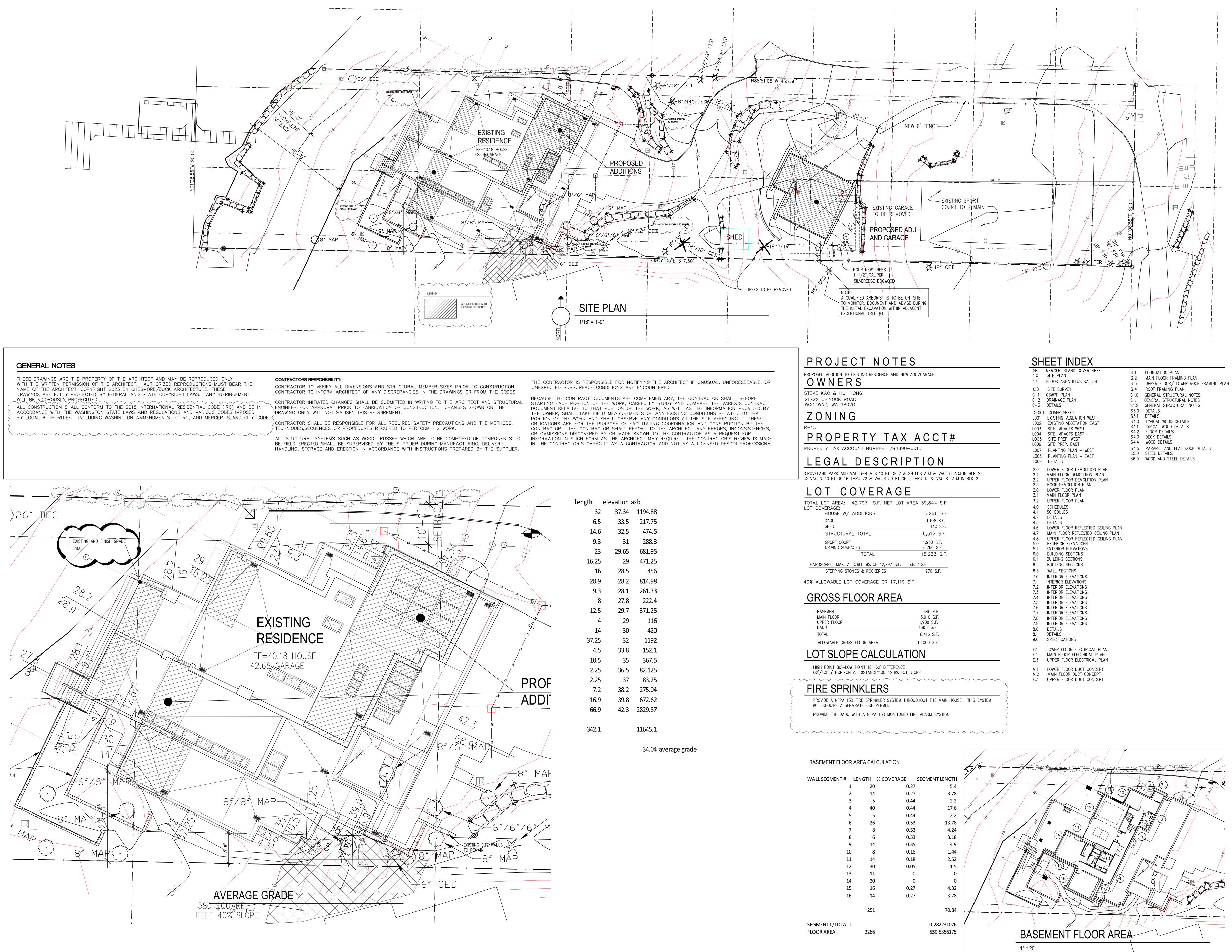


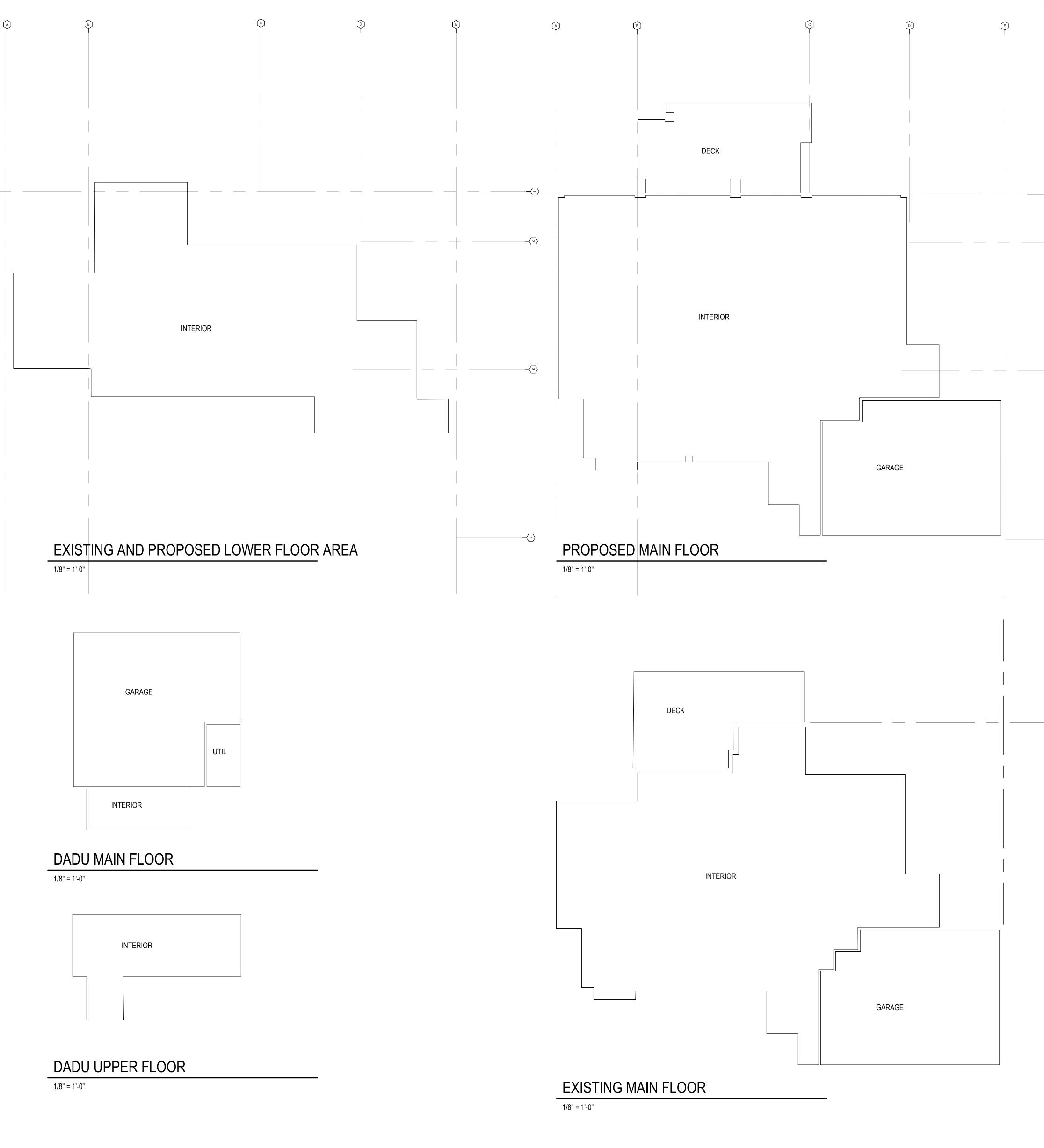


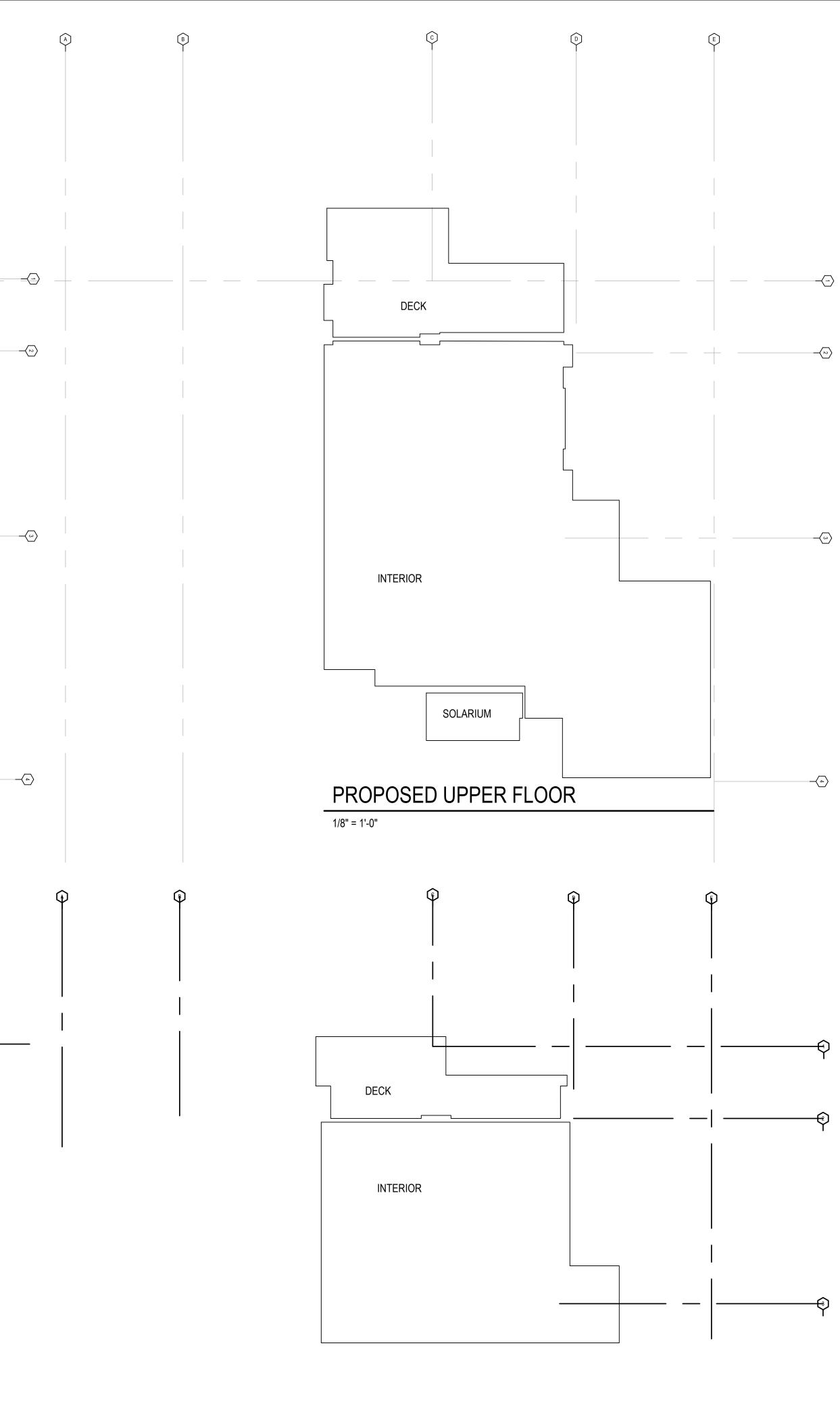
	INSPECTION REQUESTS:		ISTRUCTION INSPECTIONS:	
Community Planning & Development	online:		oonsibility to contact DSG to schedule ALL inspections appropriate for the project. Request inspections online at t.com or by calling the Inspection Hotline at (206) 275-7730. Allow at least 24 hours (48 hours for Reinforcing steel)	
9611 SE 36TH STREET MERCER ISLAND, WA 98040	MyBuildingPermit.com	Refer to "Conditions of Permit Approval" provided at permit issuance for required construction rules and regulations, including:	nspection. Be specific as to type of inspection.	
PHONE: 206.275.7605 www.mercerisland.gov	voicemail:		and date appropriate inspection <i>only</i> if approved. Note: <i>Items marked with an "*" require a separate permit.</i> It is the ility to apply for and obtain all City of Mercer Island permits.	
MlePlan	(206) 275-7730	• Construction Vehicle Parking Restrictions • Sewer Requirements • Noise Abatement Certification d INSPECTIONS: (Listed i		
Hasting to		 Acess Road Requirements Water Service Requirements Tree Requirements Tree Requirements Ap Ap<td>Pre-construction Meeting to Review Conditions of Permit Approval.</td><td></td>	Pre-construction Meeting to Review Conditions of Permit Approval.	
NOTE: ALL RECORDS AND DRAWINGS ARE SUBJECT TO PUBLIC DISCLOSURE AS REQ	UIRED BY RCW 42.56		Tree protection Erosion control	bei
CONTACT INFORMATION:		prior to the start of any site work.	Sewer disconnect and cap. If applicable, separate side-sewer permit required	
Applicant is to complete the following information.Applicant Contact information prior to permit issuance:Applicant Contact information	ation <i>post</i> permit issuance:	▲ A City of Mercer Island Business License is required for all subcontractors. Call (206) 275-7783 for more information.	Right-of-way use or work / easement, material delivery, etc. If applicable, separate ROW permit required	>
			Land clearing, grading and demolition Temporary power	Deen
Name: Name:			Pilings / Shoring / Shotcrete. If applicable, provide survey letter	An ave h
Address: Address:		 No trees shall be cut without a City of Mercer Island tree permit. Replacement trees must be a minimum of six feet tall at installation. They must be planted and approved prior to final inspection. 	(property line); Geotechnical Engineer / Special Inspector reports of inspections (pile and shoring installation, etc.)	U P bd.
Phone: Phone:		For this project, trees are authorized to be removed and replaced with trees.	Footings, setbacks, UFER ground. If applicable, provide survey letter	
Email: Email:		This project appears to be within a protected eagle nest area. Contact Federal Fish and Wildlife at (360) 534-9304 or visit their website at http://www.fws.gov/pacific/eagle	(building height and setbacks); Special Inspector reports of inspections (soil bearing capacity, compaction, earthwork, pile installation, etc.)	0 nspe l app
	_		Foundation walls / concrete columns	OF red i l anc
REQUIRED SPECIAL INSPECTIONS / STRUCTURAL OBSERVATION		Concrete Dermits are required for ALL fire protection systems. For mare information, see http://www.manager.org/Dece.com/Neu/D=2014	Roof and footing drains Foundation damproofing	equi
It is the Engineer of Record's responsibility to specify all required Special Inspections or Structural The owner is responsible for hiring an approved private Special Inspector for the checked inspect		Fire Sprinkler	Storm drainage, including (but not limited to): • Connections to storm • Area drains	AT all r
Inspectors (except Geotechnical) must be WABO certified.	City Duilding Increastor prior to the City	Plus Monitored Sprinkler	main in ROW • Conveyance piping / cleanouts	FIC p
When Special Inspection or Structural Observation is required, the report shall be submitted to the C Inspection. Note: Inspection by the City Inspector is required in addition to the Special Inspection of		NFPA 13R Water Flow Alarm NFPA 13 Other:	Detention systems • Storm drain in ROW • Infiltration systems • Control structures / manholes	led a
below. Do not cover or conceal any work prior to the City inspection.		Approved Fire Code Alternatives:	Catch basins including Pump systems	Issu provec
STRUCTURAL OBSERVATION BY ENGINEER OF RECORD (EOR):		□ FCA1 □ FCA3	oil-water separator tees • Retaining wall drainage Water Service	
Engineer of Record: Company:	Phone:	FCA2 FCA4	Water Supply	
General Conformance to Construction Documents Other: Other:			Water as-built drawings Side sewer installation, including (but not limited to):	
SOILS / GEOTECHNICAL: Special Inspector: Company:	Phone:	Fire sprinkler design calculations must be provided prior to determining water supply system requirements.	Connections to side Sewer main Grinder pump systems Sewer main	
Erosion control measures Subsurface drainage place		Water Supply system upgrade required	Connections to existing Sewer manholes	
 Shoring installation and monitoring Observe and monitor excavation Rockery installation 	ompaction	City Installation.	_side sewer Driveway / Access road	
Verification of soil bearing Pile placement (auger ca	ast/driven pile)	Required Service Line Size: Required Supply Line Size: Required Meter Size:	Underslab electrical / mechanical / plumbing	
Other: Other:			Underslab insulation / vapor barrier / reinforcing Underfloor framing	
REINFORCED CONCRETE: Special Inspector: Company:	Phone:		Nailing-Roof sheathing. If applicable, provide Special Inspection	
Concrete strength Retaining wall construct		 Reduced pressure backflow assembly (RPBA) required for all lots with waterfront or non-city water supply (private wells or lake irrigation). 	letter for lateral wood inspection. Nailing-Exterior wall and Shearwall. If applicable, provide Special	
 Reinforcing steel and concrete placement Shotcrete placement Other: 	nstruction	Additional water supply requirements:	Inspection letter for lateral wood inspection. Rough hydronic installation	
Other: Other:			Rough electric installation	
STRUCTURAL STEEL: (AISC 360, Chapter N)			Rough fire alarm (wiring inspection) Rough plumbing installation (DWV, water)	
Special Inspector: Company:	Phone:	S As-built Utility drawings required.	Rough mechanical	
 Fabrication and shop welds Structural steel erection, field welds and bolting Other: 	ction		Gas Piping Rough fire sprinkler / hydrostatic and flow (bucket) test	
Other: Other:		Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowest plumbing fixture is	Framing and glazing. If applicable, provide Special Inspection letter for lateral wood inspection, welding epoxy anchors, etc.	
STRUCTURAL MASONRY:		lower than the elevation of the upstream manhole rim or when side sewer is shared with one or more properties.	Masonry construction (fireplace / walls / veneer / etc.)	
Special Inspector: Company: Mortar strength Glass unit masonry insta	Phone:		Insulation installation Stucco (paper and lath)	
Masonry unit strength Wall panel and veneer in Wall panel and veneer in		□ Other:	Shower pan (or tub)	
Other: Other: Other: Other:			Miscellaneous Code Alternative CA1:	
WOOD:			Code Alternative CA2: Impact Fees Paid (If applicable)	
Special Inspector /	Dhanas	Code alternatives must be Inspected. Refer to the Inspection Checklist		
Engineer of Record: Company: Company: Lateral resisting system construction	Phone: n construction		Final Inspection: Tree Restoration	
Other: Other:			Sprinkler Fuel Tank Installation	
OTHER SPECIAL INSPECTIONS:		SURVEY REOLIBEMENTS (The following survey information must be submitted when shealed)	Access Road Fire Extinguishing System Fire Code Alternatives (see below) Fire Alarm System	
Special Inspector: Company: Epoxy grout installations Stucco installation	Phone:	SURVEY REQUIREMENTS (The following survey information must be submitted when checked): Surveyor shall verify points chosen for height calculations and point verification shall be submitted at the time of City foundation	□ FCA1: □ FCA3: □ FCA2: □ FCA4:	
Expansion anchor installations Infiltration System		Inspection. A property survey may be required to verify setbacks and in some cases buildings must be surveyed onto the lot. The City	Final Inspection: Water supply protection, including (but not limited to)	
 Other post installed anchors Alternative construction methods: Other: 	h System (EIFS) installation	reserves the right to request an impervious area survey at any time prior to issuance of Certificate of Occupancy. Surveyor: Phone:	backflow devices for: • Waterfront property • Well water on property	г г <u>s</u>
Alternative construction materials: Other:		Building height survey	Fire / lawn sprinkler Boiler	
DEFERRED SUBMITTALS:		Impervious surface survey	Final Inspection: Site and utility: includes landscape, utilities and ROW. Site	
The Applicant is required to select all deferred submittals / shop drawings for submittal to the Cit fabrication / construction.	ty for review and approval prior to item	Other:	Final Inspection: Building, including electrical / mechanical / plumbing. If TB applicable, provide closeout (summary) letters from Engineer, Special	
Connector plate wood trusses Post tension layout		A Building Inspection prior to demolition is required for all legally nonconforming single family dwelling to ensure no more than	Inspectors, Geotechnical Engineer, and exterior wall cladding inspectors (EIFS).	Z Z Z
 Metal joist / metal trusses Premanufactured structures (stairs, etc.) Window wall / curtain w 	vall construction	40 percent of the dwelling's exterior walls are structurally altered. Contact the Building Inspector at (206) 275-7730.	RARY CERTIFICATE OF OCCUPANCY (TCO):	
Precast concrete elements Other:		GEOTECHNICAL INFORMATION:	ional fees will be required and must be approved prior to occupancy. TCO requires tree plantings be completed.	MES
		Land clearing, grading, filling and foundation work within geologic hazard areas is NOT PERMITTED between October 1 and April 1		BE K
ENERGY CODE COMPLIANCE INFORMATION: Indicate where the following information is located in the drawing set. Alternatively, incorporate	or include the Residential Energy Code	without an approved Seasonal Development Limitation Waiver. Approved Approved	Start Date End Date	
Prescriptive Compliance (RECPC) Form into the drawing set.			EQUIRED CITY INSPECTIONS:	
Sheet:			ntact to arrange the inspection. Contact: Phone: Scheduling:	GS M DE C
Building envelope: WSEC Table 402.1.1		SEASONAL DEVELOPMENT LIMITATION RESTRICTION:		
	test report verifying air leakage rate 5 air changes per hour.	Applies (Geologic Hazard area). Grading not permitted between October 1 through April 1.		
(include ventilation option and duct sizing if applicable) Duct Leakage Testing. ws	SEC R403.2.2	Limitation Waiver Permit.		
 Energy Credit Information: wsec Table 406.2 (include specific, written requirements) Rough-in Test. wsec R403.2.2.3 		Permit number Approved by Date Date Date	PLAN REVIEW APPROVALS:	
RECPC Form Information:		O If applicable.	Not all review disciplines may be required to review the documents.	HE S
(if incorporated within drawing set) http://www.mercergov.org/files/2012ResidentialEnergyCalcForm.pdf		Impact fees ap	oply and are due prior to Final Inspection or on	PR(
			, whichever occurs first.	AP 0
FILE NAME: CPD CVR 24x36.PDF			REVISED: JULY 2019	



ngth	elevation	axb				
32	37.34	1194.88				
6.5	33.5	217.75				
14.6	32.5	474.5				
9.3	31	288.3				
23	29.65	681.95				
16.25	29	471.25				
16	28.5	456				
28.9	28.2	814.98				
9.3	28.1	261.33				
8	27.8	222.4				
12.5	29.7	371.25				
4	29	116				
14	30	420				
37.25	32	1192				
4.5	33.8	152.1				
10.5	35	367.5				
2.25	36.5	82.125				
2.25	37	83.25				
7.2	38.2	275.04				
16.9	39.8	672.62				
66.9	42.3	2829.87				
342.1		11645.1				

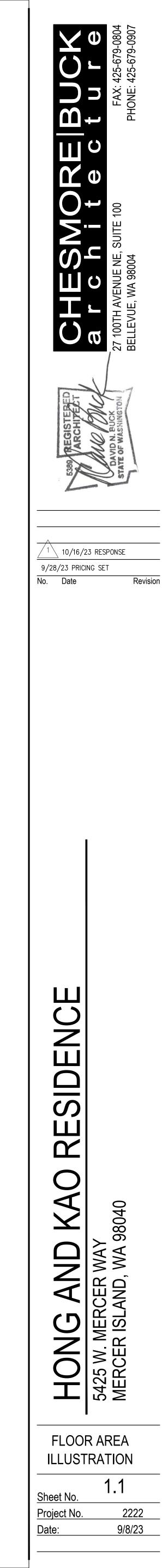






EXISTING UPPER FLOOR

1/8" = 1'-0"



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8. UNDERGROUND UTILITIES SHOWN HEREON ARE PER A COMBINATION OF FIELD LOCATED SURFACE OBSERVABLE FEATURES AND RECORDS OF THE APPLICABLE UTILITIES AND SHOULD BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION.

9. THE PURPOSE OF THIS EXHIBIT IS TO SHOW THE BOUNDARY AND EXISTING CONDITIONS ON THE SUBJECT PROPERTY.

LEGEND	
FOUND MONUMENT IN CASE	¢
BENCHMARK	o ^{TV}
SECTION CORNER	
QUARTER CORNER	50 SD SD
MEASURED	-00
CALCULATED	OO
WATER VALVE	$\bigcirc \bigcirc $
FIRE HYDRANT	M
WATER METER	
IRRIGATION CONTROL VALVE	(\cdot)
WATER RISER	
CATCH BASIN	
AREA DRAIN	
POWER VAULT	
GENERATOR	
JUNCTION BOX	

P

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 \boxtimes

LIGHT POST
CABLE TV RISER
ROCKERY
GAS METER
STORM LINE
WOOD FENCE (WF)
CHAIN LINK FENCE (CLF)
HEDGE LINE
EVERGREEN TREE
DECIDUOUS TREE
CONCRETE
ASPHALT
GRAVEL
PAVERS

WASHINGTON STATE REFERENCE NETWORK. 2. BASIS OF POSITION: HELD THE FOUND MONUMENTED INTERSECTION OF VACATED BONNEY STREET

PAGE 36, RECORDS OF KING COUNTY, WA.

COUNTY, WA.

COUNTY, WA.

