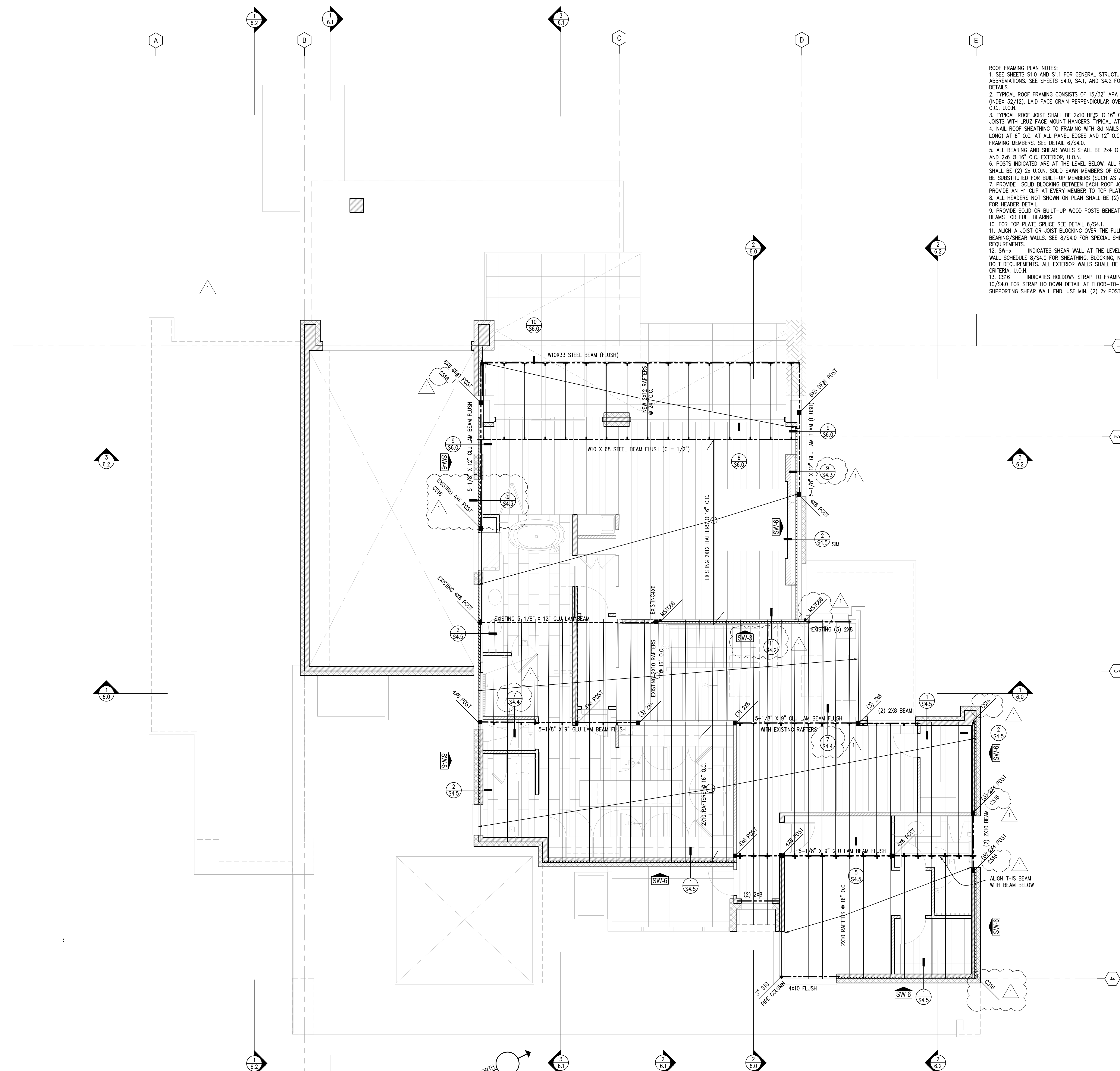
---	EXISTING CONSTRUCTION TO BE REMOVED
---	NEW 2x6 EXTERIOR (2x4 INTERIOR) STUD WALLS @ 16" O.C.
---	SHEAR WALL
---	EXISTING CONSTRUCTION