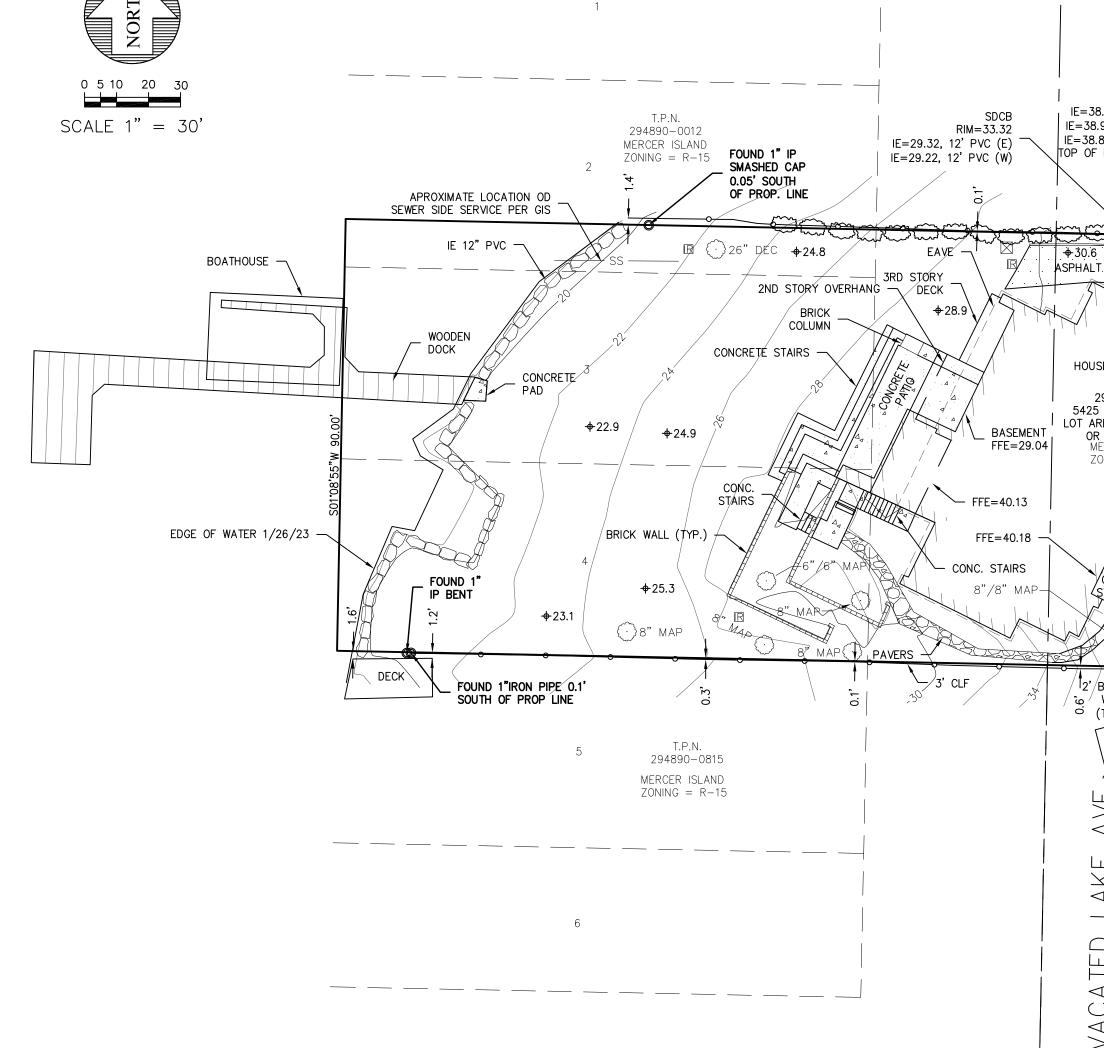
RANGE 04E, W.M.

COMPLIANCE WITH WAC 332-130.

POSITIONING USER SERVICE (OPUS).

OF A SURVEY BY ENCOMPASS, COMPLETED IN JANUARY 2023.

SURVEY NOTES: 1. HORIZONTAL DATUM: NAD83-2011 EPOCH 2010.00 ESTABLISHED BY OBSERVATIONS TO THE



STEVE KAO & HUI HONG TOPOGRAPHIC SURVEY

A PORTION OF THE SE 1/4 OF THE NE 1/4 OF SEC. 24, TWP 24 N., RGE 4 E., W.M. KING COUNTY, STATE OF WASHINGTON

VACATED BORDER STREET SDCB RIM=41.89 SITE BM #1 IE=38.99, 8" CMP (S) SET MAG NAÏL 17' DRIVEWAY EASEMENT T.P.N. IE=38.99, 12" CMP (E) ELEVATION=42.23 REC. NO. 20030828003801 294890-0011 IE=38.89, 12" CMP (W) MERCER ISLAND TOP OF RISER EL=40.39 ZONING = R-153'CLF FOUND REBAR + 53.3 · & ŞMASHED/ CAP ₩6"/12" CED ₩ N8B 51'05"W 465,56 +35.1 \$67. ASPHALT \$63.1 **.♦**42.4 FFE=35.77 R GARAGE HOUSE FFE=42.40 T.P.N. \$56.6 294890-0015 5425 W MERCER WAY LOT AREA=41,900 SQ FT SDCB OR 0.962 ACRES MERCER ISLAND VDCCC. [°] RIM=42.07 / E=40.97, 6" ADS (S) E=40.77, 8" CMP (N) ZONING = R-15R FFE=42.51 CONCRETE 2X IRRIGATION CONTROL VALVES –∖ GRAVEI ASPHALT SPORTS COURT CONCRETE \$48.7 GARAGÉ FAVE FFE=60.08 SHED FFE= 49.83 2'/BRI¢K ₩12" CED ∕ WÁLL —∕ (TYP) HOUSE T.P.N. 294890-0026 5435 W MERCER WAY \triangleleft MERCER ISLAND ZONING = R - 15 \triangleleft (

VACATED BONNEY STREET

AND VACATED LAKE AVE. (SEE MAP FOR LOCATION AND DESCRIPTION).

3. BASIS OF BEARING: HELD THE BEARING OF S 88'51'05" E, PER DIRECT INVERSE, BETWEEN THE ABOVE NOTED BASIS OF POSITION AND FOUND MONUMENTED INTERSECTION OF VACATED BONNEY STREET AND WEST MERCER WAY (SEE MAP FOR LOCATION AND DESCRIPTION).

4. THE FOLLOWING INFORMATION WAS REFERENCED IN PREPARING THE BOUNDARY SHOWN HERE ON:

A) GROVELAND PARK, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 8 OF PLATS,

B)RECORD OF SURVEY AS RECORDED IN VOLUME 23 OF SURVEYS, PAGE 100, RECORDS OF KING

C)RECORD OF SURVEY AS RECORDED IN VOLUME 440 OF SURVEYS, PAGE 145, RECORDS OF KING

D)KING COUNTY ASSESSOR'S MAP FOR THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 24N,

5. VERTICAL DATUM: NAVD88 (ESTABLISHED PER WSRN NETWORK OBSERVATION ON SITE BM#1) SITE BM #1: SET MAG NAIL 0.8 FEET SOUTH OF THE NORTH EDGE OF DRIVE, 3.8 FEET EAST OF

THE END OF CURB. ELEVATION =42.23 FEET. (SEE MAP FOR LOCATION) 6. TRAVERSING AND DATA COLLECTION WERE PERFORMED USING A SPECTRA AND/OR TRIMBLE 5 SECOND TOTAL STATION. ALL FIELD WORK WAS PERFORMED, AND EQUIPMENT MAINTAINED, IN

ADDITIONAL FIELD WORK WAS PERFORMED USING SPECTRA SP-80 GNSS POSITIONING SYSTEMS, THE WASHINGTON STATE REFERENCE NETWORK, AND/OR THE NATIONAL GEODETIC SURVEY'S ONLINE

7. MONUMENTS SHOWN AS FOUND AND PLANIMETRIC INFORMATION SHOWN HEREON ARE THE RESULT

THAT PORTION OF VACATED BLOCKS 2 AND 22 OF GROVELAND PARK, AS PER PLAT RECORDED IN VOLUME 8 OF PLATS, PAGE 36, RECORDS OF KING COUNTY AUDITOR, AND OF VACATED STREETS ADJOINING, DESCRIBED AS FOLLOWS; BEGINNING AT THE INTERSECTION OF THE CENTER LINES OF VACATED LAKE AVENUE AND VACATED BONNEY STREET AS SHOWN ON SAID PLAT, SAID POINT BEING MARKED BY A CONCRETE POST; THENCE NORTH ALONG THE CENTER LINE OF SAID VACATED LAKE AVENUE 100 FEET TO THE TRUE POINT OF BEGINNING; THENCE EAST PARALLEL WITH THE CENTER LINE OF VACATED BONNEY STREET, 317.50 FEET TO THE EAST LINE OF LOT 22 OF SAID BLOCK 2: THENCE NORTH ALONG SAID EAST LINE AND THE EAST LINE OF LOT 9 OF SAID 2, A DISTANCE OF 90 FEET;

THENCE WEST PARALLEL WITH THE CENTER LINE OF SAID VACATED BONNEY STREET TO THE SHORELINE OF LAKE WASHINGTON THENCE SOUTHERLY ALONG SAID SHORELINE 90 FEET, MORE OR LESS, TO AN INTERSECTION WITH THE WESTERLY PRODUCTION OF THE SOUTH LINE OF LOT 4 IN BLOCK 22 OF SAID PLAT; THENCE EAST ALONG SAID SOUTH LINE AND ITS EASTERLY PRODUCTION THEREOF TO THE TRUE POINT OF BEGINNING; TOGETHER WITH SECOND CLASS SHORE LANDS, AS CONVEYED BY THE STATE OF WASHINGTON, SITUATE IN FRONT OF,

ADJACENT TO OR ABUTTING THEREON; TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS DESCRIBED AS FOLLOWS:

THE WEST 30 FEET OF LOTS 8 AND 23 OF SAID BLOCK 2 AND THE NORTH 30 FEET OF THAT PORTION OF VACATED BONNEY STREET LYING BETWEEN THE WEST LINE OF SAID LOT 23, BLOCK 2, PRODUCED SOUTH AND THE WESTERLY LINE OF W. MERCER WAY: AND THAT PORTION OF VACATED ANDERSON AVE. AND SAID BLOCK 2, WITHIN THE FOLLOWING DESCRIBED TRACT: BEGINNING AT A POINT ON THE SOUTHERLY MARGIN OF THE NORTH 30 FEET OF VACATED BONNEY STREET 70 FEET WEST

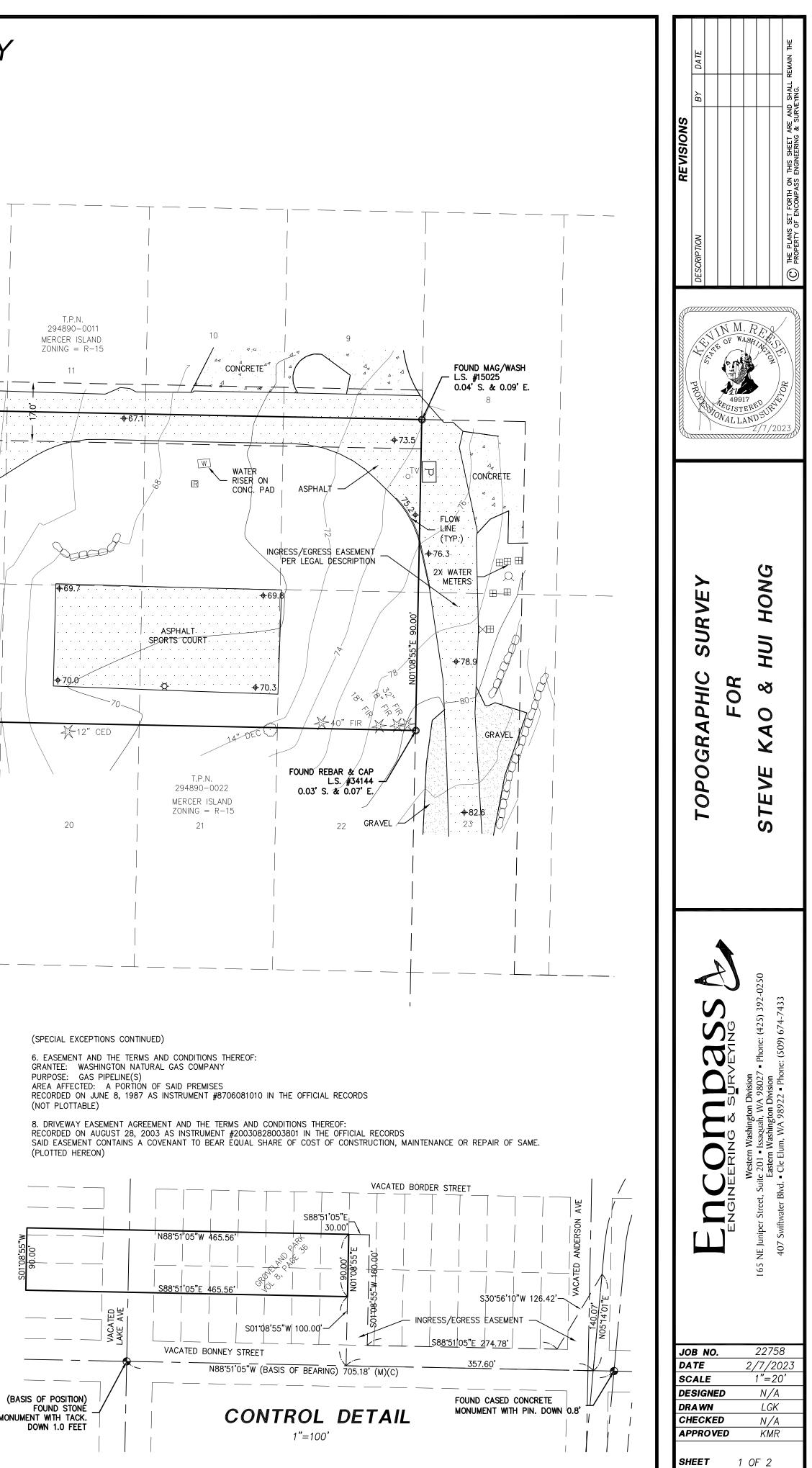
OF THE WESTERLY MARGIN OF WEST MERCER WAY; THENCE EAST ALONG SAID SOUTHERLY MARGIN TO THE WESTERLY MARGIN OF WEST MERCER WAY; THENCE NORTHERLY ALONG THE WEST MARGIN OF WEST MERCER WAY, A DISTANCE OF 110 FEET; THENCE IN A STRAIGHT LINE TO THE POINT OF BEGINNING; EXCEPT THAT PORTION OF SAID EASEMENT LYING NORTH OF THE EASTERLY PRODUCTION OF THE NORTH LINE OF THE

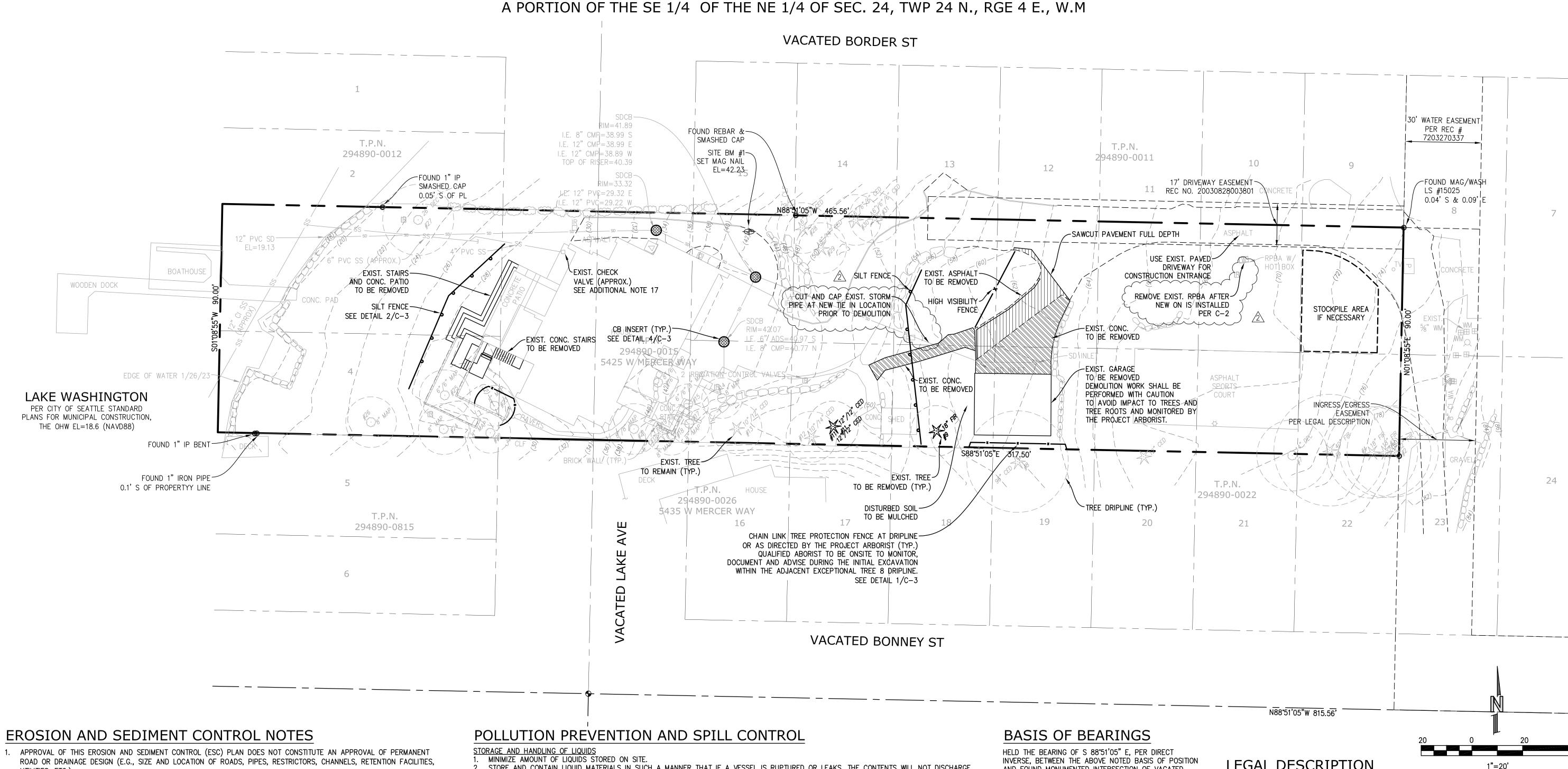
ABOVE DESCRIBED MAIN TRACT. SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

LEGAL DESCRIPTION AND EASEMENTS SHOWN ARE PER CW TITLE COMMITMENT FOR TITLE INSURANCE NO 50025013-101, DATED 10/07/2022 SPECIAL EXCEPTIONS

LEGAL DESCRIPTION

4) EASEMENT AND THE TERMS AND CONDITIONS THEREOF: GRANTEE: MERCER ISLAND SEWER DISTRICT PURPOSE: SEWER PIPELINE(S) AREA AFFECTED: A PORTION OF SAID PREMISES RECORDED ON AUGUST 5, 1964 AS INSTRUMENT #5770410 IN THE OFFICIAL RECORDS (NOT PLOTTABLE)





EROSION AND SEDIMENT CONTROL NOTES

- UTILITIES, ETC.)
- 2. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/ESC SUPERVISOR UNTIL ALL CONSTRUCTION IS APPROVED. 3. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED BY A CONTINUOUS LENGTH OF SURVEY TAPE (OR FENCING, IF REQUIRED) PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO
- DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEARING LIMITS SHALL BE MAINTAINED BY THE APPLICANT/ESC SUPERVISOR FOR THE DURATION OF CONSTRUCTION.
- 4. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO SURFACE WATERS, DRAINAGE SYSTEMS, AND ADJACENT PROPERTIES IS MINIMIZED.
- 5. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS (E.G., ADDITIONAL SUMP PUMPS, RELOCATION OF DITCHES AND SILT FENCES, ETC.).
- 6. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/ESC SUPERVISOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS SHALL BE KEPT OF WEEKLY REVIEWS OF THE ESC FACILITIES DURING
- THE WET SEASON (OCT. 1 TO APRIL 30) AND OF MONTHLY REVIEWS DURING THE DRY SEASON (MAY 1 TO SEPT. 30). ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO DAYS DURING THE WET SEASON OR SEVEN DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS (E.G., SEEDING, MULCHING, PLASTIC COVERING, ETC.).
- 8. ANY AREA NEEDING ESC MEASURES NOT REQUIRING IMMEDIATE ATTENTION SHALL BE ADDRESSED WITHIN FIFTEEN (15) DAYS. 9. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN FORTY-EIGHT (48) HOURS FOLLOWING A STORM EVENT.
- 10. AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- 11. STABILIZED CONSTRUCTION ENTRANCES AND ROADS SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- 12. ANY PERMANENT FLOW CONTROL FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION SYSTEM, THE TEMPORARY FACILITY MUST BE GRADED SO THAT THE BOTTOM AND SIDES ARE AT LEAST THREE FEET ABOVE THE FINAL GRADE OF THE PERMANENT FACILITY.
- 13. WHERE STRAW MULCH FOR TEMPORARY EROSION CONTROL IS REQUIRED, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF 2 TO 3 INCHES.
- 14. PRIOR TO THE BEGINNING OF THE WET SEASON (OCT. 1), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATION FOR THE WINTER RAINS. DISTURBED AREAS SHALL BE SEEDED WITHIN ONE WEEK OF THE BEGINNING OF THE WET SEASON. A SKETCH MAP OF THOSE AREAS TO BE SEEDED AND THOSE AREAS TO REMAIN UNCOVERED SHALL BE SUBMITTED TO THE DDES INSPECTOR. THE DDES INSPECTOR CAN REQUIRE SEEDING OF ADDITIONAL AREAS IN ORDER TO PROTECT SURFACE WATERS, ADJACENT PROPERTIES, OR DRAINAGE FACILITIES.

- PLACE TIGHT-FITTING LIDS ON ALL CONTAINERS.
- CONTROL.
- OR PROPERLY DISPOSED OF.

- FUELING
- SYSTEM, SURFACE WATER, OR GROUNDWATER.
- WITH PROPER SPILL CONTROL AND CLEANUP PROCEDURES.
- CONCRETE SAW CUTTING, SLURRY, AND WASHWATER DISPOSAL

- CONVEYANCES.

STORE AND CONTAIN LIQUID MATERIALS IN SUCH A MANNER THAT IF A VESSEL IS RUPTURED OR LEAKS, THE CONTENTS WILL NOT DISCHARGE, FLOW, OR BE WASHED INTO THE STORM DRAINAGE SYSTEM, SURFACE WATERS, OR GROUNDWATER. TYPICALLY THIS MEANS INSTALLING SECONDARY CONTAINMENT. SUCH AS A LINED EXCAVATION, LARGER CONTAINER. OR USING A DOUBLE-WALLED TANK OR SIMILAR COMMERCIALLY AVAILABLE CONTAINMENT FACILITY.

4. ENCLOSE OR COVER THE CONTAINERS WHERE THEY ARE STORED TO PROTECT FROM RAIN. THE LOCAL FIRE DISTRICT MUST BE CONSULTED FOR LIMITATIONS ON CLEARANCE OF ROOF COVERS OVER CONTAINERS USED TO STORE FLAMMABLE MATERIALS. 5. RAISE THE CONTAINERS OFF THE GROUND BY USING A SPILL CONTAINMENT PALLET OR SIMILAR METHOD THAT HAS PROVISIONS FOR SPILL

6. PLACE DRIP PANS OR ABSORBENT MATERIALS BENEATH ALL MOUNTED CONTAINER TAPS, AND AT ALL POTENTIAL DRIP AND SPILL LOCATIONS DURING FILLING AND UNLOADING OF CONTAINERS. ANY COLLECTED LIQUIDS OR SOILED ABSORBENT MATERIALS MUST BE REUSED. RECYCLED.

7. STORE AND MAINTAIN ABSORBENT PADS OR APPROPRIATE SPILL CLEANUP MATERIALS NEAR THE CONTAINER STORAGE AREA, IN A LOCATION KNOWN TO ALL. ENSURE THAT EMPLOYEES ARE FAMILIAR WITH THE SITE'S SPILL PLAN AND/OR PROPER SPILL CLEANUP PROCEDURES. 8. CHECK CONTAINERS (AND ANY CONTAINMENT SUMPS) DAILY FOR LEAKS AND SPILLS. REPLACE CONTAINERS THAT ARE LEAKING, CORRODED. OR OTHERWISE DETERIORATING. IF THE LIQUID CHEMICALS ARE CORROSIVE, CONTAINERS MADE OF COMPATIBLE MATERIALS MUST BE USED INSTEAD OF METAL DRUMS. NEW OR SECONDARY CONTAINERS MUST BE LABELED WITH THE PRODUCT NAME AND HAZARDS. 9. PLACE DRIP PANS OR ABSORBENT MATERIALS BENEATH A CONTAINER THAT IS FOUND TO BE LEAKING. REMOVE THE DAMAGED CONTAINER AS SOON AS POSSIBLE. MOP UP THE SPILLED LIQUID WITH ABSORBENT PADS OR RAGS. ANY COLLECTED LIQUIDS OR SOILED ABSORBENT MATERIALS MUST BE REUSED, RECYCLED, OR PROPERLY DISPOSED OF.

LOCATE THE FUELING OPERATION TO ENSURE LEAKS OR SPILLS WILL NOT DISCHARGE, FLOW, OR BE WASHED INTO THE STORM DRAINAGE

USE DRIP PANS OR ABSORBENT PADS TO CAPTURE DRIPS OR SPILLS DURING FUELING OPERATIONS. IF FUELING IS DONE DURING EVENING HOURS, LIGHTING MUST BE PROVIDED.

4. STORE AND MAINTAIN APPROPRIATE SPILL CLEANUP MATERIALS IN THE MOBILE FUELING VEHICLE. ENSURE THAT EMPLOYEES ARE FAMILIAR

IMMEDIATELY MOP UP ANY SPILLED FUEL WITH ABSORBENT PADS OR RAGS. ANY COLLECTED LIQUIDS OR SOILED ABSORBENT MATERIALS MUST BE REUSED, RECYCLED, OR PROPERLY DISPOSED OF.

SLURRY FROM SAW CUTTING THE SIDEWALK SHALL BE VACUUMED SO THAT IT DOES NOT ENTER NEARBY STORM DRAINS. CONCRETE TRUCK CHUTES, PUMPS, AND INTERNALS SHALL BE WASHED OUT ONLY INTO FORMED AREAS AWAITING INSTALLATION OF CONCRETE. UNUSED CONCRETE REMAINING IN THE TRUCK AND PUMP SHALL BE RETURNED TO THE ORIGINATING BATCH PLANT FOR RECYCLING. HAND TOOLS INCLUDING, BUT NOT LIMITED, SCREEDS, SHOVELS, RAKES, FLOATS, AND TROWELS SHALL BE WASHED OFF ONLY INTO FORMED INTO FORMED AREAS AWAITING INSTALLATION OF CONCRETE OR IMPERMEABLE ASPHALT. EQUIPMENT THAT CANNOT BE EASILY MOVED, SUCH AS CONCRETE PAVERS, SHALL ONLY BE WASHED IN AREAS THAT DO NOT DIRECTLY DRAIN TO NATURAL OR CONSTRUCTED STORMWATER CONVEYANCES. WASHDOWN FROM AREAS SUCH AS CONCRETE AGGREGATE DRIVEWAY SHALL NOT DRAIN DIRECTLY TO NATURAL OR CONSTRUCTED STORMWATER

WHEN NO FORMED AREAS ARE AVAILABLE, WASHWATER AND LEFTOVER PRODUCT SHALL BE CONTAINED IN A LINED CONTAINER. CONTAINED CONCRETE SHALL BE DISPOSED OF IN A MANNER THAT DOES NOT VIOLATE GROUNDWATER OR SURFACE WATER QUALITY STANDARDS. 8. CONTAINERS SHALL BE CHECKED FOR HOLES IN THE LINER DAILY DURING CONCRETE POURS AND REPLACED THE SAME DAY.

AND FOUND MONUMENTED INTERSECTION OF VACATED BONNEY STREET AND WEST MERCER WAY (SEE MAP FOR LOCATION AND DESCRIPTION).

HORIZONTAL DATUM

NAD83-2011 EPOCH 2010.00 ESTABLISHED BY OBSERVATIONS TO THE WASHINGTON STATE REFERENCE **VERTICAL DATUM**

NAVD88 (ESTABLISHED PER WSRN NETWORK OBSERVATION ON SITE BM#1)

LEGAL DESCRIPTION

THAT PORTION OF VACATED BLOCKS 2 AND 22 OF GROVELAND PARK, AS PER PLAT RECORDED IN VOLUME 8 OF PLATS, PAGE 36, RECORDS OF KING COUNTY AUDITOR, AND OF VACATED STREETS ADJOINING, DESCRIBED AS FOLLOWS;

BEGINNING AT THE INTERSECTION OF THE CENTER LINES OF VACATED LAKE AVENUE AND VACATED BONNEY STREET AS SHOWN ON SAID PLAT. SAID POINT BEING MARKED BY A CONCRETE POST; THENCE NORTH ALONG THE CENTER LINE OF SAID VACATED LAKE AVENUE 100 FEET TO THE TRUE POINT OF BEGINNING: THENCE EAST PARALLEL WITH THE CENTER LINE OF VACATED BONNEY STREET, 317.50 FEET TO THE EAST

LINE OF LOT 22 OF SAID BLOCK 2; THENCE NORTH ALONG SAID EAST LINE AND THE EAST LINE OF LOT 9 OF SAID 2, A DISTANCE OF 90 FEET:

THENCE WEST PARALLEL WITH THE CENTER LINE OF SAID VACATED BONNEY STREET TO THE SHORELINE OF LAKE WASHINGTON; THENCE SOUTHERLY ALONG SAID SHORELINE 90 FEET, MORE OR LESS, TO AN INTERSECTION WITH THE

WESTERLY PRODUCTION OF THE SOUTH LINE OF LOT 4 IN BLOCK 22 OF SAID PLAT; THENCE EAST ALONG SAID SOUTH LINE AND ITS EASTERLY PRODUCTION THEREOF TO THE TRUE POINT OF BEGINNING: TOGETHER WITH SECOND CLASS SHORE LANDS, AS CONVEYED BY THE STATE OF WASHINGTON, SITUATE IN

FRONT OF, ADJACENT TO OR ABUTTING THEREON; TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS DESCRIBED AS FOLLOWS: THE WEST 30 FEET OF LOTS 8 AND 23 OF SAID BLOCK 2 AND THE NORTH 30 FEET OF THAT PORTION OF

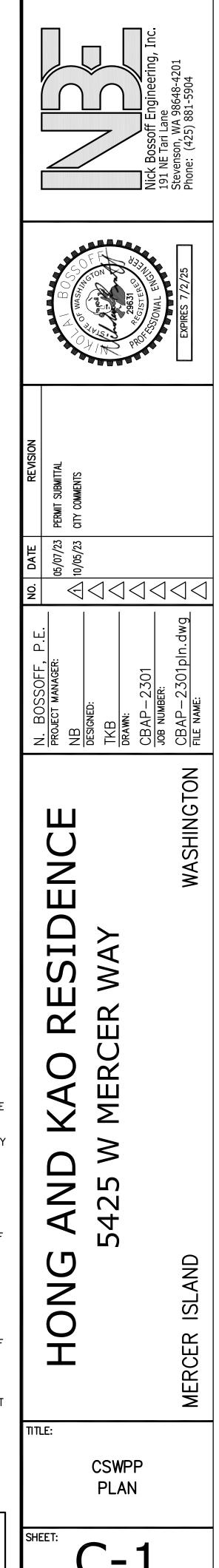
VACATED BONNEY STREET LYING BETWEEN THE WEST LINE OF SAID LOT 23, BLOCK 2, PRODUCED SOUTH AND THE WESTERLY LINE OF W. MERCER WAY: AND THAT PORTION OF VACATED ANDERSON AVE. AND SAID BLOCK 2, WITHIN THE FOLLOWING DESCRIBED

TRACT: BEGINNING AT A POINT ON THE SOUTHERLY MARGIN OF THE NORTH 30 FEET OF VACATED BONNEY STREET 70 FEET WEST OF THE WESTERLY MARGIN OF WEST MERCER WAY;

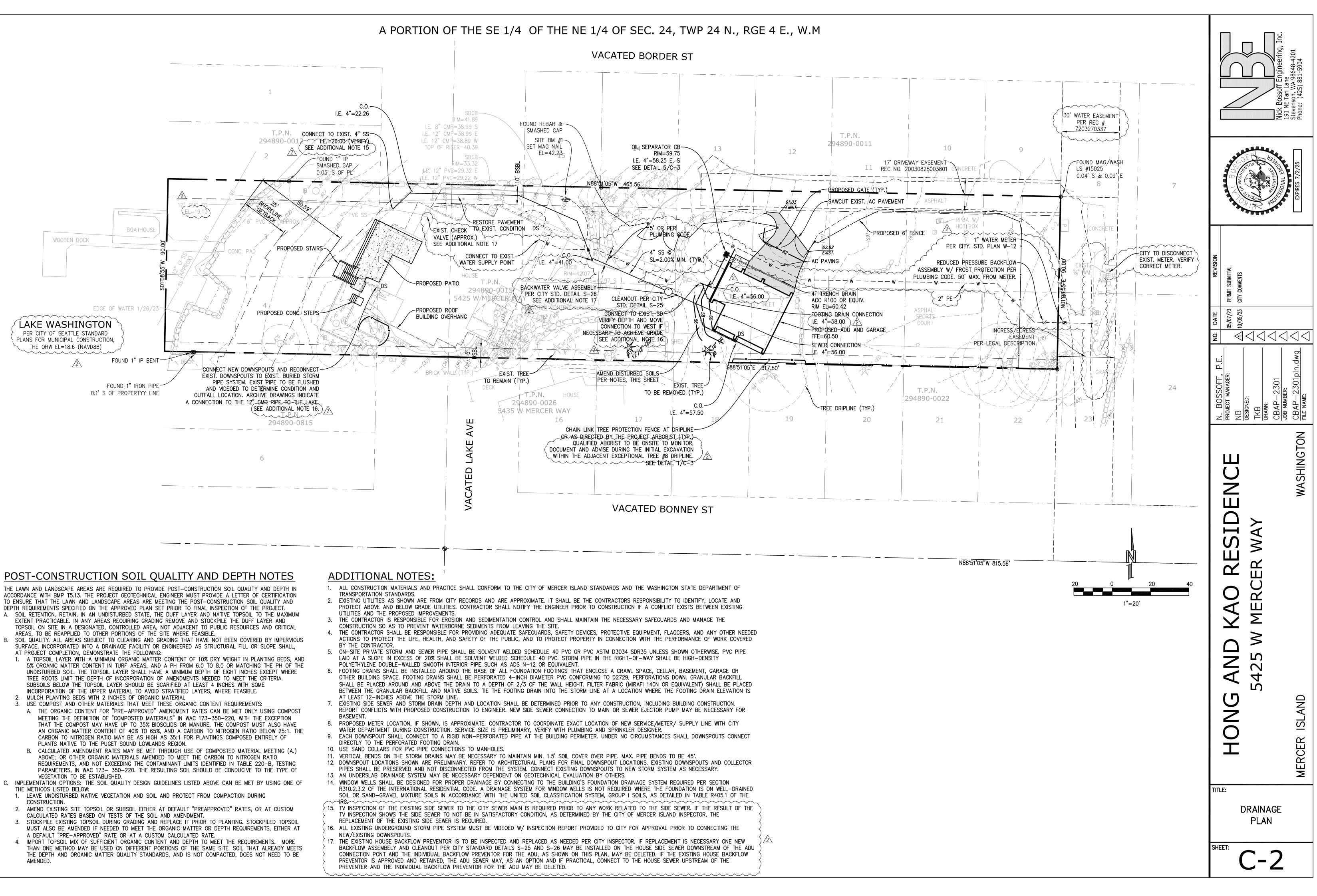
THENCE EAST ALONG SAID SOUTHERLY MARGIN TO THE WESTERLY MARGIN OF WEST MERCER WAY; THENCE NORTHERLY ALONG THE WEST MARGIN OF WEST MERCER WAY, A DISTANCE OF 110 FEET;

THENCE IN A STRAIGHT LINE TO THE POINT OF BEGINNING; EXCEPT THAT PORTION OF SAID EASEMENT LYING NORTH OF THE EASTERLY PRODUCTION OF THE NORTH LINE OF THE ABOVE DESCRIBED MAIN TRACT.

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

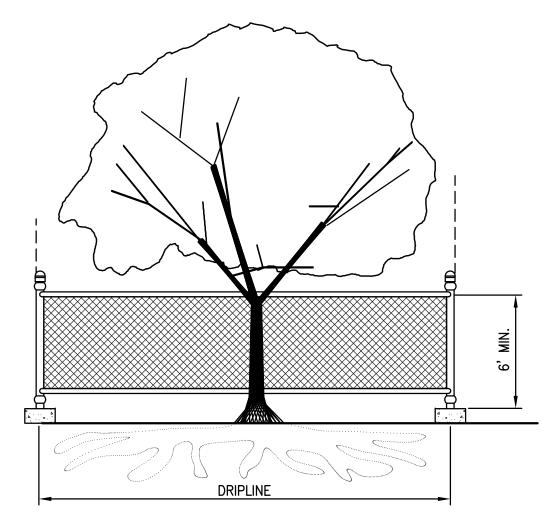






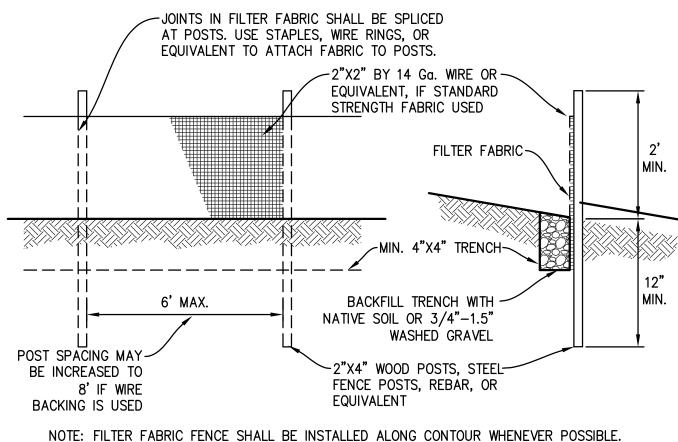
ACCORDANCE WITH BMP T5.13. THE PROJECT GEOTECHNICAL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND LANDSCAPE AREAS ARE MEETING THE POST-CONSTRUCTION SOIL QUALITY AND





TREE PROTECTION DURING CONSTRUCTION

- 1. 6-FT. HIGH TEMPORARY CHAIN LINK FENCE SHALL BE PLACED AT THE DRIPLINE OF THE TREE TO BE SAVED. FENCE SHALL COMPLETELY ENCIRCLE THE TREE(S). INSTALL FENCE POSTS USING PIER BLOCKS ONLY. AVOID DRIVING POSTS OR STAKES INTO MAJOR ROOTS.
- 2. FOR ROOTS OVER 1-IN DIA. THAT ARE DAMAGED DURING CONSTRUCTION, MAKE A CLEAN, STRAIGHT CUT TO REMOVE THE DAMAGED PORTION. ALL EXPOSED ROOTS SHALL BE TEMPORARILY COVERED WITH DAMP BURLAP TO PREVENT DRYING, AND SHALL BE COVERED WITH SOIL AS SOON AS POSSIBLE. 3. WORK WITHIN PROTECTION FENCE SHALL BE DONE MANUALLY. NO STOCKPILING OF MATERIALS,
- VEHICULAR TRAFFIC, OR STORAGE OF EQUIPMENT OR MACHINERY SHALL BE ALLOWED WITHIN THE LIMIT OF THE FENCING. TREE PROTECTION

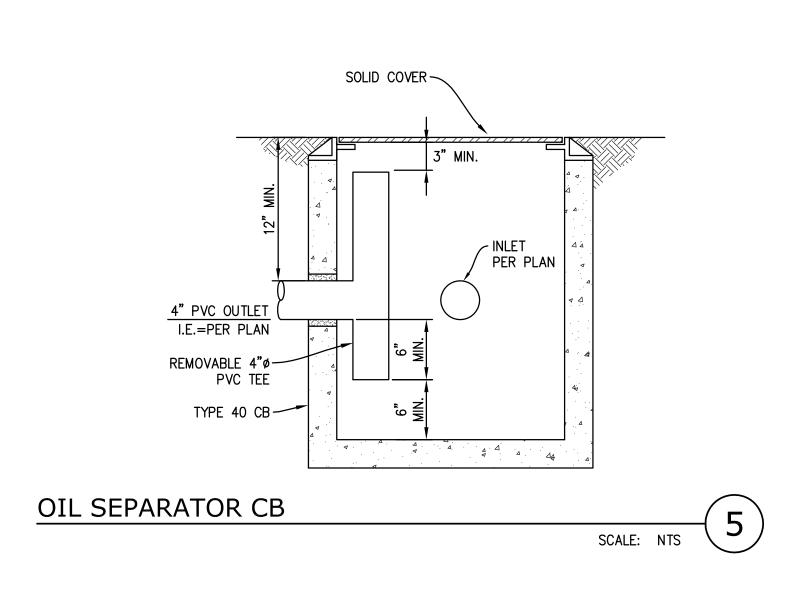


MAINTENANCE STANDARDS

- 1. ANY DAMAGE SHALL BE REPAIRED IMMEDIATELY. CONVEYED TO A SEDIMENT TRAP OR POND.
- 3. IT IS IMPORTANT TO CHECK THE UPHILL SIDE OF THE FENCE FOR SIGN OF THE FENCE CLOGGING AND ACTING AS A BARRIER TO FLOW AND THEN CAUSING CHANNELIZATION OF FLOWS PARALLEL TO THE FENCE. IF THIS OCCUR, REPLACE THE FENCE AND/OR REMOVE THE TRAPPED SEDIMENT. 4. SEDIMENT MUST BE REMOVED WHEN THE SEDIMENT IS 6" HIGH.
- 5. IF THE FILTER FABRIC HAS DETERIORATED DUE TO ULTRAVIOLET BREAKDOWN, IT SHALL BE REPLACED.

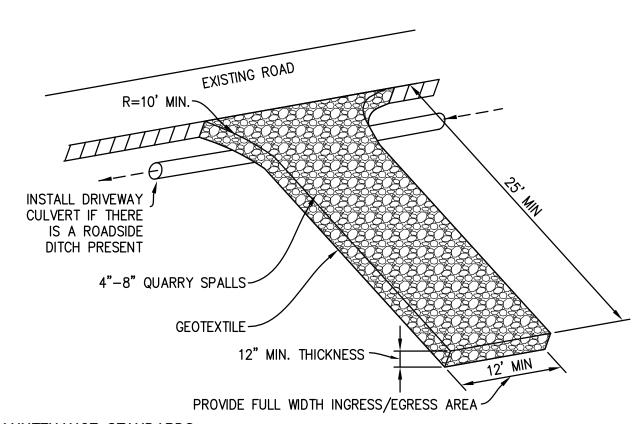


SCALE: NTS



2. IF CONCENTRATED FLOWS ARE EVIDENT UPHILL OF THE FENCE, THEY MUST BE INTERCEPTED AND

SCALE: NTS



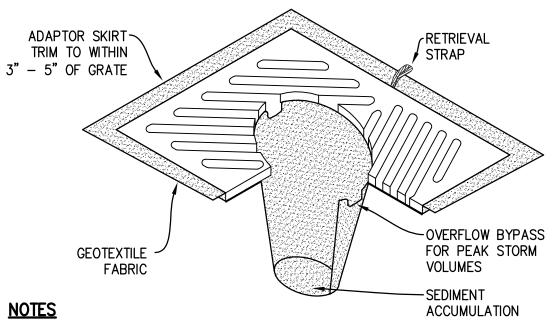
MAINTENANCE STANDARDS

- 1. QUARRY SPALLS (OR HOG FUEL) SHALL BE ADDED IF THE PAD IS NO LONGER IN ACCORDANCE WITH THE SPECIFICATIONS.
- IF THE ENTRANCE IS NOT PREVENTING SEDIMENT FROM BEING TRACKED ONTO PAVEMENT, THEN ALTERNATIVE MEASURES TO KEEP THE STREETS FREE OF SEDIMENT SHALL BE USED. THIS MAY INCLUDE STREET SWEEPING, AN INCREASE IN THE DIMENSIONS OF THE ENTRANCE, OR THE INSTALLATION OF A WHEEL WASH. IF WASHING IS USED, IT SHALL BE DONE ON AN AREA COVERED WITH CRUSHED ROCK, AND WASH WATER SHALL DRAIN TO A SEDIMENT TRAP OR POND.
- 3. ANY SEDIMENT THAT IS TRACKED ONTO PAVEMENT SHALL BE REMOVED IMMEDIATELY BY SWEEPING. THE SEDIMENT COLLECTED BY SWEEPING SHALL BE REMOVED OR STABILIZED ON-SITE. THE PAVEMENT SHALL NOT BE CLEANED BY WASHING DOWN THE STREET, EXCEPT WHEN SWEEPING IS INEFFECTIVE AND THERE IS A THREAT TO PUBLIC SAFETY. IF IT IS NECESSARY TO WASH THE STREET, THE CONSTRUCTION OF A SMALL SUMP SHALL BE CONSIDERED. THE SEDIMENT WOULD THEN BE WASHED INTO THE SUMP.
- ANY ROCK SPALLS THAT ARE LOOSENED FROM THE PAD AND END UP ON THE ROADWAY SHALL BE REMOVED IMMEDIATELY. 5. IF VEHICLES ARE ENTERING OR EXITING THE SITE AT POINTS OTHER THAN THE CONSTRUCTION ENTRANCE(S), FENCING (SECTION 5.4.1) SHALL BE INSTALLED TO CONTROL TRAFFIC.

ROCK CONSTRUCTION ENTRANCE

SCALE: NTS

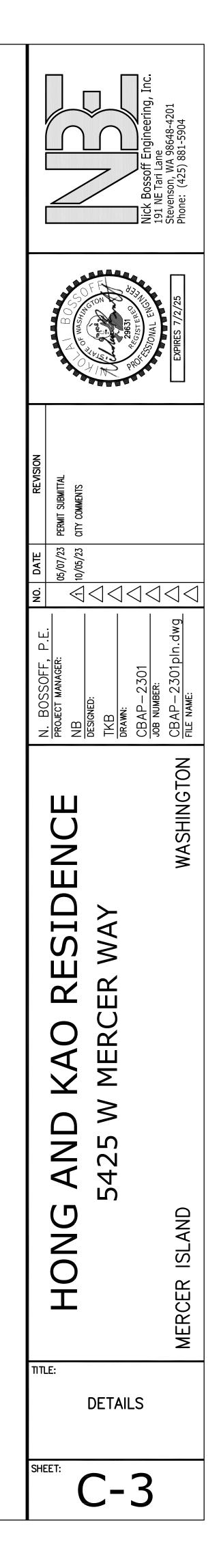
3



- 1. INSERT SHALL BE INSTALLED PRIOR TO CLEARING AND GRADING ACTIVITY, OR UPON PLACEMENT OF A NEW CATCH BASIN.
- 2. SEDIMENT SHALL BE REMOVED FROM THE UNIT WHEN IT BECOMES HALF FULL.
- 3. SEDIMENT REMOVAL SHALL BE ACCOMPLISHED BY REMOVING THE INSERT, EMPTYING, AND RE-INSERTING IT INTO THE CATCH BASIN.

CB INSERT

4 SCALE: NTS



HONG & KAO RESIDENCE

G-001	COVER SHEET
L001	EXISTING VEGETATION & CRITICAL AREA CONDITIONS - WEST
L002	EXISTING VEGETATION & CRITICAL AREA CONDITIONS - EAST
L003	SITE IMPACTS & MITIGATION PLAN - WEST
L004	SITE IMPACTS & MITIGATION PLAN - EAST
L005	SITE PREPARATION PLAN - WEST
L006	SITE PREPARATION PLAN - EAST
L007	PLANTING PLAN & SCHEDULE - WEST
L008	PLANTING PLAN & SCHEDULE - EAST
L009	PLANT INSTALLATION DETAILS & NOTES



PROJECT DIRECTORY

CLIENT:	HUI HONG & STEVE KAO 5425 W. MERCER WAY MERCER ISLAND, WA 98040 T: 425.545.88610 HUIHONG9823@GMAIL.COM
LANDSCAPE ARCHITECT:	DCG WATERSHED CONTACT: KENNY BOOTH 750 SIXTH ST SOUTH KIRKLAND, WA 98033 T: 425.822.5242 KENNY.BOOTH@DCGWATERSHED.C OM WWW.DCGWATERSHED.COM
ARCHITECT:	CHESMORE/BUCK ARCHITECTURE CONTACT: DAVE BUCK 27 100TH AVE NE

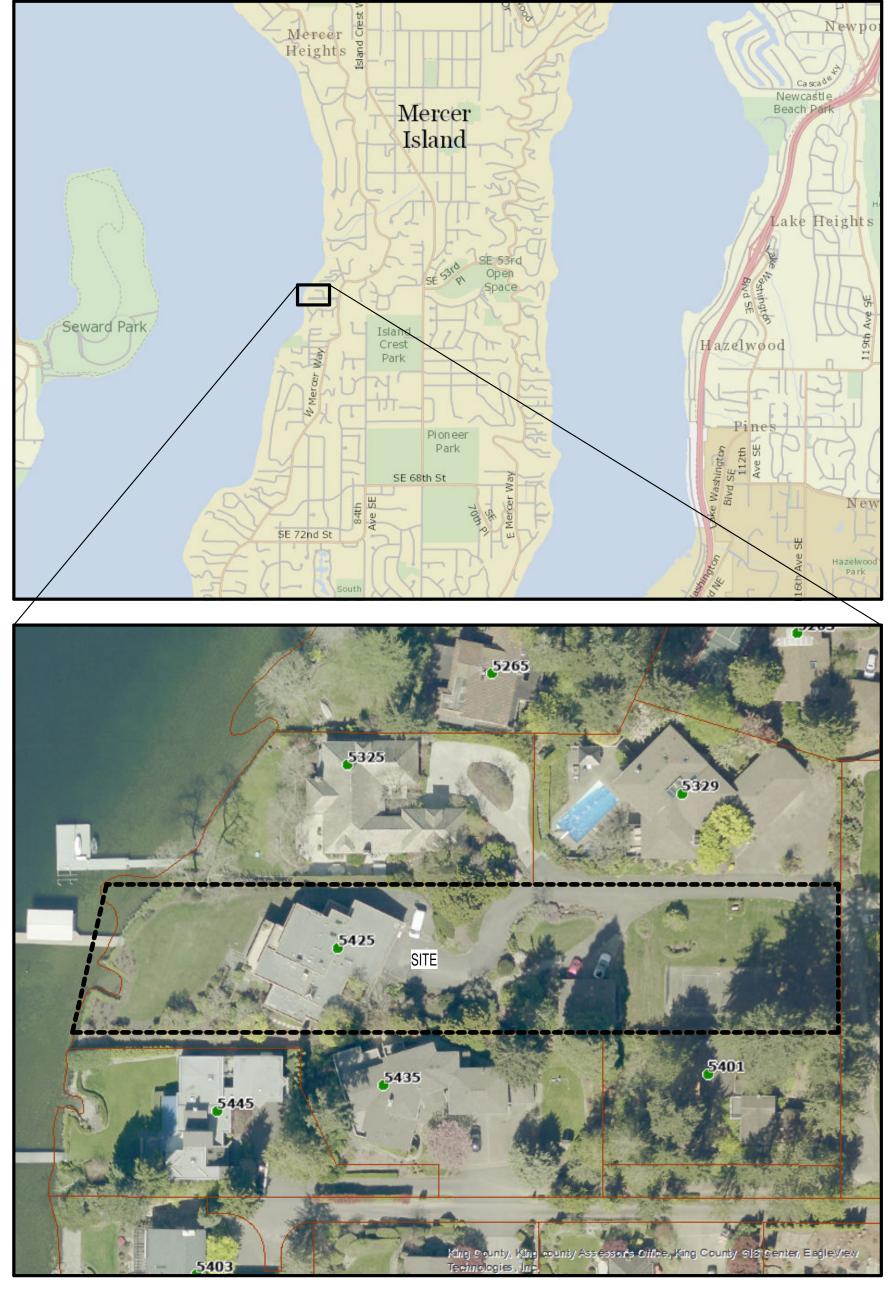
BELLEVUE WA, 98004

DAVE@CHESMOREBUCK.COM

T: 425.679.0907

PROJECT INFORMATION

PROJECT ADDRESS:	5425 W MERCER WAY, I
ASSESSOR PARCEL NO:	2948900015
LEGAL DESCRIPTION:	GROVELAND PARK ADE OF 16 THRU 22 & VAC S
PROJECT DESCRIPTION:	MITIGATION PLANTING REPLACEMENT WITH A