10/16/23 RESPONSE
9/28/23 PRICING SET



UPPER FLOOR FRAMING PLAN



- ROOF FRAMING PLAN NOTES:
- SEE SHEETS S1.0 AND S1.1 FOR GENERAL STRUCTURAL NOTES AND ABBREVIATIONS. SEE SHEETS S4.0, S4.1, AND S4.2 FOR TYPICAL WOOD DETAILS.
 - TYPICAL ROOF FRAMING CONSISTS OF 15/32" APA RATED SHEATHING (INDEX 32/12), LAID FACE GRAIN PERPENDICULAR OVER 2x FRAMING @ 16" O.C., U.O.N.
 - TYPICAL ROOF JOIST SHALL BE 2x10 HF#2 @ 16" O.C., U.O.N. HANG JOISTS WITH LRUZ FACE MOUNT HANGERS TYPICAL AT FLUSH BEAMS.
 - NAIL ROOF SHEATHING TO FRAMING WITH 8d NAILS (0.131" Ø x 2.5" LONG) AT 8" O.C. AT ALL PANEL EDGES AND 12" O.C. AT INTERMEDIATE FRAMING MEMBERS. SEE DETAIL 6/S4.0.
 - ALL BEARING AND SHEAR WALLS SHALL BE 2x4 @ 16" O.C. INTERIOR AND 2x6 @ 16" O.C. EXTERIOR, U.O.N.
 - POSTS INDICATED ARE AT THE LEVEL BELOW. ALL POSTS NOT SPECIFIED SHALL BE (2) 2x U.O.N. SOLID SAWN MEMBERS OF EQUIVALENT SIZE MAY BE SUBSTITUTED FOR BUILT-UP MEMBERS (SUCH AS A 4x6 FOR (3) 2x4).
 - PROVIDE SOLID BLOCKING BETWEEN EACH ROOF JOIST AT SUPPORTS. PROVIDE AN HI CLIP AT EVERY MEMBER TO TOP PLATE.
 - ALL HEADERS NOT SHOWN ON PLAN SHALL BE (2) 2x10. SEE 10/S4.1 FOR HEADER DETAIL.
 - PROVIDE SOLID OR BUILT-UP WOOD POSTS BENEATH THE ENDS OF ALL BEAMS FOR FULL BEARING.
 - FOR TOP PLATE SPLICE SEE DETAIL 6/S4.1.
 - ALIGN A JOIST OR JOIST BLOCKING OVER THE FULL LENGTH OF ALL BEARING/SHEAR WALLS. SEE 8/S4.0 FOR SPECIAL SHEAR WALL BLOCKING REQUIREMENTS.
 - SW-x INDICATES SHEAR WALL AT THE LEVEL BELOW. SEE SHEAR WALL SCHEDULE 8/S4.0 FOR SHEATHING, BLOCKING, NAILING, AND ANCHOR BOLT REQUIREMENTS. ALL EXTERIOR WALLS SHALL BE SHEATHED PER SW-6 CRITERIA, U.O.N.
 - CS16 INDICATES HOLDOWN STRAP TO FRAMING BELOW WALL. SEE 10/S4.0 FOR STRAP HOLDOWN DETAIL AT FLOOR-TO-FLOOR AND BEAM SUPPORTING SHEAR WALL END. USE MIN. (2) 2x POST U.O.N.

ROOF FRAMING PLAN

1/4" = 1'-0"

LEGEND

---	EXISTING CONSTRUCTION TO BE REMOVED
---	NEW 2x6 EXTERIOR (2x4 INTERIOR) STUD WALLS @ 16" O.C.
---	SHEAR WALL
---	EXISTING CONSTRUCTION



10/16/23 RESPONSE
 9/28/23 PRICING SET
 No. Date Revision



ROOF FRAMING PLAN

Sheet No. **S.4**
 Project No. 2222
 Date: 9/8/23