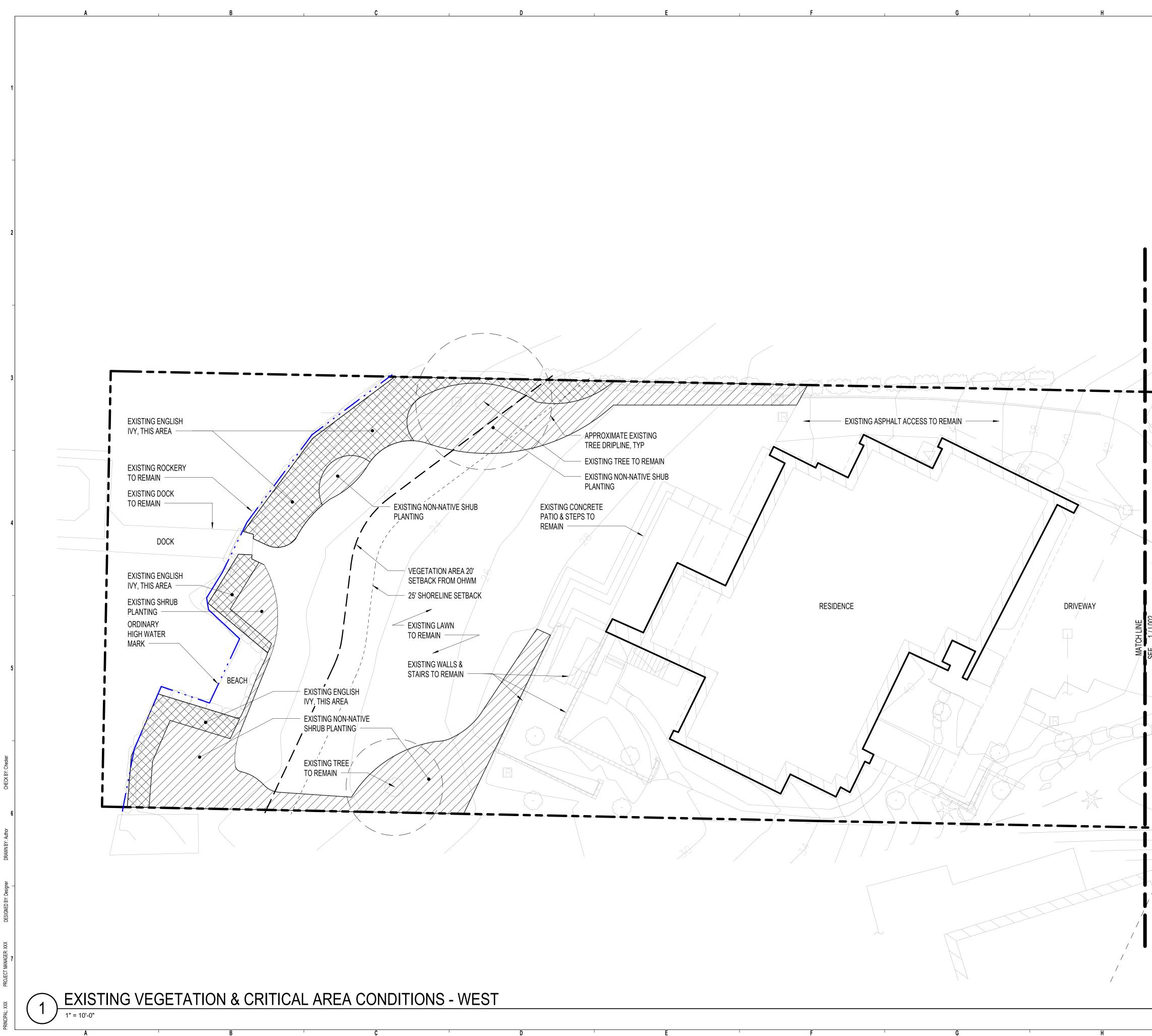
VICINITY MAPS

, MERCER ISLAND, WA 98040

DD VAC 3-4 & S 10 FT OF 2 & SH LDS ADJ & VAC ST ADJ IN BLK 22 & VAC N 40 FT S 50 FT OF 9 THRU 15 & VAC ST ADJ IN BLK 2

G REQUIREMENT AS PART OF AN INTERIOR RENOVATION & DETACHED GARAGE ADU ADDITION





EXISTING CONDITIONS LEGEND

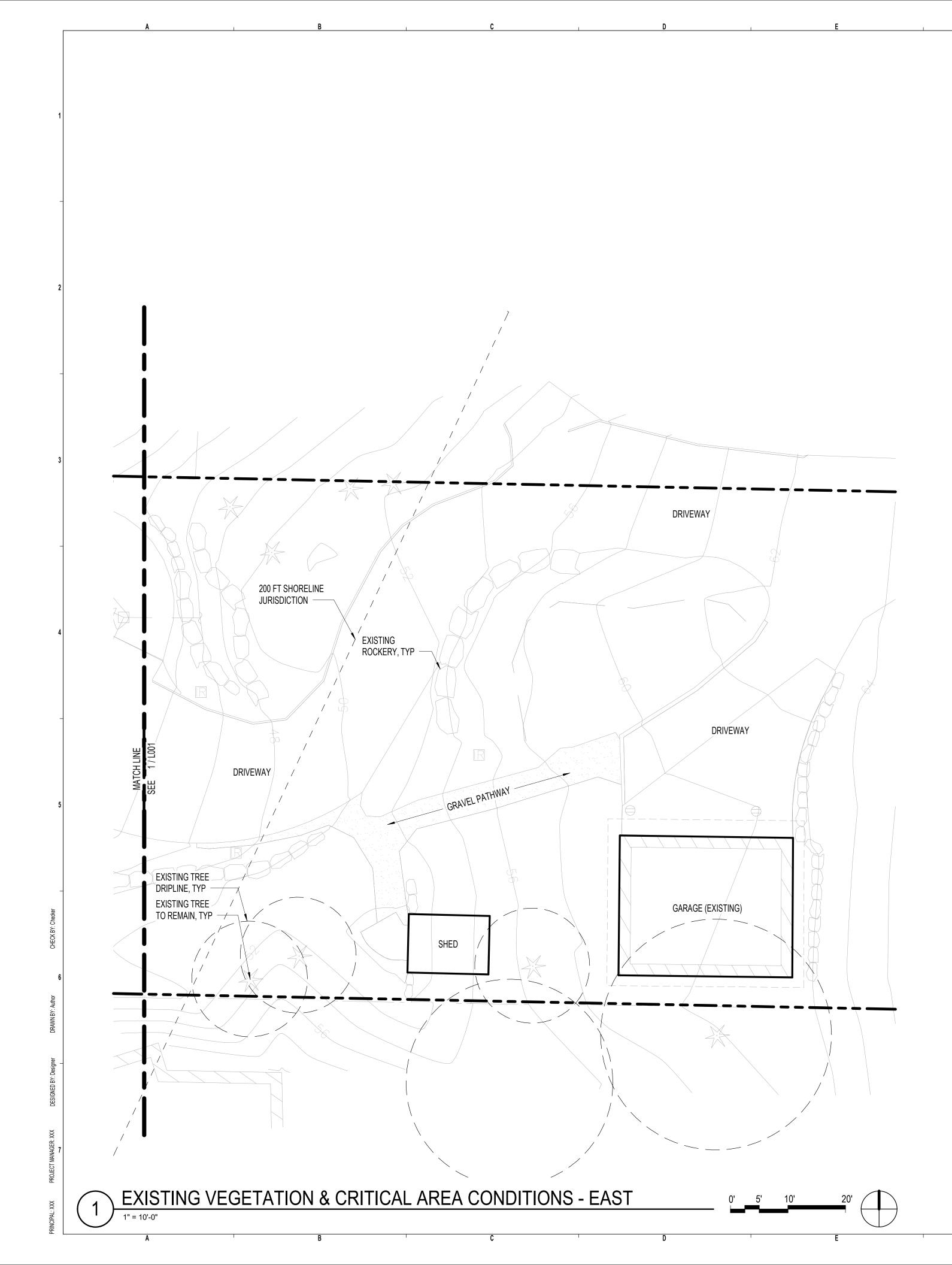
EXISTING DESCRIPTION PROPERTY LINE ORDINARY HIGH WATER MARK (APPROXIMATE)

SHEET NOTES

- SURVEY DATED 02/07/2023 RECEIVED FROM ENCOMPASS ENGINEERING & SURVEYING.
 ORDINARY HIGH WATER MARK ESTIMATED AT +18.6' ALONG FACE OF
- 2. ORDINARY HIGH WATER MARK ESTIMATED AT +18.6' ALONG FACE OF BULKHEAD FROM SURVEY AND AVAILABLE DATA BY DCG|WATERSHED CO. ON 8/14/2023



5'



EXISTING CONDITIONS LEGEND

EXISTING	
	DESCRIPTION
	PROPERTY LINE
	ORDINARY HIGH WATER MARK (APPROXIMATE)



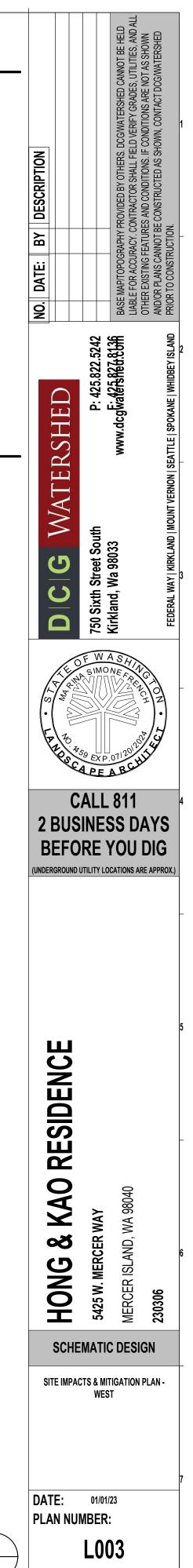


SITE IMPACTS & MITIGATION LEGEND

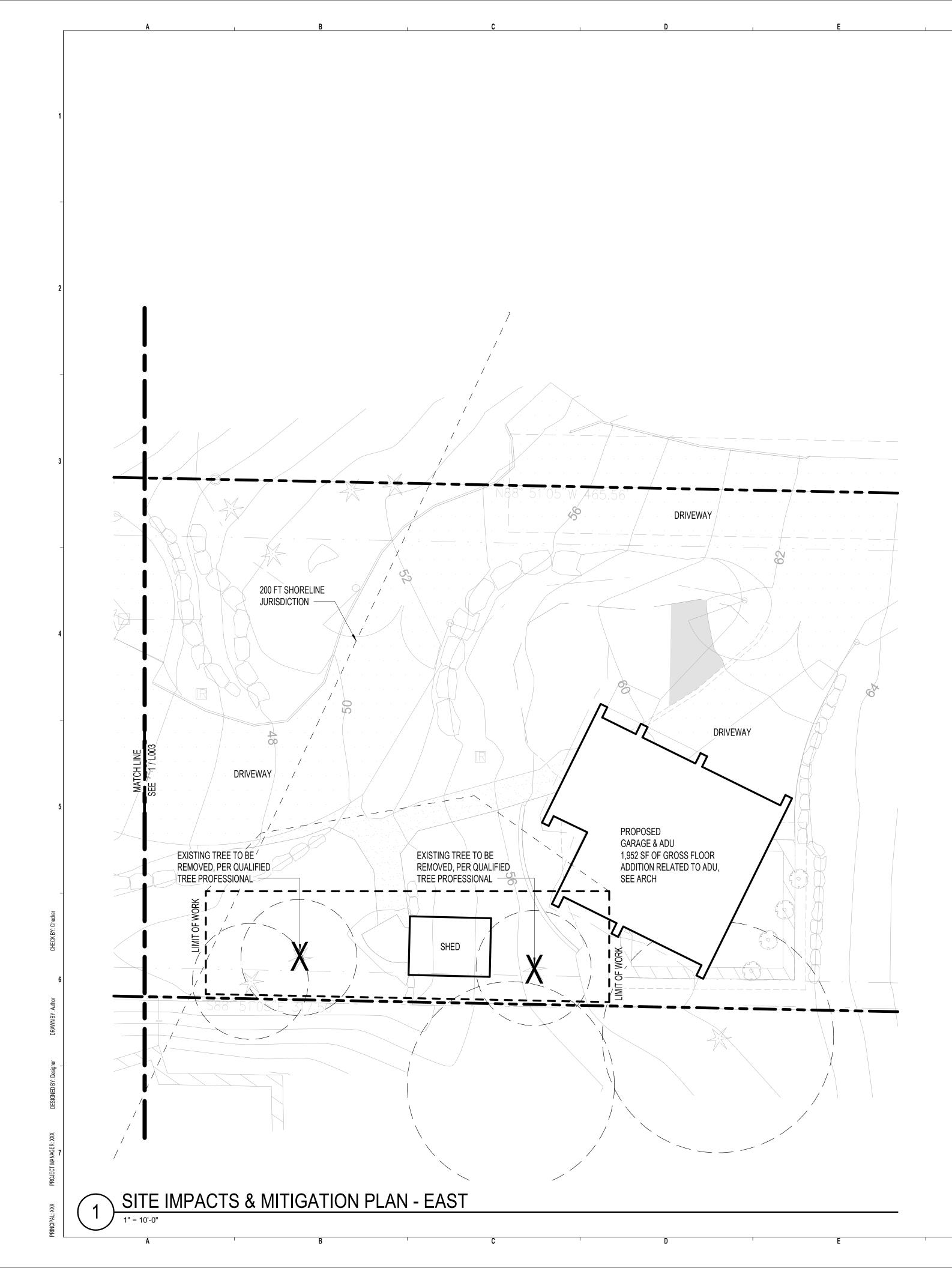
EXISTING	
	DESCRIPTION
	PROPERTY LINE
	ORDINARY HIGH WATER MARK (APPROXIMATE)
PROPOSED	
	DESCRIPTION
	LIMIT OF MITIGATION PLANTING WORK
	20' SHORELINE BUFFER (2351.8 SF)
+ + + + +	PROPOSED MITIGATION AREA 2337.9 X 75% = <u>1903.4 SF MITIGATION</u> <u>REQUIRED</u> PER MICC 19.13.050.K.4 <u>1916 SF MITIGATION PROPOSED</u>

SHEET NOTES

- 1. SEE PLANTING PLAN FOR RESTORATION OF MITIGATION AREA
- MITIGATION AREA SHALL RECEIVE IRRIGATION PER MITIGATION NOTES
 ALL PLANT INSTALLATION IS TO TAKE PLACE DURING A FROST-FREE PERIOD IN THE DORMANT SEASON (OCTOBER 15TH MARCH 30TH), FOR **BEST SURVIVAL**
- PREPARE THE PLANTING AREA AND PLANTING PITS PER L009
 PLACE ARBORIST WOOD CHIP MULCH LAYER AND INSTALL PLANTS PER SITE PREPARATION DETAILS



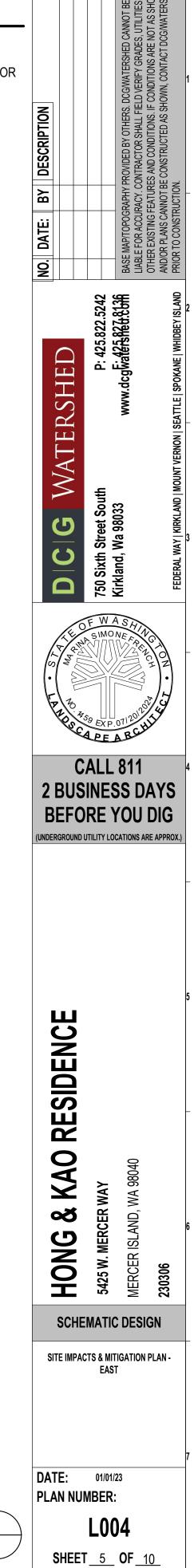
SHEET <u>4</u> OF <u>10</u>



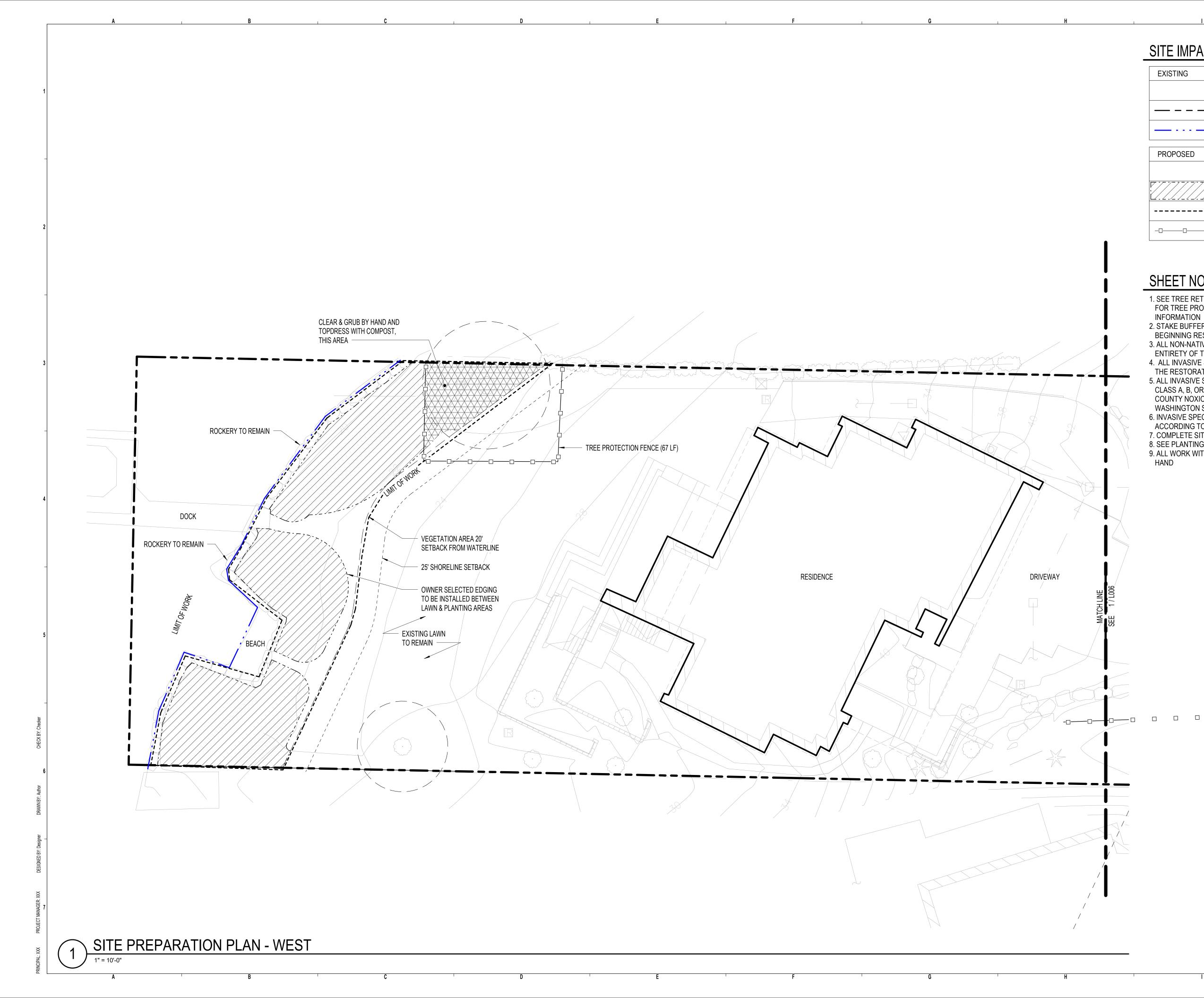
SHEET NOTES

1. SEE PLANTING PLANS FOR ADDITIONAL INFORMATION ON REQUIRED MITIGATION PLANTING FOR REMOVED TREES

2. SEE TREE RETENTION PLANS SUBMITTED AS PART OF THIS PROJECT FOR ADDITIONAL TREE INFORMATION



5'

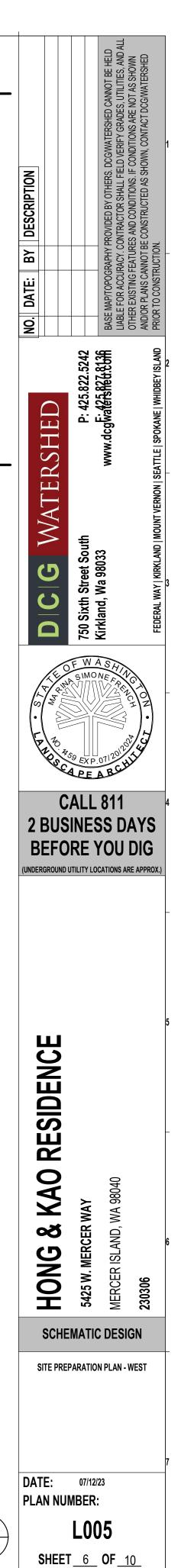


SITE IMPACTS & MITIGATION LEGEND

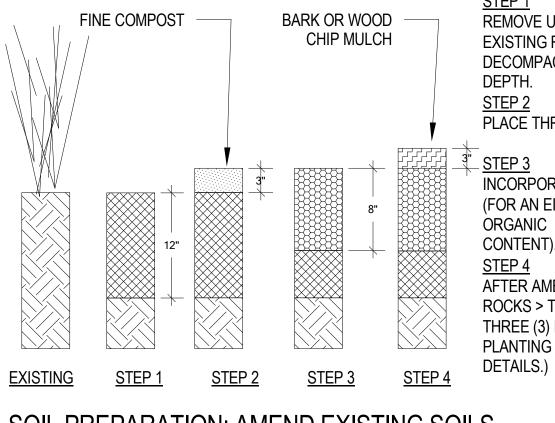
EXISTING				
DESCRIPTION				
	PROPERTY LINE			
ORDINARY HIGH WATER MARK (APPROXIMATE)				
PROPOSED				
	DESCRIPTION			
	CLEAR & GRUBBING AREA			
	LIMIT OF MITIGATION PLANTING WORK			
	TREE PROTECTION FENCE (197 LF)			

SHEET NOTES

- 1. SEE TREE RETENTION PLANS SUBMITTED AS PART OF THIS PROJECT FOR TREE PROTECTION FENCING LOCATIONS AND ADDITIONAL TREE INFORMATION
- 2. STAKE BUFFER BOUNDARY IN FIELD FOR APPROVAL BEFORE **BEGINNING RESTORATION WORK**
- 3. ALL NON-NATIVE PLANT SPECIES SHALL BE REMOVED FROM THE ENTIRETY OF THE RESTORATION AREA PRIOR TO SOIL PREPARATION 4. ALL INVASIVE SPECIES SHALL BE REMOVED FROM THE ENTIRETY OF
- THE RESTORATION AREA PRIOR TO SOIL PREPARATION 5. ALL INVASIVE SPECIES SHALL BE DEFINED AS ALL SPECIES LISTED AS
- CLASS A, B, OR C OR AS A SPECIES OF CONCERN BY THE KING COUNTY NOXIOUS WEED CONTROL BOARD (KCNWCB) OR ON THE WASHINGTON STATE NOXIOUS WEEDS LIST
- 6. INVASIVE SPECIES SHALL BE REMOVED AND DISPOSED OF ACCORDING TO KCNWCB RECOMMENDATIONS
- 7. COMPLETE SITE PREPARATION WORK PER DETAIL SHEET
- 8. SEE PLANTING SHEETS FOR ADDITIONAL PLANTING INFORMATION
- 9. ALL WORK WITHIN EXISTING TREE DRIPLINES SHALL BE DONE BY HAND







SOIL PREPARATION: AMEND EXISTING SOILS SEQUENCE OF WORK - NOT TO SCALE

PLANTING AREA PREPARATION

<u>STEP 1</u> REMOVE UNDESIRABLE SPECIES. WORK WITHIN EXISTING ROOT ZONES SHALL BE DONE BY HAND. DECOMPACT TO A TWELVE (12) INCH DEPTH. <u>STEP 2</u> PLACE THREE (3) INCHES COMPOST. _<u>STEP 3</u> INCORPORATE COMPOST INTO FIVE (5) INCHES OF SOIL

ORGANIC CONTENT).

<u>STEP 4</u>

AFTER AMENDING, RAKE BEDS AND REMOVE SURFACE ROCKS > TWO (2) INCH DIAMETER. PLACE MULCH LAYER THREE (3) INCHES DEEP AND INSTALL PLANTS. (SEE PLANTING PLAN AND

EXISTING					
	DESCRIPTION				
	PROPERTY LINE				
	ORDINARY HIGH WATER MARK (APPROXIMATE)				
PROPOSED					
	DESCRIPTION				
	CLEAR & GRUBBING AREA				
	LIMIT OF MITIGATION PLANTING WORK				
	TREE PROTECTION FENCE (197 LF)				

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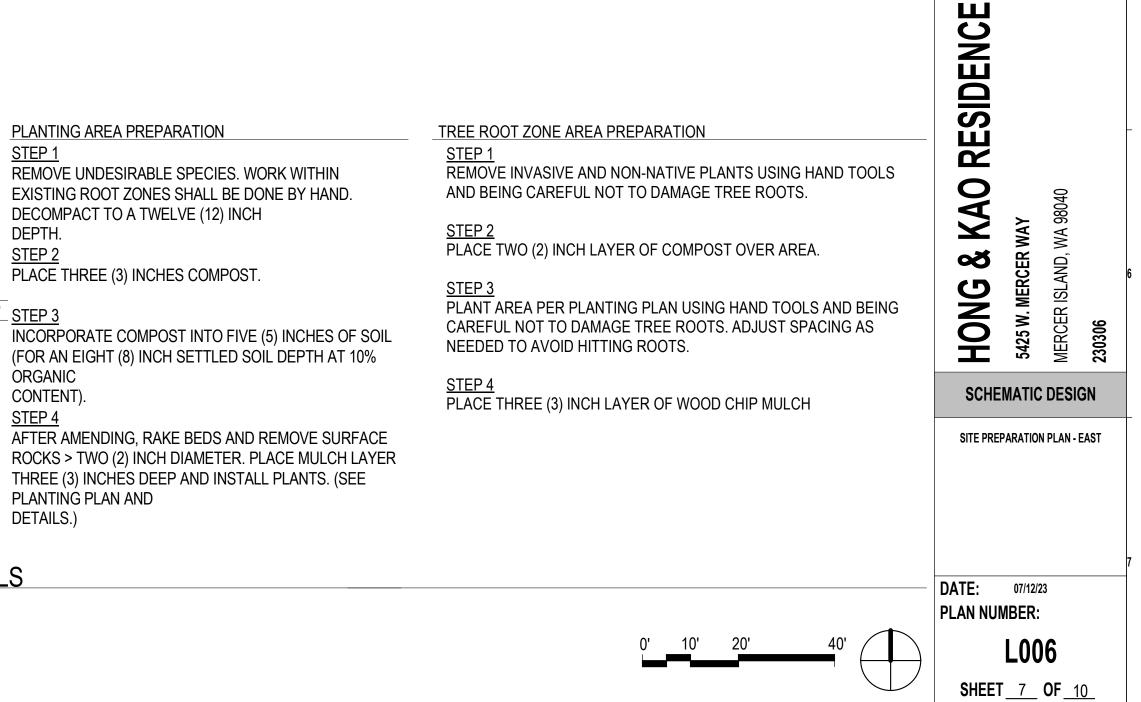
2 BUSINESS DAYS

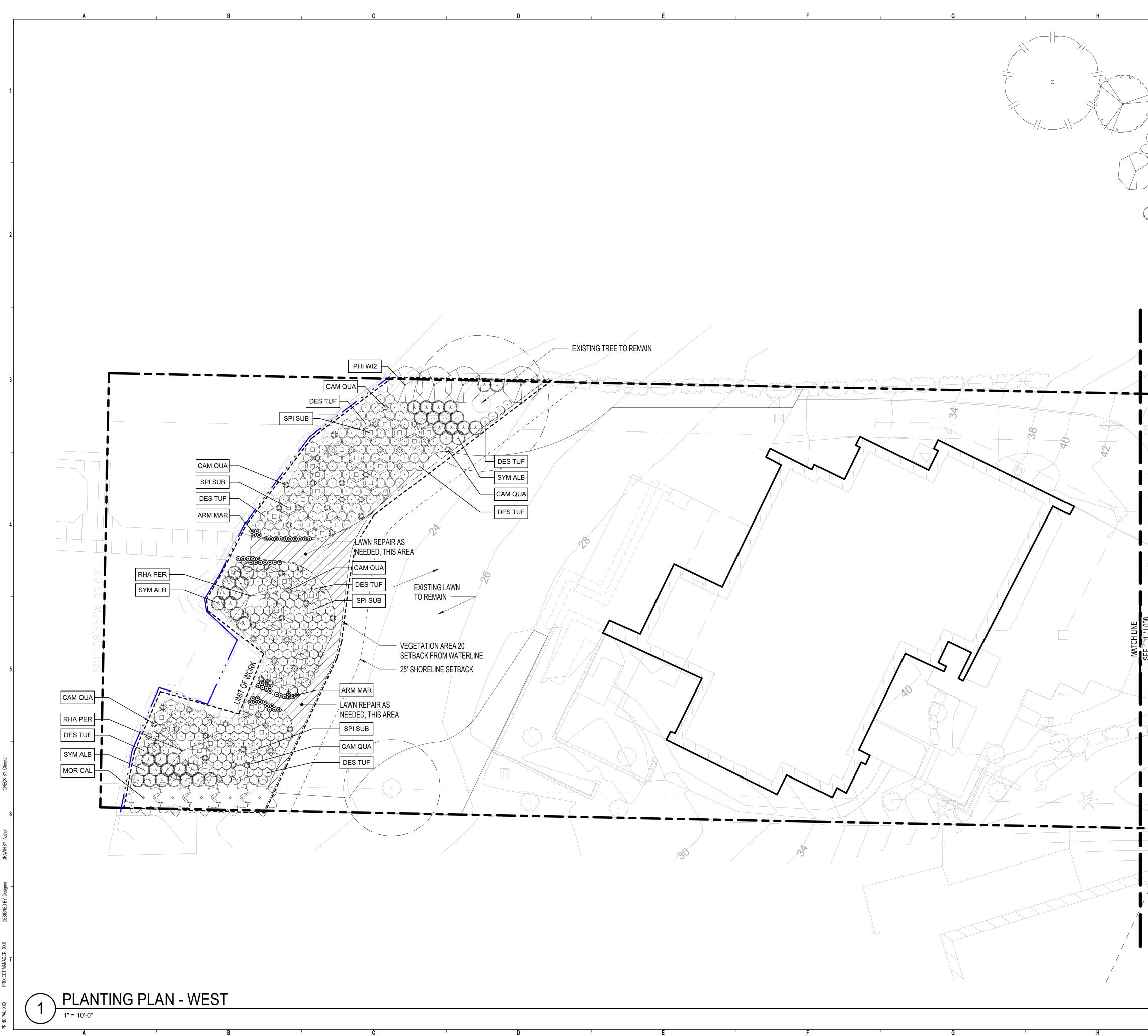
BEFORE YOU DIG

(UNDERGROUND UTILITY LOCATIONS ARE APPROX.

SHEET NOTES

- 1. SEE TREE RETENTION PLANS SUBMITTED AS PART OF THIS
- PROJECT FOR ADDITIONAL TREE INFORMATION 2. STAKE BUFFER BOUNDARY IN FIELD FOR APPROVAL BEFORE BEGINNING RESTORATION WORK
- 3. ALL INVASIVE SPECIES SHALL BE REMOVED FROM THE ENTIRETY OF THE RESTORATION AREA PRIOR TO SOIL PREPARATION
- 4. ALL INVASIVE SPECIES SHALL BE DEFINED AS ALL SPECIES LISTED AS CLASS A, B, OR C OR AS A SPECIES OF CONCERN BY THE KING COUNTY NOXIOUS WEED CONTROL BOARD (KCNWCB) OR ON THE WASHINGTON STATE NOXIOUS WEEDS LIST
- 5. INVASIVE SPECIES SHALL BE REMOVED AND DISPOSED OF
- ACCORDING TO KCNWCB RECOMMENDATIONS 6. COMPLETE SITE PREPARATION WORK PER DETAIL SHEET
- 7. SEE PLANTING SHEETS FOR ADDITIONAL PLANTING INFORMATION
- 8. ALL WORK WITHIN EXISTING TREE DRIPLINES SHALL BE DONE BY HAND





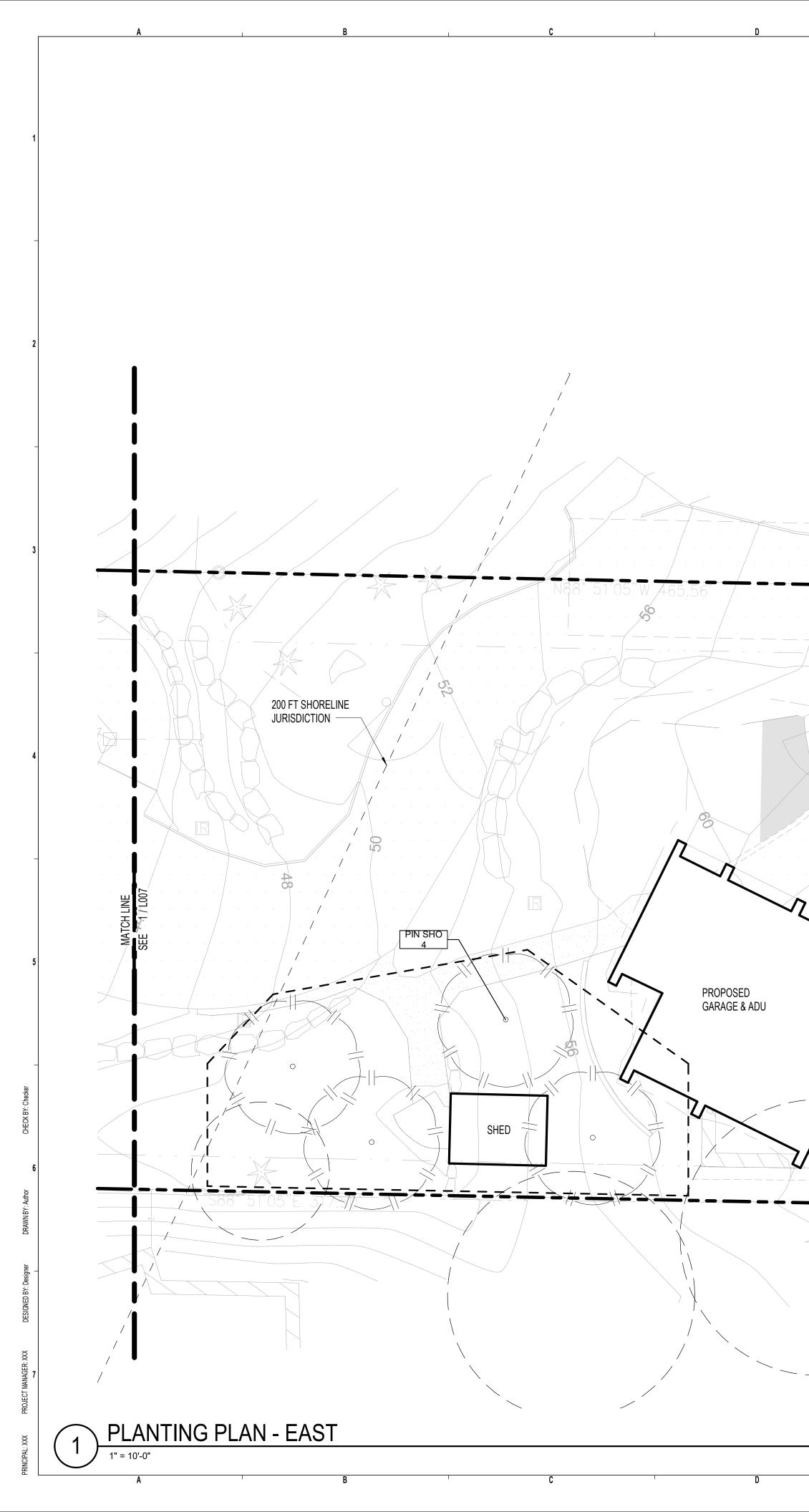
			HEDULE									ABASE MAP/TOPOGRAPHY PROVIDED BY OTHERS. DCG/WATERSHED CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIEY GRADES, UTILITIES, AND ALL	S SHOWN TERSHED
	Count	Plant Code	Botanical Name	Common Name	Size	Cont.	Remarks					ANNO	SNA'
	Trees					1						DES,	T DCC
	4	PIN SHO	Pinus contorta	Shore Pine	Min. 2" cal.	B & B						VATERSH RIFY GRA	CONTAC
	2	RHA PER	Rhamnus purshiana	Cascara	Min. 2" cal.	B & B		N				RELD VEI	s. If Cond Shown,
	6	1		1		1		DIC				DTHE	ED AS
	Native	Shrubs						CRIF				D BY (TOR S	RUCT
3	5	MOR CAL	Morella californica	California Wax Myrtle	2 Gallon			DESCRIPTION				PROVIDE	kes and c Be const N.
) -	4	PHI WI2	Philadelphus lewisii	Wild Mockorange	2 Gallon			ВY				OGRAPHY CURACY. (IG FEATUR CANNOT I STRUCTIO
]	47	SPI SUB	Spiraea densiflora	Sub-alpine Spirea	2 Gallon			DATE:				E FOR AC	OTHER EXISTING FEATURES AND CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN AND/OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTACT DCG/WATERSHED PRIOR TO CONSTRUCTION.
	42	SYM ALB	Symphoricarpos albus	Common White Snowberry	2 Gallon			Ň.				BASE	OTHE AND/ PRIO
	98									9	44	看	-AND
	Native Groundcovers							ì	P: 420.822.0242	9.0	EY ISI		
	52	ARM MAR	Armeria maritima	Sea Thrift	1 Gallon						0.0 0.0	R S S S S S S S S S S S S S S S S S S S	HIDBI
	62	CAM QUA	Camassia quamash	Small Camas	1 Gallon			Ĺ			4	vate	
	331	DES TUF	Deschampsia cespitosa	Tufted Hair Grass	1 Gallon				KSHEI		<u></u> Γ Γ	www.dcgtvatershetr&bff	SEATTLE SPOKANE WHIDBEY ISLAND
	445								N N			M	SEATTLE

SHEET NOTES

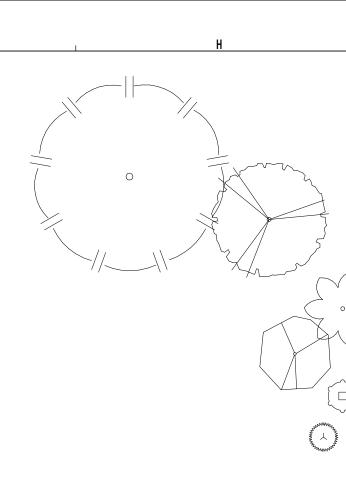
1. VARY PLANTING TYPICALS IN FIELD TO ACCOMMODATE EXISTING NATIVE VART PLANTING TIPICALS IN FILED TO ACCOMMODATE EXISTING NATIVE VEGETATION AND TREE ROOTS TO REMAIN, IF NECESSARY
 DURING PLANT INSTALLATION, USE CAUTION NOT TO DISTURB EXISTING PLANT ROOTS
 SEE ARCHITECTURE SHEETS FOR ADDITIONAL SITE INFORMATION



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		l			J								
	PL	ANT SC	HEDULE								BASE MAP/TOPOGRAPHY PROVIDED BY OTHERS. DCG/WATERSHED CANNOT BE HELD LABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, AND ALL	SHOWN	
	Count	Plant Code	Botanical Name	Common Name	Size	Cont.	Remarks	•				T AS S WATE	
	Trees										ES, U	DCG/	
	4	PIN SHO	Pinus contorta	Shore Pine	Min. 2" cal.	B & B					ATERSHE	IF CONDITIONS ARE NOT AS SHOWN SHOWN, CONTACT DCG/WATERSHEE	
5	2	RHA PER	Rhamnus purshiana	Cascara	Min. 2" cal.	B & B		N			RS. DCGM	S. IF COND S SHOWN,	
	6							DIC			OTHE	TIONS	
\sim	Native	Shrubs						CRII			D BY	CONDI	
	5	MOR CAL	Morella californica	California Wax Myrtle	2 Gallon			DESCRIPTION			PROVIDE	RES AND C BE CONST	Ż
	4	PHI WI2	Philadelphus lewisii	Wild Mockorange	2 Gallon			Β			DGRAPHY CURACY. (G FEATUF CANNOT F	STRUCIIO
	47	SPI SUB	Spiraea densiflora	Sub-alpine Spirea	2 Gallon			DATE:			BASE MAP/TOPOGRAPHY PROVIDED BY OTHERS. DCG/WATERSHED CANNOT BE HELD LABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, AND /	OTHER EXISTING FEATURES AND CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN AND/OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTACT DCG/WATERSHED	LU CUN
**************************************	42	SYM ALB	Symphoricarpos albus	Common White Snowberry	2 Gallon			NO.			BASE	OTHE AND/	וסואל
	98		I		1					42			AND A
	Native	Groundcover	S							2.52	7.8 (: ∖ ISI
۲	52	ARM MAR	Armeria maritima	Sea Thrift	1 Gallon					5.82	F88		HIDBI
ANNA ANA	62	CAM QUA	Camassia quamash	Small Camas	1 Gallon					P: 425.822.5242	vate		≥ ⊎
•	331	DES TUF	Deschampsia	Tufted Hair	1 Gallon			ļ	HE I	ш	dcgFiatersRedt.8b3fi		POKANE WHIDBEY ISLAND

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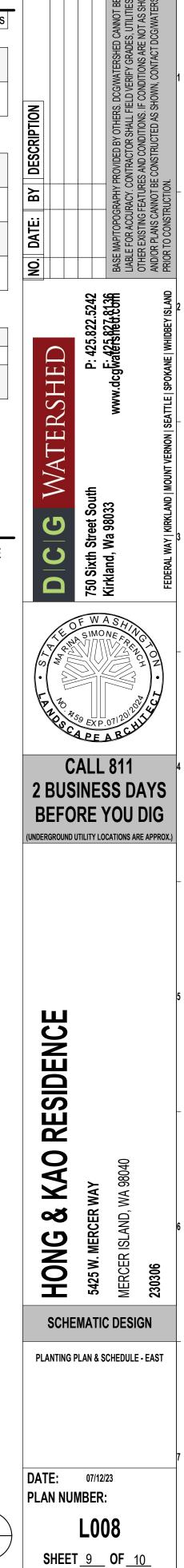
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SHEET NOTES

cespitosa

VARY PLANTING TYPICALS IN FIELD TO ACCOMMODATE EXISTING NATIVE VEGETATION AND TREE ROOTS TO REMAIN, IF NECESSARY
 DURING PLANT INSTALLATION, USE CAUTION NOT TO DISTURB EXISTING PLANT ROOTS
 SEE ARCHITECTURE SHEETS FOR ADDITIONAL SITE INFORMATION

Grass



PLANT INSTALLATION SPECIFICATIONS

GENERAL NOTES

QUALITY ASSURANCE

- 1. PLANTS SHALL MEET OR EXCEED THE SPECIFICATIONS OF FEDERAL, STATE, AND LOCAL LAWS REQUIRING INSPECTION FOR PLANT DISEASE AND INSECT CONTROL.
- 2. PLANTS SHALL BE HEALTHY, VIGOROUS, AND WELL-FORMED, WITH WELL DEVELOPED, FIBROUS ROOT SYSTEMS, FREE FROM DEAD BRANCHES OR ROOTS. PLANTS SHALL BE FREE FROM DAMAGE CAUSED BY TEMPERATURE EXTREMES, LACK OR EXCESS OF MOISTURE, INSECTS, DISEASE, AND MECHANICAL INJURY. PLANTS IN LEAF SHALL BE WELL FOLIATED AND OF GOOD COLOR. PLANTS SHALL BE HABITUATED TO THE OUTDOOR ENVIRONMENTAL CONDITIONS INTO WHICH THEY WILL BE PLANTED (HARDENED-OFF).
- 3. TREES WITH DAMAGED, CROOKED, MULTIPLE OR BROKEN LEADERS WILL BE REJECTED. WOODY PLANTS WITH ABRASIONS OF THE BARK OR SUN SCALD WILL BE REJECTED. 4. NOMENCLATURE: PLANT NAMES SHALL CONFORM TO FLORA OF THE PACIFIC NORTHWEST
- BY HITCHCOCK AND CRONQUIST, UNIVERSITY OF WASHINGTON PRESS, 2018 AND/OR TO A FIELD GUIDE TO THE COMMON WETLAND PLANTS OF WESTERN WASHINGTON & NORTHWESTERN OREGON, ED. SARAH SPEAR COOKE, SEATTLE AUDUBON SOCIETY, 1997.

DEFINITIONS

- 1. PLANTS/PLANT MATERIALS. PLANTS AND PLANT MATERIALS SHALL INCLUDE ANY LIVE PLANT MATERIAL USED ON THE PROJECT. THIS INCLUDES BUT IS NOT LIMITED TO CONTAINER GROWN, B&B OR BAREROOT PLANTS; LIVE STAKES AND FASCINES (WATTLES); TUBERS, CORMS, BULBS, ETC.,; SPRIGS, PLUGS, AND LINERS,
- 2. CONTAINER GROWN. CONTAINER GROWN PLANTS ARE THOSE WHOSE ROOTBALLS ARE ENCLOSED IN A POT OR BAG IN WHICH THAT PLANT GREW.

SUBSTITUTIONS

- 1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN SPECIFIED MATERIALS IN ADVANCE IF SPECIAL GROWING, MARKETING OR OTHER ARRANGEMENTS MUST BE MADE IN ORDER TO SUPPLY SPECIFIED MATERIALS.
- 2. SUBSTITUTION OF PLANT MATERIALS NOT ON THE PROJECT LIST WILL NOT BE PERMITTED UNLESS AUTHORIZED IN WRITING BY THE RESTORATION CONSULTANT.
- 3. IF PROOF IS SUBMITTED THAT ANY PLANT MATERIAL SPECIFIED IS NOT OBTAINABLE, A PROPOSAL WILL BE CONSIDERED FOR USE OF THE NEAREST EQUIVALENT SIZE OR ALTERNATIVE SPECIES, WITH CORRESPONDING ADJUSTMENT OF CONTRACT PRICE.
- 4. SUCH PROOF WILL BE SUBSTANTIATED AND SUBMITTED IN WRITING TO THE CONSULTANT AT LEAST 30 DAYS PRIOR TO START OF WORK UNDER THIS SECTION.

INSPECTION

- 1. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE RESTORATION CONSULTANT FOR CONFORMANCE TO SPECIFICATIONS, EITHER AT TIME OF DELIVERY ON-SITE OR AT THE GROWER'S NURSERY. APPROVAL OF PLANT MATERIALS AT ANY TIME SHALL NOT IMPAIR THE SUBSEQUENT RIGHT OF INSPECTION AND REJECTION DURING PROGRESS OF THE WORK.
- 2. PLANTS INSPECTED ON SITE AND REJECTED FOR NOT MEETING SPECIFICATIONS MUST BE REMOVED IMMEDIATELY FROM SITE OR RED-TAGGED AND REMOVED AS SOON AS POSSIBLE
- 3. THE RESTORATION CONSULTANT MAY ELECT TO INSPECT PLANT MATERIALS AT THE PLACE OF GROWTH. AFTER INSPECTION AND ACCEPTANCE, THE RESTORATION CONSULTANT MAY REQUIRE THE INSPECTED PLANTS BE LABELED AND RESERVED FOR PROJECT. SUBSTITUTION OF THESE PLANTS WITH OTHER INDIVIDUALS, EVEN OF THE SAME SPECIES AND SIZE, IS UNACCEPTABLE.

MEASUREMENT OF PLANTS

1. PLANTS SHALL CONFORM TO SIZES SPECIFIED UNLESS SUBSTITUTIONS ARE MADE AS OUTLINED IN THIS CONTRACT.

- 2. HEIGHT AND SPREAD DIMENSIONS SPECIFIED REFER TO MAIN BODY OF PLANT AND NOT BRANCH OR ROOT TIP TO TIP. PLANT DIMENSIONS SHALL BE MEASURED WHEN THEIR BRANCHES OR ROOTS ARE IN THEIR NORMAL POSITION.
- 3. WHERE A RANGE OF SIZE IS GIVEN, NO PLANT SHALL BE LESS THAN THE MINIMUM SIZE AND AT LEAST 50% OF THE PLANTS SHALL BE AS LARGE AS THE MEDIAN OF THE SIZE RANGE. (EXAMPLE: IF THE SIZE RANGE IS 12" TO 18", AT LEAST 50% OF PLANTS MUST BE 15" TALL.).

SUBMITTALS

PROPOSED PLANT SOURCES

1. WITHIN 45 DAYS AFTER AWARD OF THE CONTRACT, SUBMIT A COMPLETE LIST OF PLANT MATERIALS PROPOSED TO BE PROVIDED DEMONSTRATING CONFORMANCE WITH THE REQUIREMENTS SPECIFIED. INCLUDE THE NAMES AND ADDRESSES OF ALL GROWERS AND NURSERIES.

PRODUCT CERTIFICATES

- 1. PLANT MATERIALS LIST SUBMIT DOCUMENTATION TO CONSULTANT AT LEAST 30 DAYS PRIOR TO START OF WORK UNDER THIS SECTION THAT PLANT MATERIALS HAVE BEEN ORDERED. ARRANGE PROCEDURE FOR INSPECTION OF PLANT MATERIAL WITH CONSULTANT AT TIME OF SUBMISSION.
- 2. HAVE COPIES OF VENDOR'S OR GROWERS' INVOICES OR PACKING SLIPS FOR ALL PLANTS ON SITE DURING INSTALLATION. INVOICE OR PACKING SLIP SHOULD LIST SPECIES BY SCIENTIFIC NAME, QUANTITY, AND DATE DELIVERED (AND GENETIC ORIGIN IF THAT INFORMATION WAS PREVIOUSLY REQUESTED).

DELIVERY, HANDLING, & STORAGE

NOTIFICATION

CONTRACTOR MUST NOTIFY CONSULTANT 48 HOURS OR MORE IN ADVANCE OF DELIVERIES SO THAT CONSULTANT MAY ARRANGE FOR INSPECTION.

PLANT MATERIALS

- 1. TRANSPORTATION DURING SHIPPING, PLANTS SHALL BE PACKED TO PROVIDE PROTECTION AGAINST CLIMATE EXTREMES, BREAKAGE AND DRYING. PROPER VENTILATION AND PREVENTION OF DAMAGE TO BARK, BRANCHES, AND ROOT SYSTEMS MUST BE ENSURED.
- 2. SCHEDULING AND STORAGE PLANTS SHALL BE DELIVERED AS CLOSE TO PLANTING AS POSSIBLE. PLANTS IN STORAGE MUST BE PROTECTED AGAINST ANY CONDITION THAT IS DETRIMENTAL TO THEIR CONTINUED HEALTH AND VIGOR.
- 3. HANDLING PLANT MATERIALS SHALL NOT BE HANDLED BY THE TRUNK, LIMBS, OR FOLIAGE BUT ONLY BY THE CONTAINER, BALL, BOX, OR OTHER PROTECTIVE STRUCTURE, EXCEPT BAREROOT PLANTS SHALL BE KEPT IN BUNDLES UNTIL PLANTING AND THEN HANDLED CAREFULLY BY THE TRUNK OR STEM.
- 4. LABELS PLANTS SHALL HAVE DURABLE, LEGIBLE LABELS STATING CORRECT SCIENTIFIC NAME AND SIZE. TEN PERCENT OF CONTAINER GROWN PLANTS IN INDIVIDUAL POTS SHALL BE LABELED. PLANTS SUPPLIED IN FLATS, RACKS, BOXES, BAGS, OR BUNDLES SHALL HAVE ONE LABEL PER GROUP.

WARRANTY

PLANT WARRANTY

TO BE HEALTHY AND CAPABLE OF VIGOROUS GROWTH.

REPLACEMENT

- DISCRETION MUST BE REMOVED FROM SITE AND REPLACED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- 2. PLANTS NOT SURVIVING AFTER ONE YEAR TO BE REPLACED AT THE CONTRACTOR'S EXPENSE.

PLANT MATERIAL

GENERAL

- VARIETIES SHALL BE USED UNLESS SPECIFIED AS SUCH.

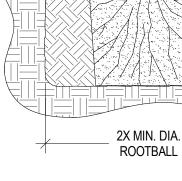
QUANTITIES

SEE PLANT LIST ON ACCOMPANYING PLANS AND PLANT SCHEDULES.

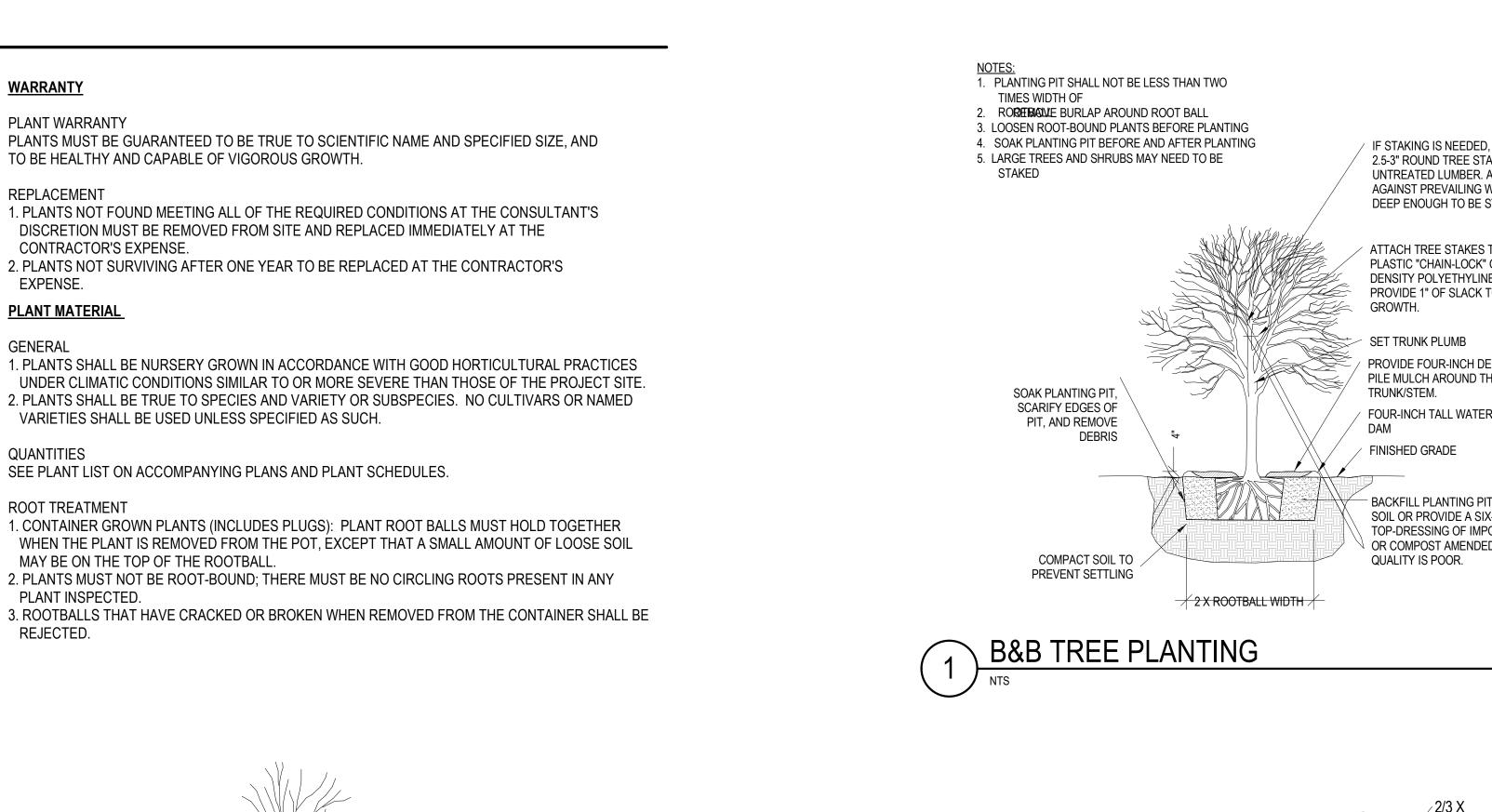
ROOT TREATMENT

- MAY BE ON THE TOP OF THE ROOTBALL.
- PLANT INSPECTED.
- REJECTED.









PLANT ROOT COLLAR SHOULD BE EVEN WITH FINISH GRADE

SPECIFIED MULCH LAYER, HOLD BACK MULCH FROM TRUNK/STEMS

FINISH GRADE

REMOVE DEBRIS AND LARGE ROCKS FROM PLANTING PIT AND SCARIFY SIDES AND BASE. BACKFILL WITH SPECIFIED SOIL. FIRM UP SOIL AROUND PLANT.

REMOVE FROM POT OR BURLAP & ROUGH-UP ROOT BALL BEFORE INSTALLING. UNTANGLE AND STRAIGHTEN CIRCLING ROOTS - PRUNE IF NECESSARY. IF PLANT IS EXCEPTIONALLY ROOT-BOUND, DO NOT PLANT AND RETURN TO NURSERY FOR AN ACCEPTABLE ALTERNATIVE

IF VEGETATION EXISTS WITHIN PLANTING AREA. SPACE AT $\frac{2}{3}$ X FROM STEM OF EXISTING VEGETATION

AREA FOR SPACING ADJUSTMENT

NOTE: FIRST PLACE PLANTS ALONG THE PERIMETER OF THE PLANTING AREA. AND AROUND EXISTING VEGETATION. THEN SPACE THE REMAINDER OF THE PLANTINGS.

> × = PLANT SPACING \oplus = PLANT



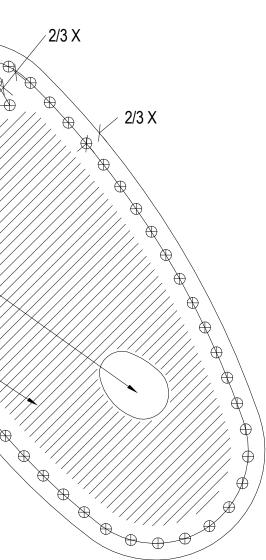
IF STAKING IS NEEDED, PROVIDE A 2.5-3" ROUND TREE STAKE MADE OF UNTREATED LUMBER. ANGLE AGAINST PREVAILING WINDS AND DEEP ENOUGH TO BE STABLE.

ATTACH TREE STAKES TO TRUNK WITH PLASTIC "CHAIN-LOCK" OR EQUAL HIGH DENSITY POLYETHYLINE TREE TIE MATERIAL PROVIDE 1" OF SLACK TO ACCOMODATE TREE

SET TRUNK PLUMB PROVIDE FOUR-INCH DEPTH MULCH, BUT DO NOT PILE MULCH AROUND THE BASE OF THE TRUNK/STEM.

⊕×⊕ ↔

BACKFILL PLANTING PIT WITH NATIVE SOIL OR PROVIDE A SIX-INCH TOP-DRESSING OF IMPORTED TOPSOIL OR COMPOST AMENDED SOIL IF SOIL QUALITY IS POOR.



NO. DATE: BY DESCRIPTION	BASE MAP/TOPOGRAPHY PROVIDED BY OTHERS. DCG/WATERSHED CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, AND ALL OTHER EXISTING FEATURES AND CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN AND/OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTACT DCG/WATERSHED	PRIOR TO CONSTRUCTION.
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MATERSHED h P: 425.822.5242	www.dcgFiatersRedt.cbff	MOUNT VERNON SEATTLE SPOKANE WHIDBEY ISLAND
DCCC	Kirkland, Wa 98033	FEDERAL WAY KIRKLAND MOUNT VERNO
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PLANT INSTALLA Noti		
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GLAZING IN HAZARDOUS LOCATIONS SUBJECT TO HUMAN IMPACT SHALL BE SAFETY OR TEMPERED GLASS. HAZARDOUS LOCATIONS ARE:

GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING

GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES

GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN

GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN THOSE ABOVE, THAT MEETS

4. ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE PLANE OF THE

1. EXPOSED AREA ON AN INDIVIDUAL PANE GREATER THAN 9 SQURE FEET 2. EXPOSED BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR

GLAZING IN WARDROBE DOORS SHALL MEET THE IMPACT TEST REQUIREMENTS FOR SAFETY GLAZING AS

GLAZING IN WALLS AND FENCES USED AS THE BARRIER FOR INDOOR AND OURDOOR SWIMMING POOLS AND

THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE

GLAZING ADJACENT TO STARWAYS, LANDINGS AND RAMPS WITHIN 36" HORIZONTALLY OF A WALKING

IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE

EGRESS IN EVERY SLEEPING ROOM SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24" MINIMUM NET CLEAR

OPENING WIDTH DIMENSION OF 20" AND A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE THE

ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE

APPLICATION AND INSTALLATIONS OF INSULATION AND VAPOR BARRIERS SHALL COMPLY WITH STATE OF

FLOORS: PROVIDE R-30 BATT INSULATION OVER UNHEATED SPACE (UNLESS NOTED OTHERWISE).

PROVIDE THERMAL BREAK BETWEEN SLAB AND FOOTING AND RUN FROM THE TOP OF THE SLAB TO THE

BARRIER MAY BE A COMPONENT OF THE INSULATION MATERIAL. APPLICATION AND INSTALLATIONS OF

INSULATION AND VAPOR BARRIERS SHALL COMPLY WITH STATE OF WASHINGTON THERMAL INSULATION

THE FOLLOWING: PREDOMINATE R- VALUES, U- VALUES OF FENESTRATION, RESULTS FROM DUCT SYSTEM AND BUILDING AIR LEAKAGE TESTING, THE RESULTS FROM THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FLOW RATE TEST, AND THE TYPES

LEAK TESTING: DUCTS MUST BE LEAK TESTED IN ACCORDANCE WITH WSU RS-33 USING THE MAXIMUM DUCT LEAKAGE RATES

SPECIFIED. TOTAL LEAKAGE MUST BE VERIFIED BY EITHER THE ROUGH-IN TEST OR POSTCONSTRUCTION TEST PER WSEC R403.3.3.

TOTAL LEAKAGE MUST BE LESS THAN OR EQUAL TO 4CFM PER 100 SF OF CONDITIONED FLOOR AREA WHEN TESTED AT A PRESSURE

MAXIMUM PER HOUR AT 50 PASCALS AND ALL WHOLE HOUSE VENTILATION REQUIREMENTS

OR IRC M1505.4 OR IMC 403.4 SHALL BE MET WITH HEAT RECOVERY VENTILATION SYSTEM

. 6.0 CREDITS REQUIRED

.. 1.0 CREDITS

.. 1.0 CREDITS

.. 6.0 CREDITS

CERTIFICATE: PRIOR TO SUBSTANTIAL COMPLETION POST ON A WALL NEAR THE HEATING EQUIPMENT OR ON AN ELECTICAL PANEL

BOTTOM OF THE FOOTING. INSULATION MAY BE INTERRUPTED FOR 6" EVERY 2'-0" TO ALLOW FOR

SLAB ON GRADE: PROVIDE EXTRUDED RIGID CLOSED CELL INSULATION R-10. INSULATION TO

VAPOR BARRIERS: AN APPROVED VAPOR BARRIER SHALL BE INSTALLED AT EXTERIOR WALLS.

AND EFFICIENCIES OF HEATING/COOLING/WHOLE-HOUSE MECHANICAL VENTILATION/WATER HEATING EQUIPMENT.

SECTION R406 ADDITIONAL ENERGY EFFICIENCY REQUIREMENTS

2.3 REDUCE AIR LEAKAGE TO 1.5 AIR CHANGES...... 1.5 CREDITS

3.5 AIR SOURCE DUCTED HEAT PUMP MIN. HSPF 11.0 1.5 CREDITS

5.3 ENERGY STAR UEF 0.91 WATER HEATER 1.0 CREDITS

TEST AIR LEAKAGE CHANGES WITH A BLOWER DOOR AT A PRESSURE OF 0.2" W.G. (50 PASCALS)

INTEGRATE WHOLE HOUSE VENTILATION WITH AIR HANDLER FANS THAT ARE VARIABLE SPEED WITH LOW SPEED OPERATION NOT GREATER THAN 25% OF RATED SUPPLY

AIRFLOW. OUTDOOR AIR INTAKE OPENINGS MUST MEET THE PROVISIONS OF R303.5 AND R303.6 AND MUST INCLUDE MOTORIZED DAMPERS ACTIVATED BY THE WHOLE HOUSE VENTILATION CONTROLLER. TEST AND VERIFY THAT OUTDOOR AIR INTAKE AT MINIMUM

VENTILATION FAN SPEED AND MAXIMUM HEATING OR COOLING FAN SPEED.

WITH MIN. SENSIBLE HEAT RECOVERY EFFICIENCY OF 0.75

SYSTEM TO BE INSTALLED IN COMPLIANCE WITH IRC R324

TOTAL PROVIDED

ROOF AND CEILING: INSULATED WITH R-10 CLOSED CELL FOAMED IN-PLACE INSULATION, UNFACED FIBERGLAS

UNIFORM BUILDING CODE AND THE WASHINGTON STATE ENERGY CODE, LATEST EDITION.

SURFACE WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE PLANE OF THE

GLAZING ADJACENT TO STAIRWAYS, WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY

THE GLAZING IS WITHIN 5 FEET OF A SWIMMING POOL OR SPA WATER'S EDGE

3. EXPOSED TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR

GLAZING IN SWINGING DOORS EXCEPT JALOUSIES

DOORS OTHER THAN WARDROBE DOORS.

GLAZING IN ALL UNFRAMED SWINGING DOORS

ABOVE A STANDING SURFACE AND DRAIN INLET.

60 INCHES ABOVE THE WALKING SURFACE.

ALL OF THE FOLLOWING CONDITIONS:

THE GLAZING GLAZING IN RAILINGS REGARDLESS OF HEIGHT.

ADJACENT WALKING SURFACE.

NOSE OF THE TREAD.

FLOOR. IRC SEC. R310.1

ENERGY:

THIS VAPOR

STANDARDS (H.B. 96).

TESTING

SET FORTH IN UBC STANDARD NO. 24-2, PART II.

SPAS WHEN ALL OF THE FOLLOWING CONDITIONS ARE PRESENT:

VERIFY ALL CONDITIONS BEFORE PROCEEDING WITH WORK.

WASHINGTON THERMAL INSULATION STANDARDS (H.B. 98).

DOWELING TO TIE SLAB AND FOOTING TOGETHER.

DIFFERENTIAL OF 0.1" W.G. (25 PA) ACROSS THE ENTIRE SYSTEM.

R406.3 MEDIUM DWELLING UNIT FUEL NORMALIZATION CREDITS

3. HIGH EFFICIENCY HVAC EQUIPMENT

WHOLE HOUSE VENTILATION

FAN MUST BE SOUND RATED TO ONE SONE.

6. RENEWABLE ELECTRIC ENERGY OPTION 6.1 1200 KWh PHOTO VOLTAIC SYSTEM

5. EFFICIENT WATER HEATING

2. AIR LEAKAGE CONTROL

SYSTEM TYPE 2 LISTED HEAT PUMP......

WALLS: INSULATED WITH R-21 BATT, INSULATE HEADERS TO R-10.

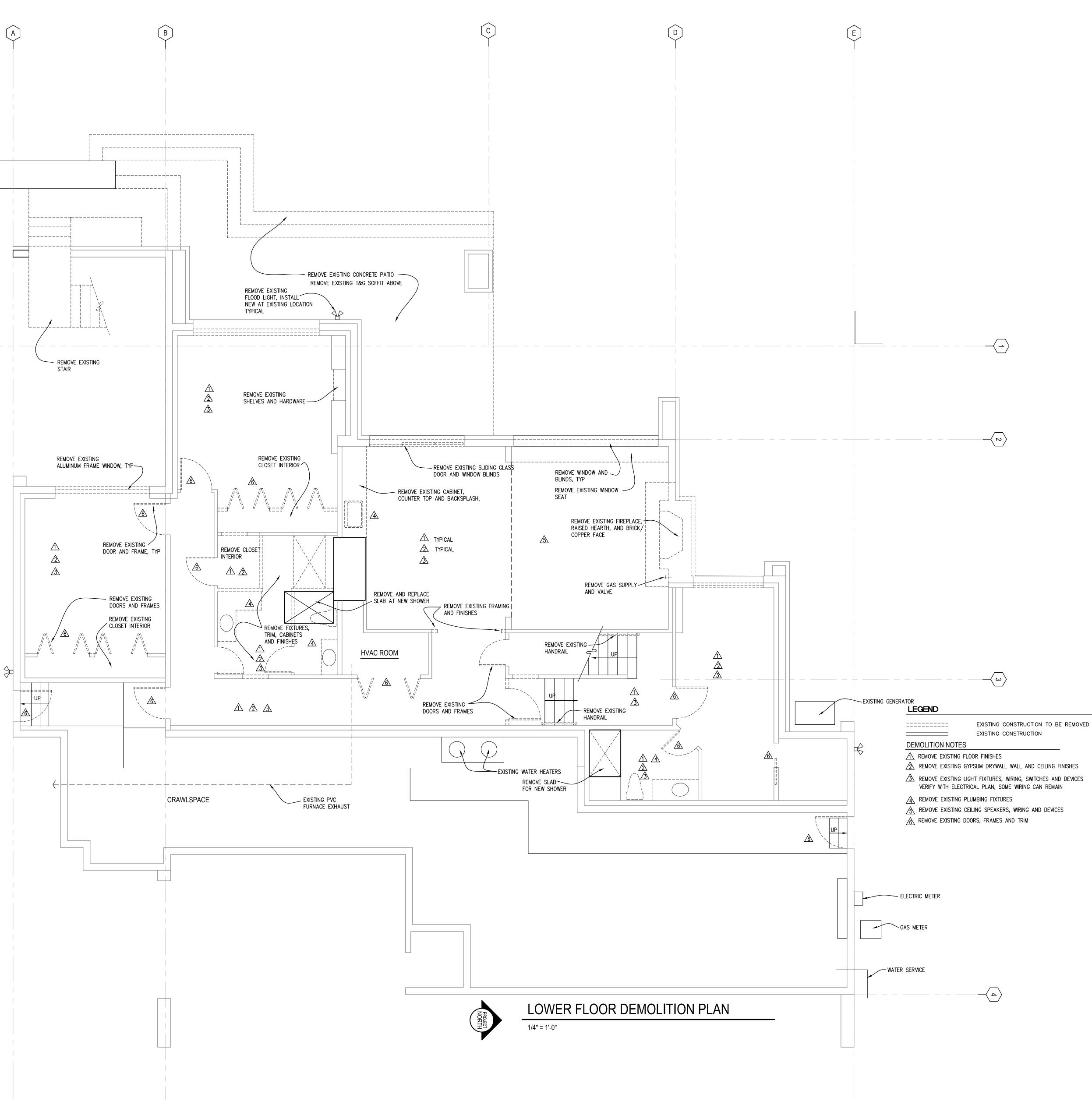
BATTS IN 2X RAFTERS TO R-38 IN VAULTED CEILING CONDITIONS.

GLAZING IN STORM DOORS

TO BE IN COMPLIANCE WITH IRC SEC. R308, AND WASHINGTON

STATE SAFETY GLASS LAW, EXCEPTIONS ARE AS OUTLINED IN IRC SEC R308.4.

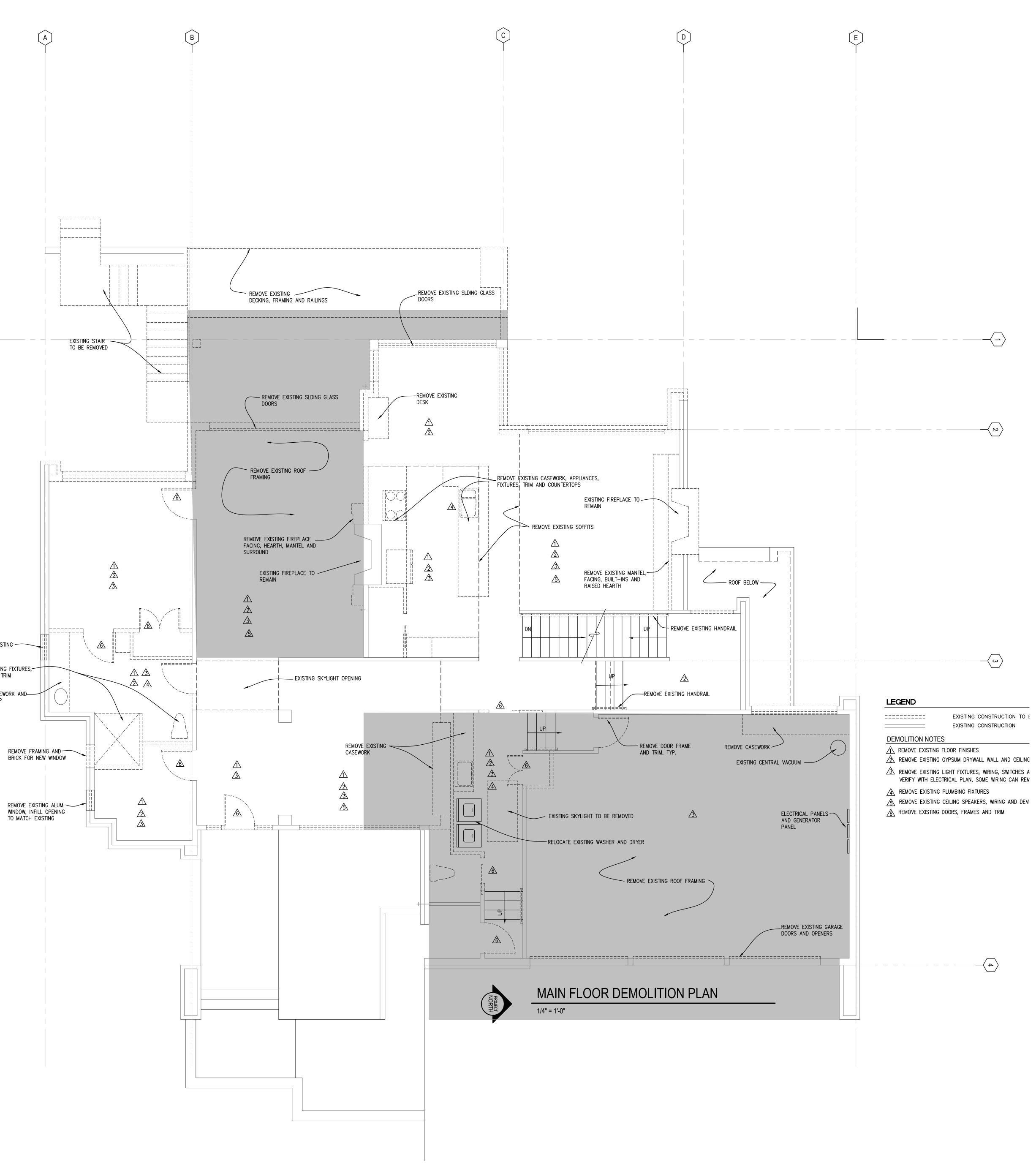
GLAZING



Date:

10/16/23 RESPONSE 9/28/23 PRICING SET No. Date \bigcirc Ζ Ш S M Ċ õ HONG 5425 W. MERC MERCER ISLA 5425 MER(DEMOLITION PLAN 2.0 Sheet No 2222 9/8/23 Project No

REMOVE CASEWORK AND-COUNTER TOP



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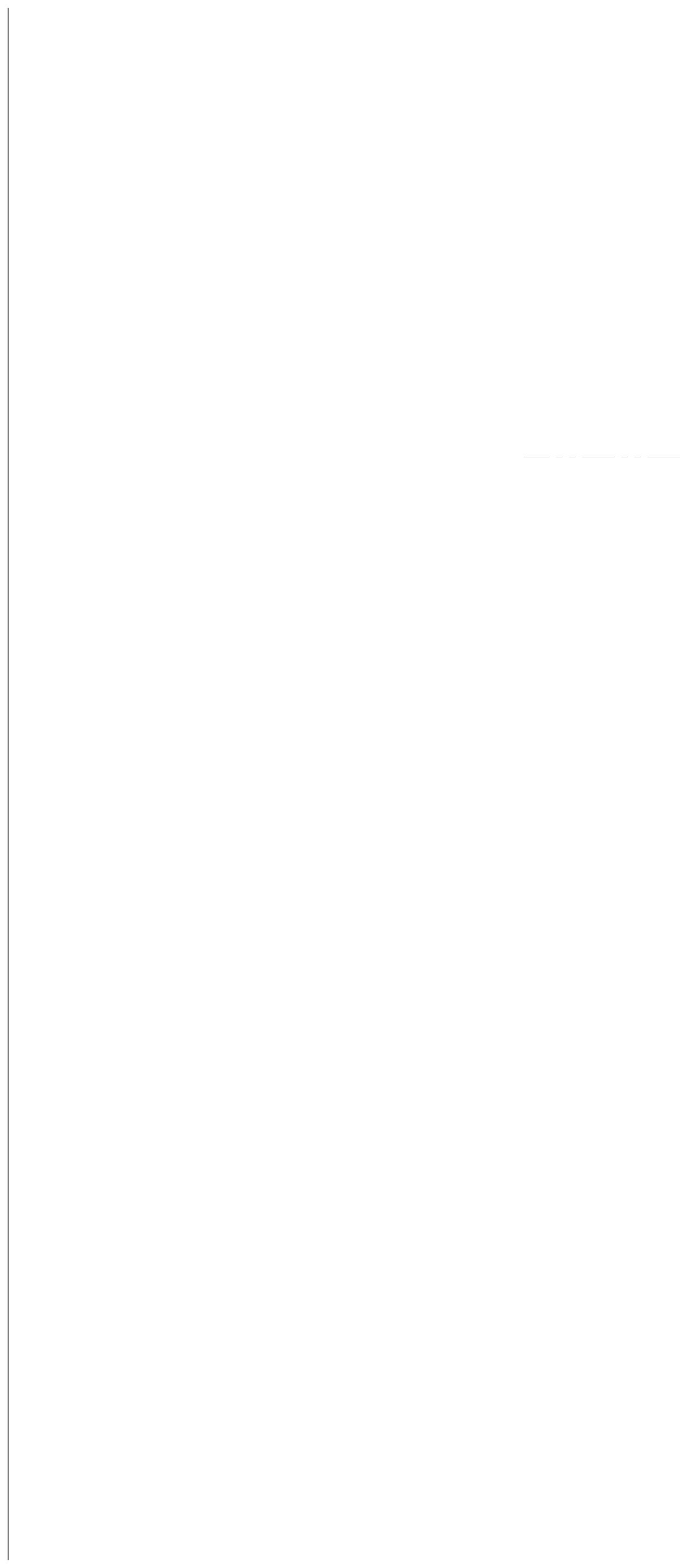
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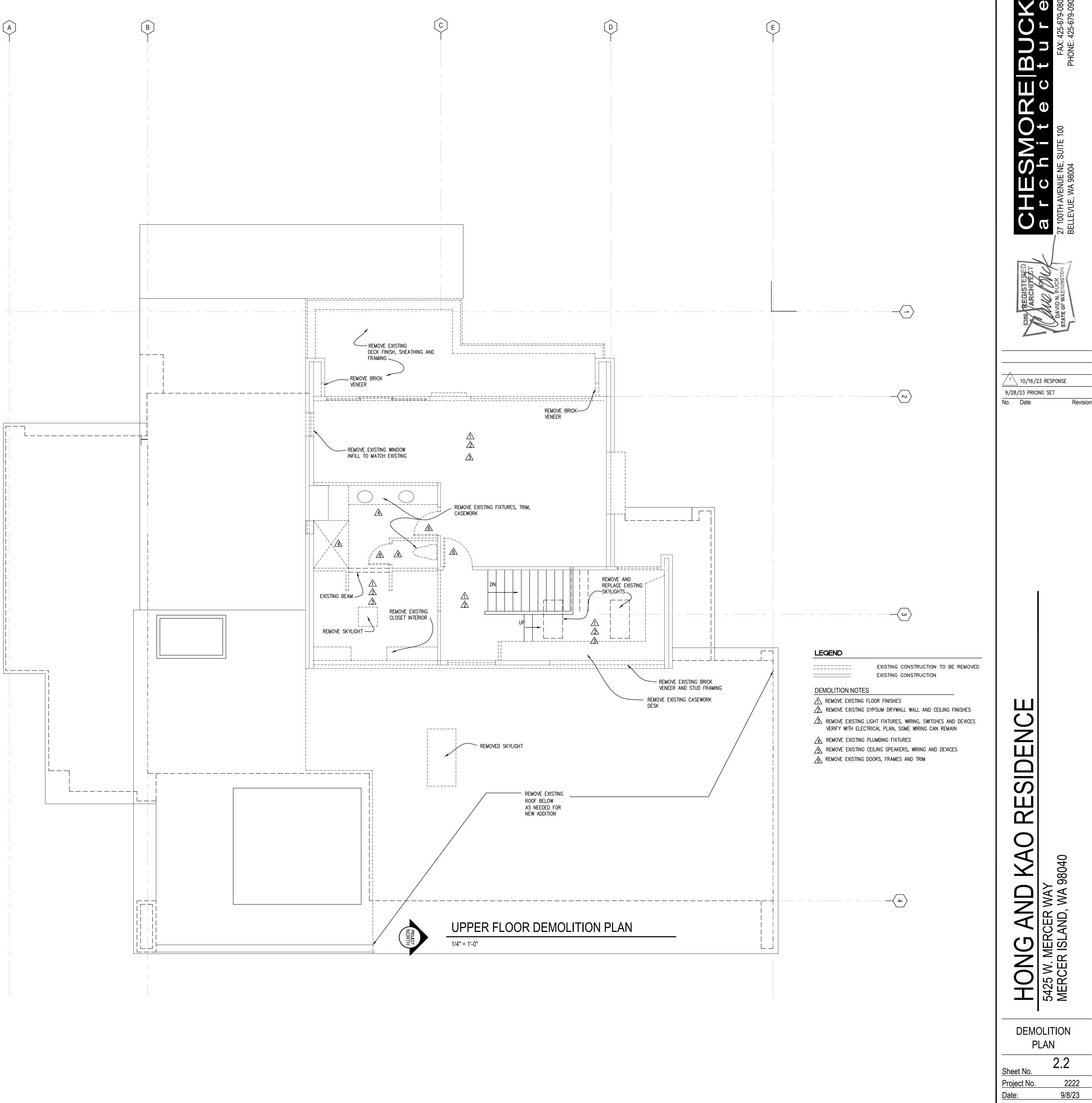
KAO 98040 XA MA **ND** HONG A 5425 W. MERC MERCER ISLA DEMOLITION PLAN 2.1

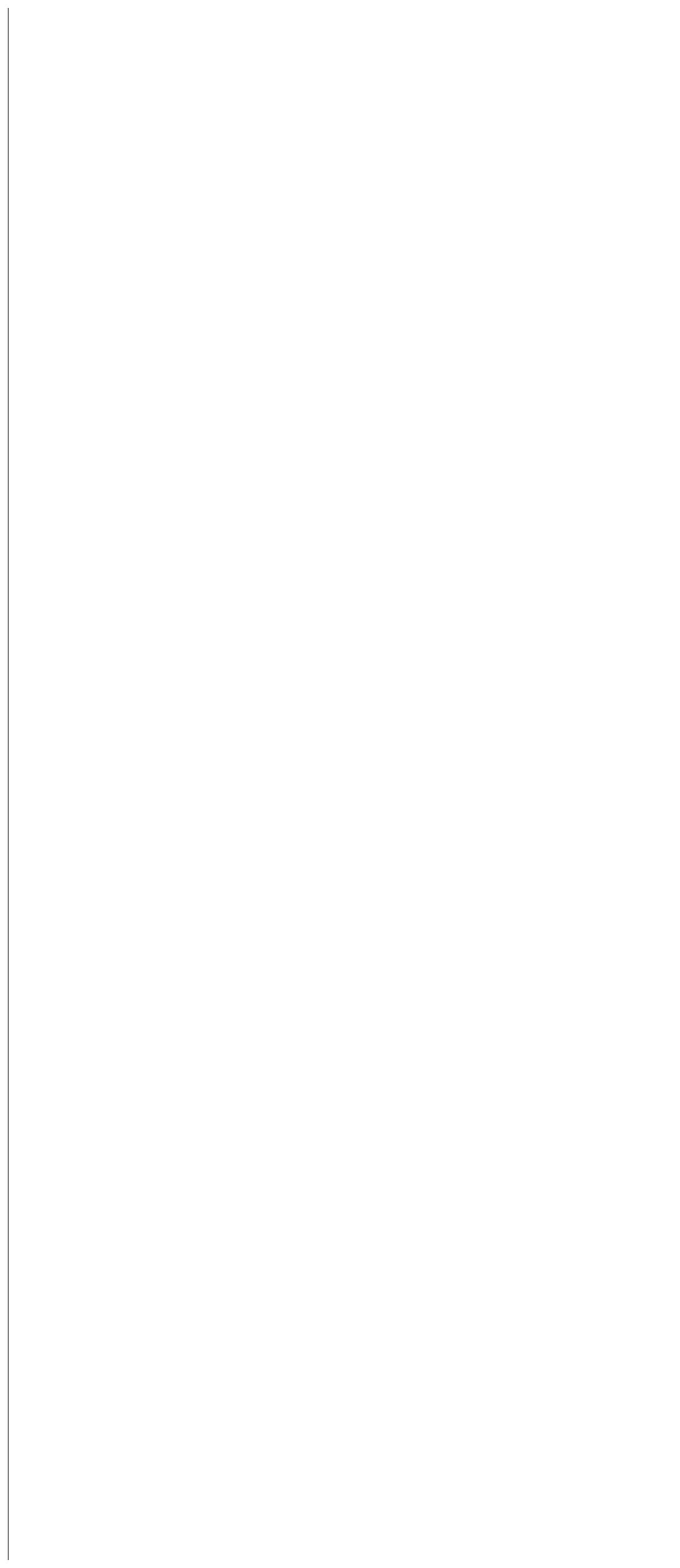
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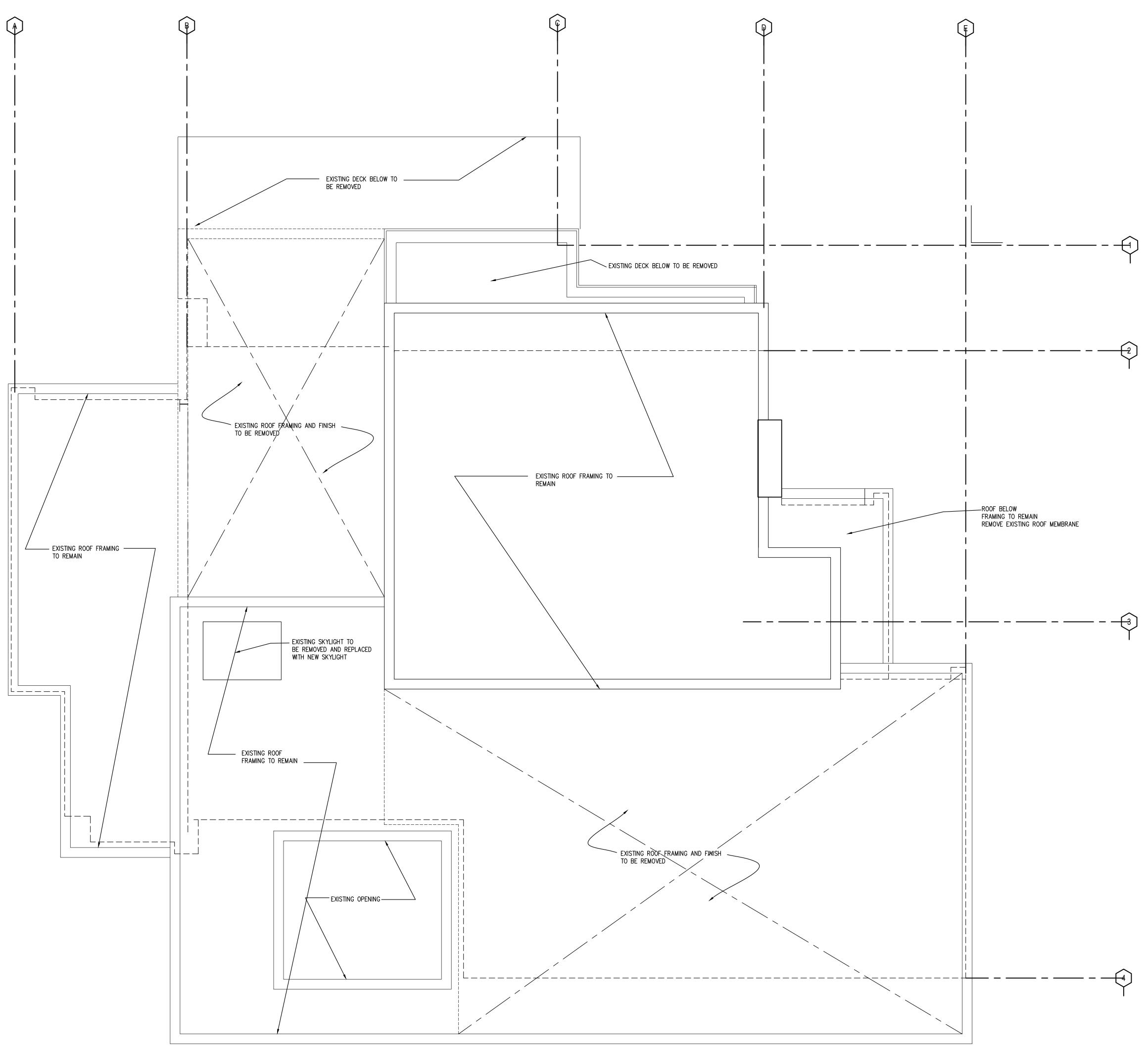
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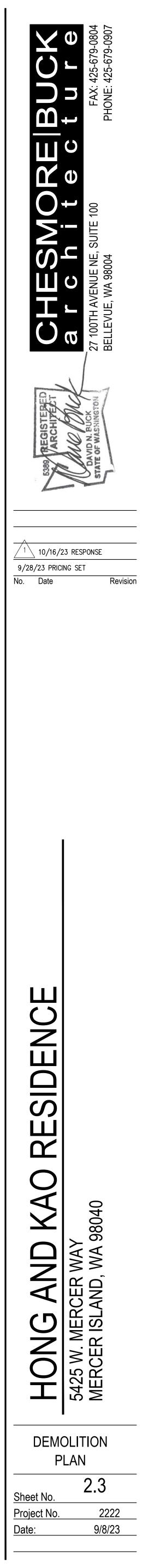






ROOF DEMOLITION PLAN 1/4" = 1'-0"

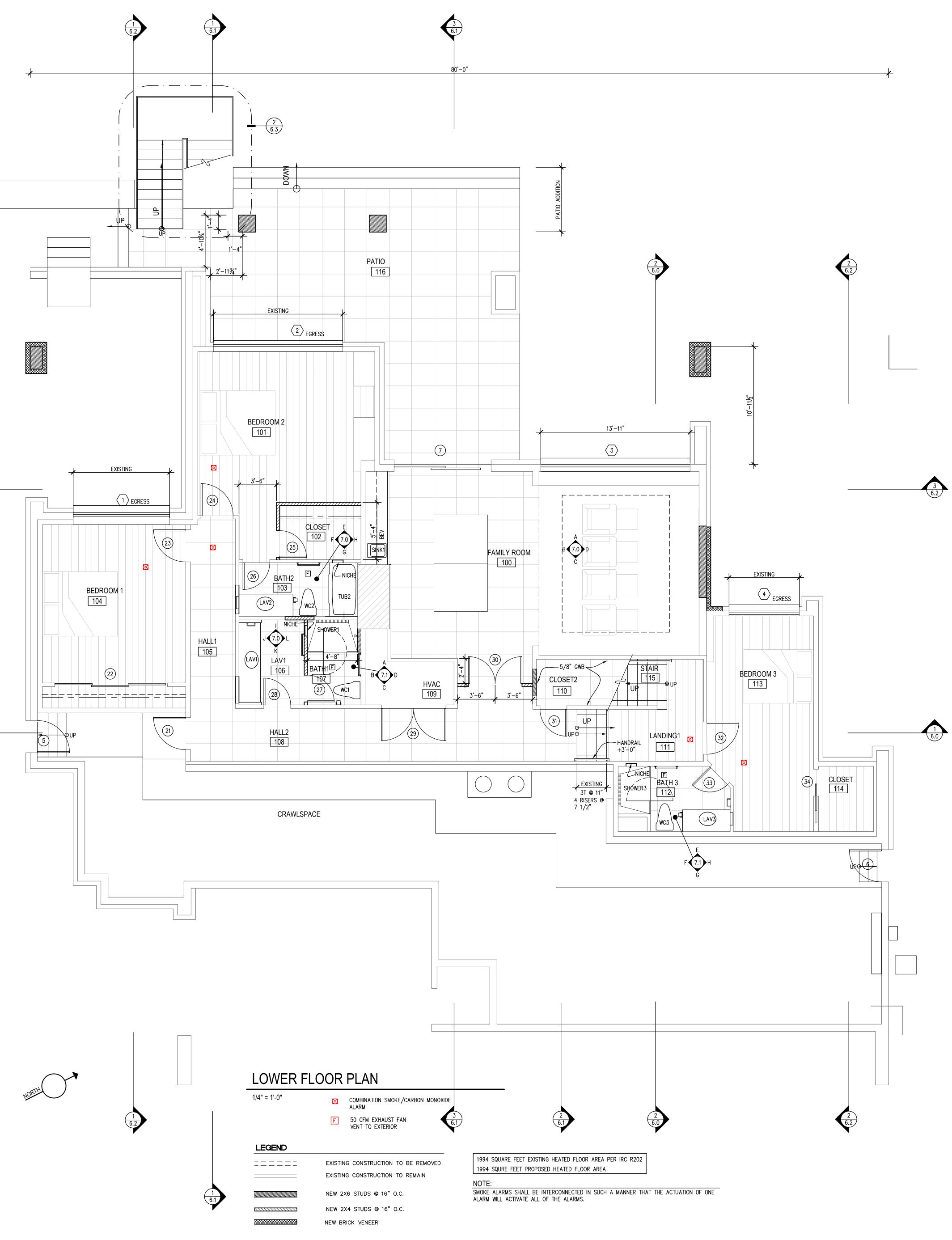
NOTE: ALL EXISTING ROOF MEMBRANE TO BE REMOVED.



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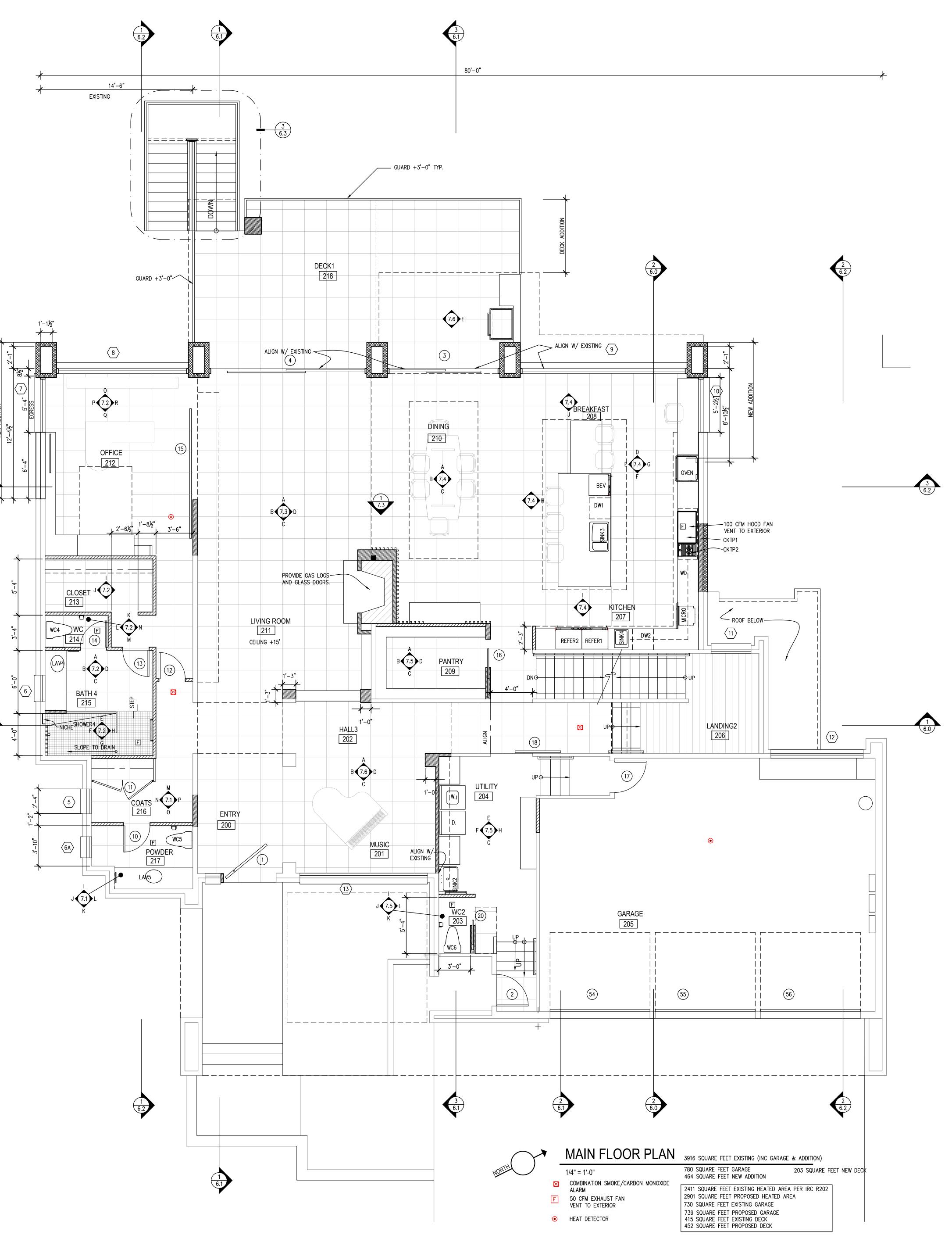
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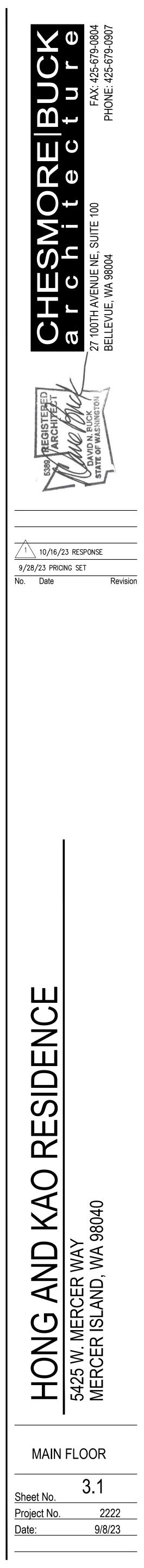
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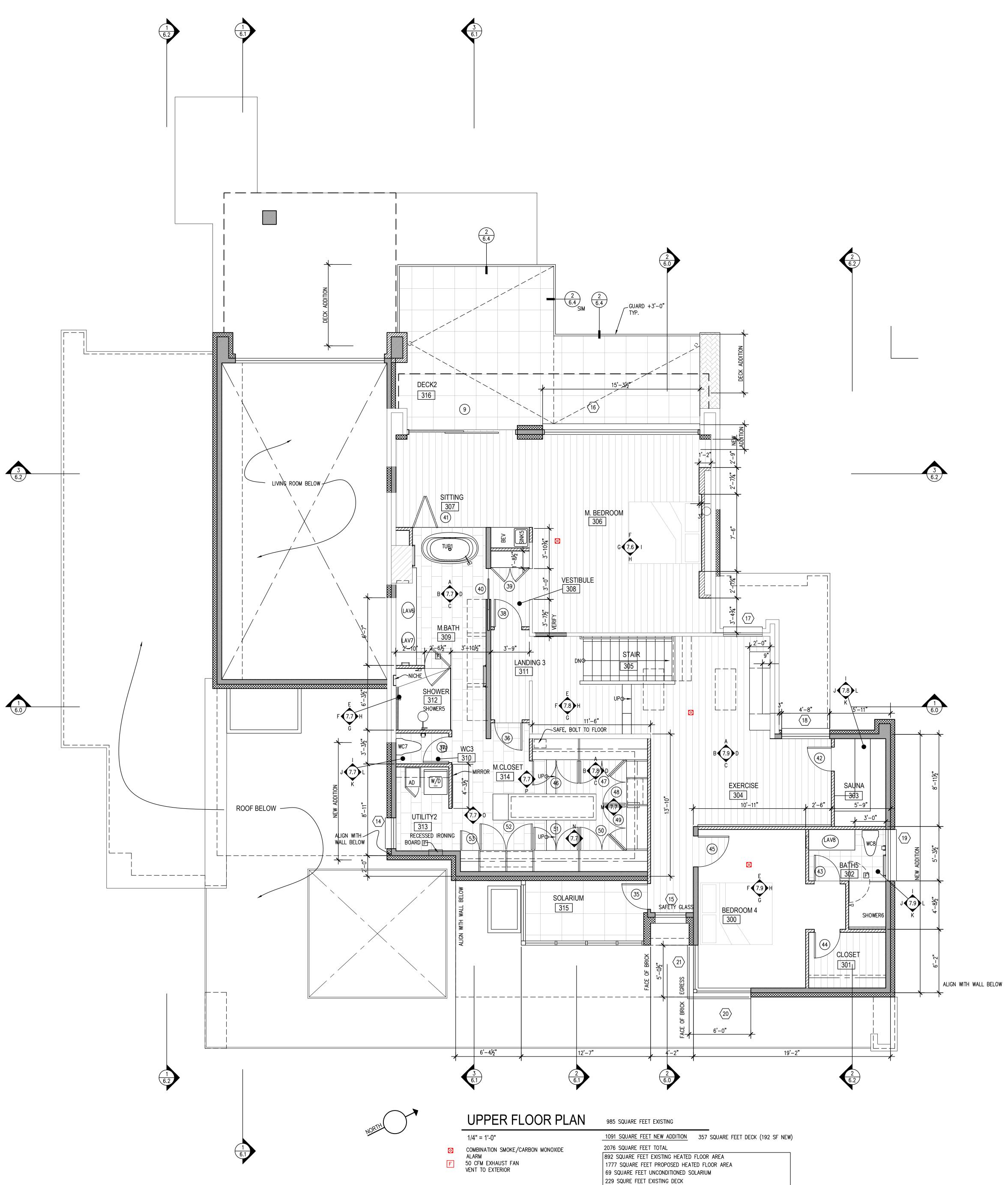
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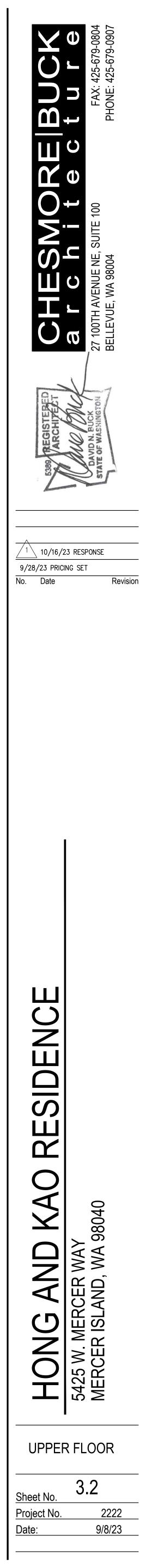


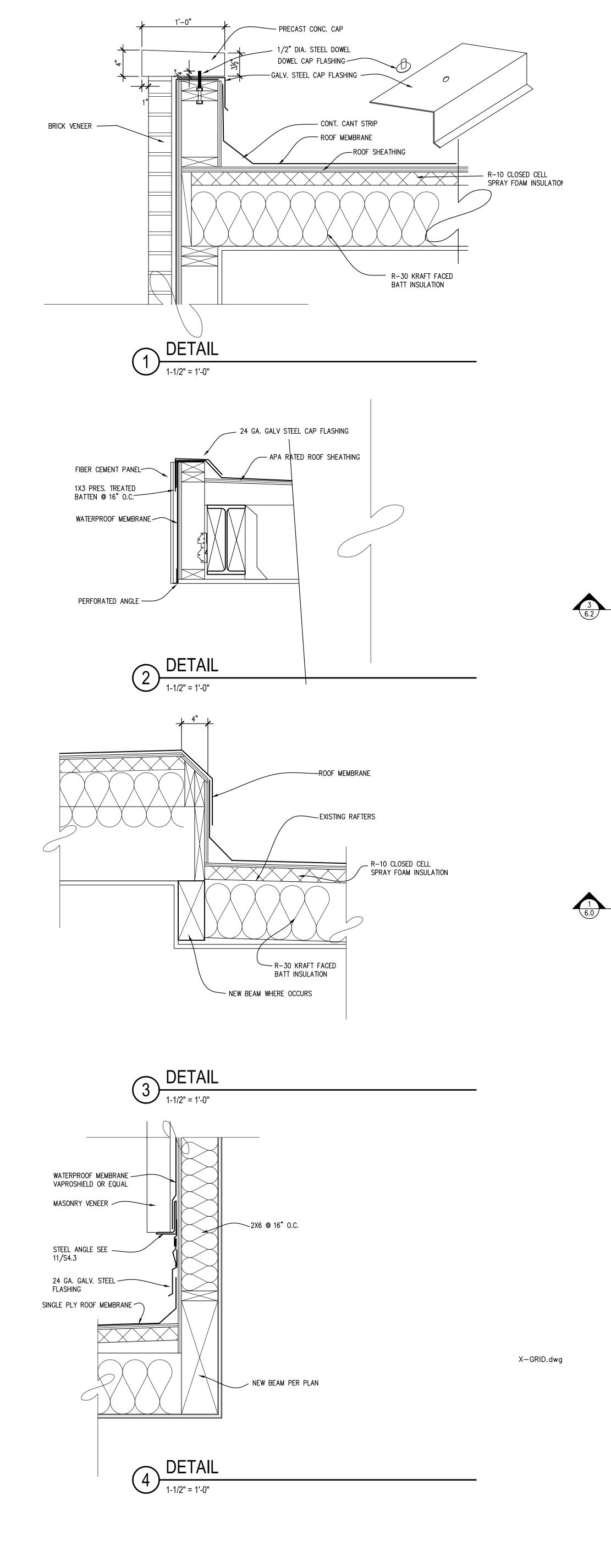
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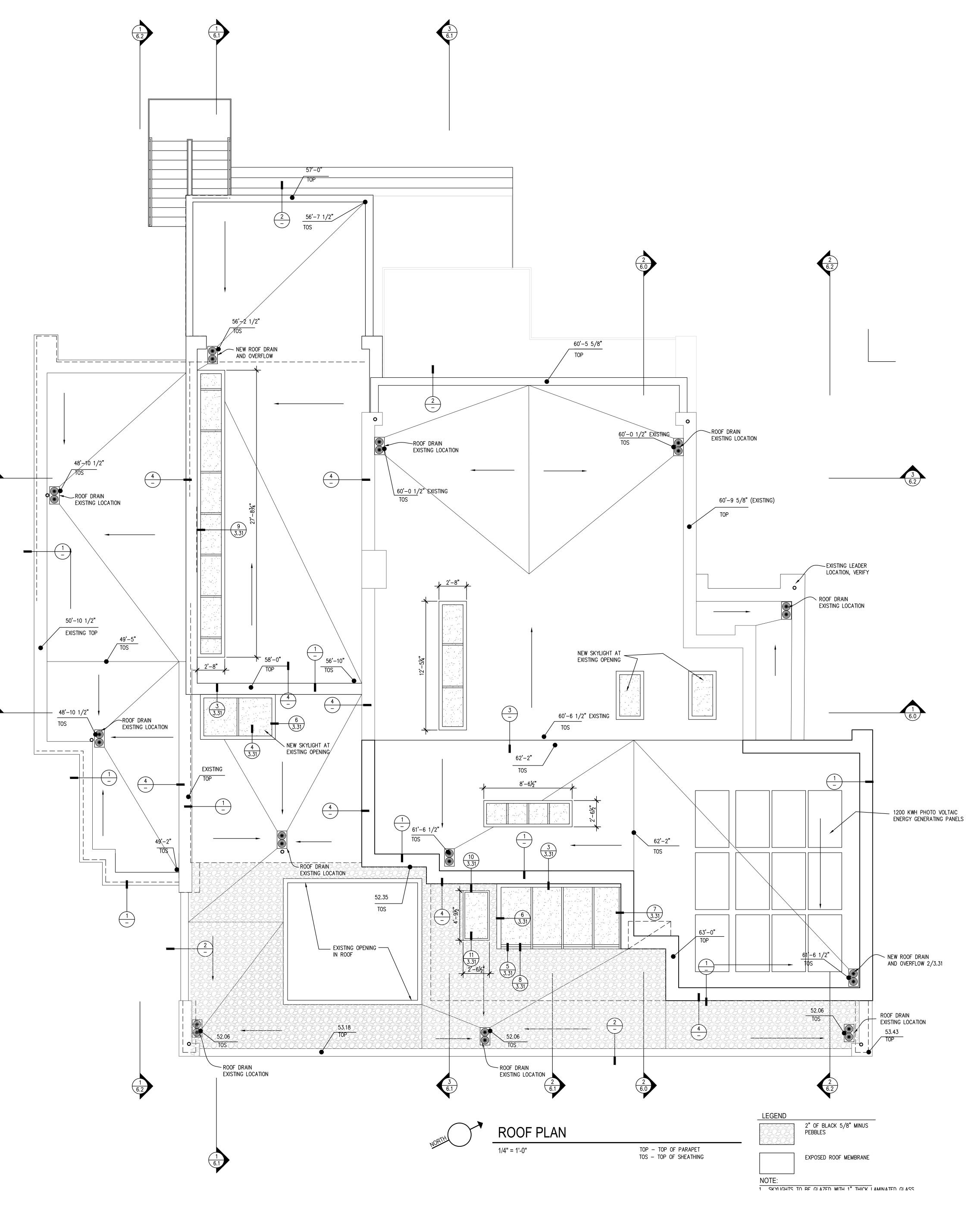
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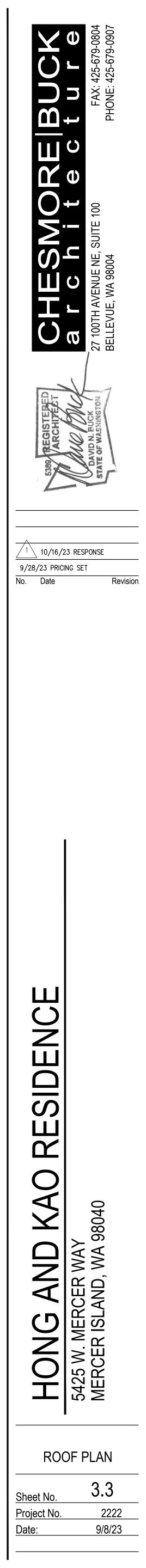


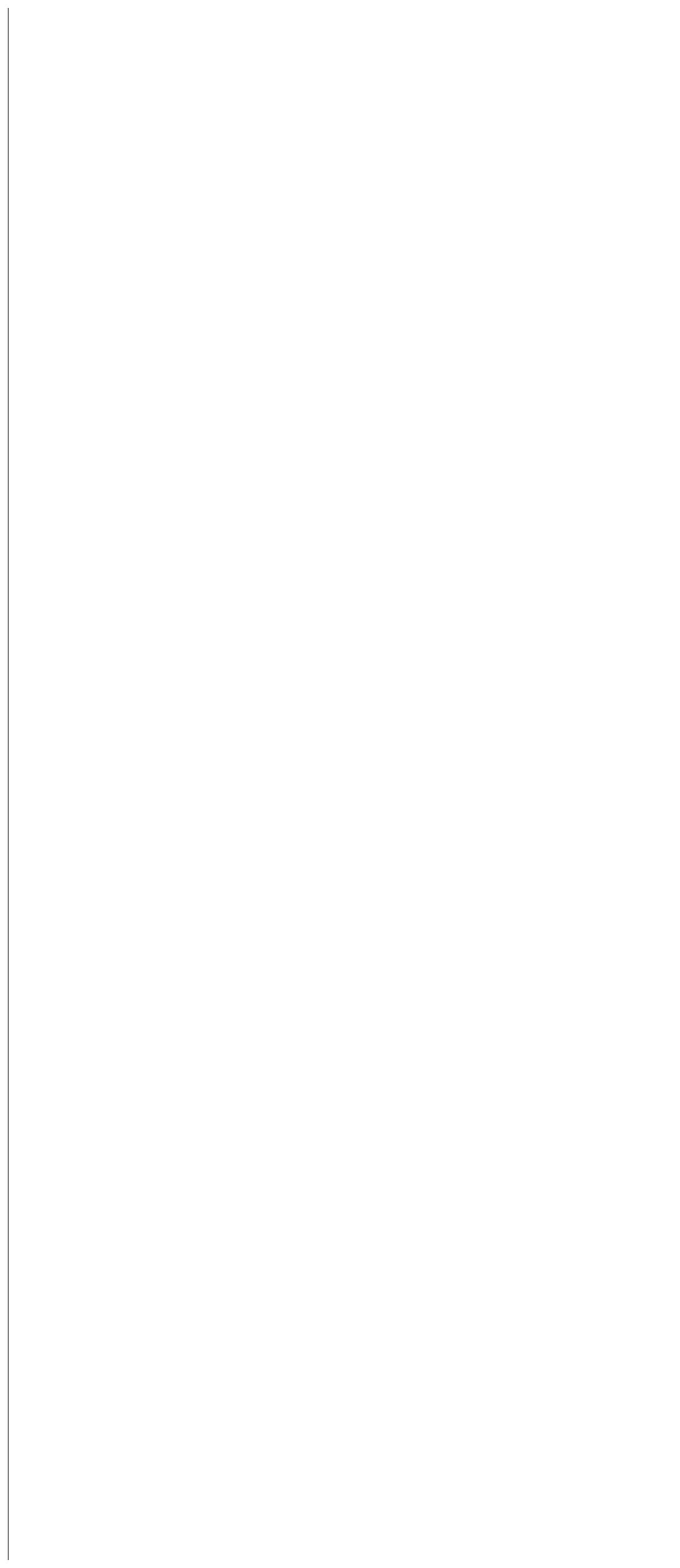
- 229 SQURE FEET EXISTING DECK 356 SQUARE FEET PROPOSED DECK

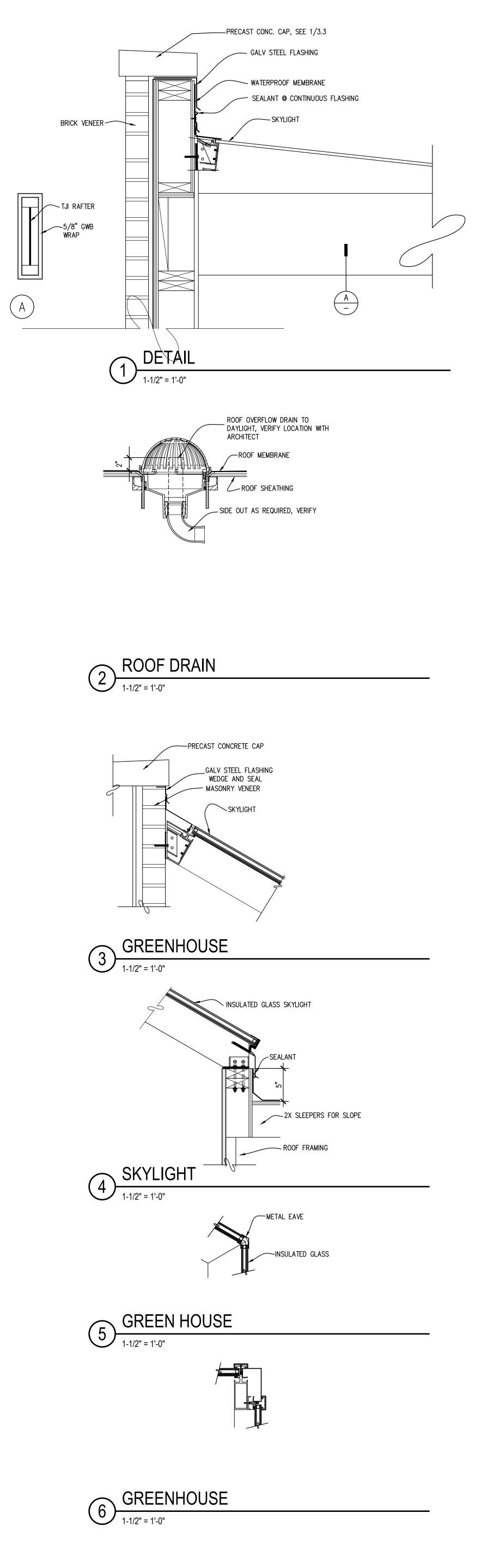


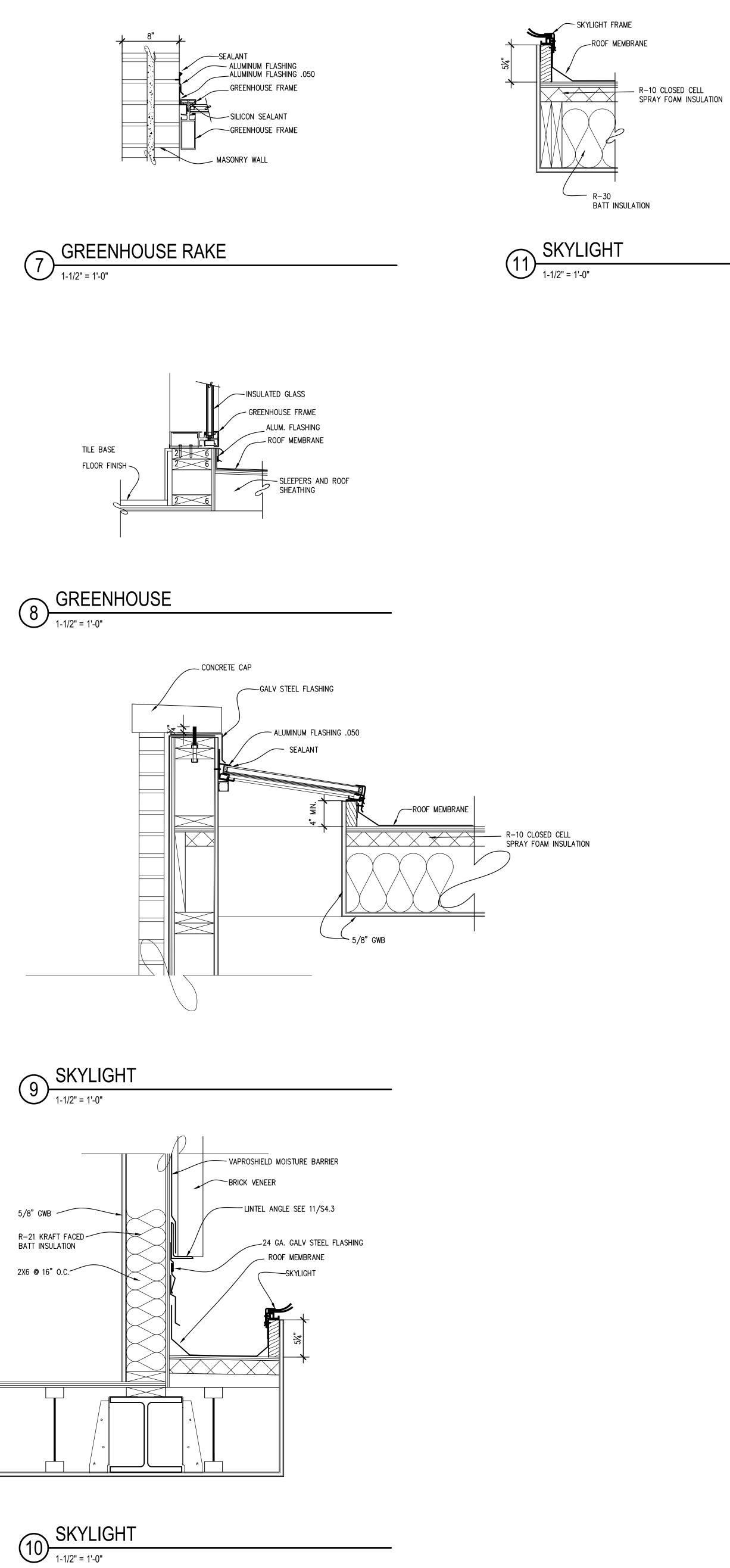










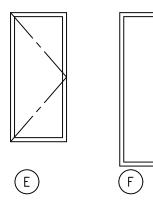


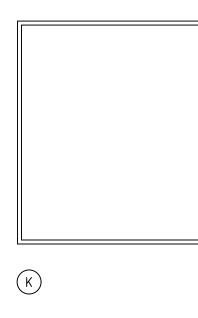


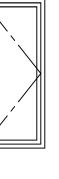
	ROUGH (OPENING	HEAD HEIGHT		-UE	DETAILS				
< <u>#</u> >	WIDTH	HEIGHT		TYPE	U-VALUE	HEAD det#/sht#	JAMB det#/sht#	JAMB det#/sht#	SILL det#/sht#	REMARKS
1	9'-0"	6'-8"	10'-3"	Α	.30	4/4.3	3/4.3	3/4.3	2/4.3	EXISTING OPENING EGRESS
2	12–0"	7'–10"	9'-3"	В	.30	4/4.3	3/4.3	3/4.3	2/4.3	EXISTING WIDTH EGRESS
3	13–11"	8'-6"	10'-3"	С	.30	1/4.3	3/4.3	5/4.3	2/4.3	-
4	6'-6"	5'-9"	8'-8"	D	.30	6/4.3	3/4.3	3/4.3	2/4.3	– EGRESS
5	2'-4"	4'-10"	7'-11" EXISTING	E	.30	6/4.3	3/4.3	3/4.3	2/4.3	-
6	2'-4"	4'-10"	7'-11" EXISTING	E	.30	6/4.3	3/4.3	3/4.3	2/4.3	OBSCURE GLASS LLUMAR MATTE FROST GLACIER
6A	2'-4"	4'-10"	7'-11" EXISTING	E	.30	6/4.3	3/4.3	3/4.3	2/4.3	OBSCURE GLASS LLUMAR MATTE FROST GLACIER
7	5'-4"	7'-9"	7'-11"	D	.30	11/4.3	7/4.3	15/4.3	2/4.3	- EGRESS PROVIDE FALL PROTECTION
8	12'-6"	7'-9"	7'–11"	F	.30	14/4.3	8/4.3	8/4.3	12/4.3	SAFETY GLASS
9	15'–10"	9'-6"	9'-8"	к	.30	1/4.3	8/4.3	8/4.3	12/4.3	SAFETY GLASS
10	5'-2"	6'-10"	9'-8"	E	.30	6/4.3	7/4.3	15/4.3	2/4.3	
11	3'-8"	5'-9"	6'-8"	F	.30	6/4.3	3/4.3	3/4.3	2/4.3	EXISTING OPENING
12	8'-8"	4'-0"	7'-6"	G	.30	6/4.3	3/4.3	3/4.3	2/4.3	EXISTING OPENING PROVIDE FALL PROTECTION
13	12'–1"	8'-0"	9'-8"	С	.30	6/4.3	3/4.3	3/4.3	2/4.3	EXISTING WIDTH
14	3'-0"	6'-6"	9'-6"	E	.30	6/4.3	3/4.3	3/4.3	2/4.3	-
15	3'-0"	7'-0"	8'-0"	E	.30	6/4.3	3/4.3	3/4.3	2/4.3	SAFETY GLASS
16	15'–3"	8'-3"	8'-3"	С	.30	1/4.3	8/4.3	9/4.3	13/4.3	SAFETY GLASS
17	3'-8"	6'-9"	7'-4"	н	.30	6/4.3	3/4.3	3/4.3	2/4.3	EXISTING OPENING PROVIDE FALL PROTECTION SAFETY GLASS
18	4'-8"	6'-9"	7'-4"	н	.30	6/4.3	3/4.3	3/4.3	2/4.3	PROVIDE FALL PROTECTION SAFETY GLASS
19	5'-0"	2'-0"	8'-0"	I	.30	6/4.3	3/4.3	3/4.3	2/4.3	-
20	5 ' –3"	7'-0"	8'-0"	J	.30	6/4.3	3/4.3	10/4.3	2/4.3	– EGRESS
21	4'-3"	7'-0"	8'-0"	н	.30	6/4.3	10/4.3	3/4.3	2/4.3	-

WINDOW TYPES SCALE: 1/4" = 1'-0"

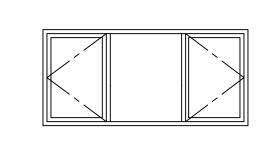
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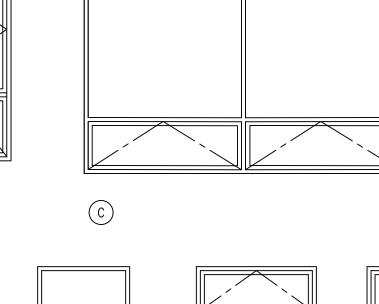




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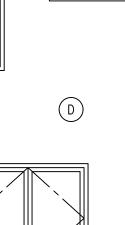


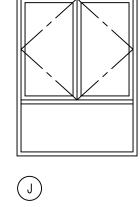
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H





L	000	R S	CHED	U	L	E	ALUMINU EXT. FIN HARDWA	R DOORS BY JM CLAD FRA NSH NRE	': QUAN Ames; Insul ; Int. I 	LATED FINISH) HIG 1	SH PE	RFORI	MANC	E GL	.AZIN	<u> </u>			DOORS TO BE SOLID CORE
	DOOR DIN				Ш	DETAIL	2			ET	SET	OLT	У	FLUSH BOLTS	PULL	CLOS. LATCH	PCKT. ROLLER		r	REMARKS REMARKS
#)	(NOTE: VERIFY WIDTH	HEIGHT		TYPE	U-VALUE	HEAD	JAMB det#/sht#	JAMB det#/sht#	SILL det#/sht#	LOCKSET	LATCHSET	DEADBOLT	PRIVACY	HSU	KNOB PULL	COS.	CKT.	BUTTS	CLUSER	H H H REMARKS
1	5'–0"	8'-0 "	_		.30		2/4.2	3/4.2	4/4.2						_	0				RIXSON 375 PIVOT
2	3'-0"	7'-0"	_	В	.30	7/4.2	8/4.2	8/4.2	37/4.2	•		•						• (5	EXISTING ROUGH OPENING
3	10'-8"	9'-6"	-	С	.30	9/4.2	10/4.2	10/4.2	11/4.2	•	0	0	0	0	0	0	0	0	2	LIFT/SLIDE
4	14'–11"	9'-6"	_	С	.30	12/4.2	10/4.2	10/4.2	11/4.2		0	0	0	0	0	0	0	0) c	LIFT/SLIDE
5	_	-	_	-	-	-	-	-	-		0							0	_	
6	-	-	_	-	-	-	-	-	-	0		0						00		
7	9'-0"	9'-0" USED		C	.30	33/4.2	34/4.2 _	34/4.2	35/4.2		0	0								LIFT/SLIDE -
8 9	NOT 10'-8"	8'-2"	_		30		10/4.2	10/4.2	- 11/4.2	•		-							_	LIFT/SLIDE
9 10	2'-6"	7'-10"	_	D		14/4.2	15/4.2	15/4.2	-		0	-	•				0		_	0 -
11	PR 3'-0"	7'-10"	_	E	-	18/4.2	16/4.2	17/4.2	_		0									O RIXSON 128-3/4
12	2'-6"	7'-10"	_	D	-	14/4.2	15/4.2	15/4.2	-	0	0	0				0			_	0 -
13	2'-6"	7'–10"	_	D	-	14/4.2	15/4.2	15/4.2	_	0	0	0	ullet	0	0	0	0	•	2	0 -
14	2'-6"	7'–10"	_	D	-	14/4.2	15/4.2	15/4.2	-	0	0	0	ullet	0	0	0	0	•	2	0 -
15	12'-4"	7'-10"	-	F	-	19/4.2	-	-	-		0	-							_	O BARN DOOR HARDWARE
16	2'-8"	7'-0"	_	G	-	22/4.2	20/4.2	21/4.2	-		-	0							_	O POCKET DOOR
17	2'-8"	7'-0"	-	G	-	15/4.2	15/4.2	15/4.2	-	•		-								SOLID CORE WITH CLOSER
18	4'-4"	9'-6"	_	F	-	19/4.2	-	-	-			-						_	_	O BARN DOOR HARDWARE O -
19 20	NOT 2'-8"	USED -	-	- D	-	- 22/4.2	- 23/4.2	- 21/4.2	-			-								O POCKET DOOR
20 21	2-0 3'-0"				-	15/4.2 SIM			_										_	
22	3@ 3'-6"	-	_	G	+_	24/4.2	25/4.2	26/4.2	_	-	-				_				_	O SLIDING DOOR
23	3'-0"	10'-2"	_	D	-	14/4.2	15/4.2	15/4.2	_			-								0 -
24	3'-0"	10'-2"	_	D	-	14/4.2	15/4.2	15/4.2	-			-						_	_	0 -
25	2'-6"	8'-0"	_	D	-	14/4.2	15/4.2	15/4.2	_	0	•	0	0	0	0	0	0	• (5 I	0 -
26	2'-6"	8'-0"	_	D	-	14/4.2	15/4.2	15/4.2	-	0	0	0		0	0	0	0	•) c	0 -
27	2'-6"	8'-0"	-	D	-	14/4.2	15/4.2	15/4.2	-			-					0	_	_	0 -
28	2'-6"	8'-0"	-	D	-	14/4.2	15/4.2	15/4.2	-		-	-								0 -
29	PR. 3'-0"	8'-0"	_	D	-	14/4.2	15/4.2	15/4.2	-			0							_	0 -
<u>30</u>	PR. 2'-6" 2'-6"	9'-2" 8'-0"	-	D	-	14/4.2 14/4.2	15/4.2 15/4.2	15/4.2 15/4.2	-			-					0		_	0 - 0 -
31 32	2-6 2'-6"	8-0 9'-2"		D	-	14/4.2	15/4.2	15/4.2	_			-							_	0 -
33	2'-6"	8'-0"	_	D	-	14/4.2	15/4.2	15/4.2	_			-					0			0 -
<u>34</u>	2'-6"	8'-0"	_	G	-	22/4.2	20/4.2	21/4.2	_			-						_	_	0 -
35	2'-6"	8'-0"	_	В	-	7/4.2	8/4.2	8/4.2	-		•						0	_	_	• -
36	2'-6"	8'-0"	_	D	-	14/4.2	15/4.2	15/4.2	_	0	0	0	ullet	0	0	0	0	• (5 I	0 -
37	2'-6"	8'-0"	_	D	-	14/4.2	15/4.2	15/4.2	-	0	0	0	ullet	0	0	0	0	•	2	0 -
38	2'-8"	8'-2"	-	D	-	14/4.2	15/4.2	15/4.2	-			-								0 -
39	PR. 1'–10"	_	1-3/8" THICK	E	-	27/4.2	29/4.2	29/4.2	28/4.2			0							_	O PIVOT DOORS
40	3'-2"	8'-0"	_	G	-	30/4.2		26/4.2 SIM			-	-						_	-	O POCKET DOOR
41	PR. 3'-8"	6'-5" _	-	H _	-	31/4.2	32/4.2	32/4.2 SIM	-		-	0							_	BIFOLD DOOR SAUNA DOOR
42 43	- 2'-6"	- 8'-4"	_	-	-	- 14/4.2	- 15/4.2	- 15/4.2	_	-	-				_				_	 SAUNA DOOR -
43 44	2-6 2'-6"	8'-4"		-	-	14/4.2	15/4.2	15/4.2	-			0								0 -
44 45	3'-0"	8'-4"	_	-	-	14/4.2	15/4.2	15/4.2	-		0								_	0 -
	PR.2-2 1/2"	6'-3"	-	1	-	38/4.2	-	-	39/4.2			0							_	O OBSCURE GLASS LLUMAR MATTE FROST GLACIER
	PR.2-2 1/2"	6'-3"	_	1	-	38/4.2	_	_	39/4.2	0	0	0	0	0	•	•	0	0	2	O OBSCURE GLASS LLUMAR MATTE FROST GLACIER
48	PR.2'-2"	6 ' -3"	-	1	-	38/4.2	-	-	39/4.2	0	0	0	0	0						O OBSCURE GLASS LLUMAR MATTE FROST GLACIER
49	PR.2'-2"	6'-3"	_		-	38/4.2	-	-	39/4.2	-	-	0	-	0						O OBSCURE GLASS LLUMAR MATTE FROST GLACIER
00	PR.2-2 1/2"	6'-3"	-		-	38/4.2	-	-	39/4.2			0		-	-	-	-	-	-	O OBSCURE GLASS LLUMAR MATTE FROST GLACIER
	PR.2-2 1/2"	6'-3"	_		-	38/4.2	-	-	39/4.2			0		-					_	O OBSCURE GLASS LLUMAR MATTE FROST GLACIER
52	PR.2'-6"	7'-6"	_		-	38/4.2	-	-	39/4.2			0		-						O OBSCURE GLASS LLUMAR MATTE FROST GLACIER
53	2'-0" 9'-6"	7'-6" 7'-0"			-	38/4.2 41/4.2	- 16 /4 3	- 40/4.2	39/4.2		0			-	_				_	O OBSCURE GLASS LLUMAR MATTE FROST GLACIER
E /	a-c	/ -0	_		-		16/4.3 40/4.2	40/4.2			0						0		_	
54 55	9'-6"	7'-0"	_		1 -	41/4.2				1 5 7	1 1 1	1 1 2								

SCALE: 1/4" = 1'-0" 6 4.2 A D В С E F G H

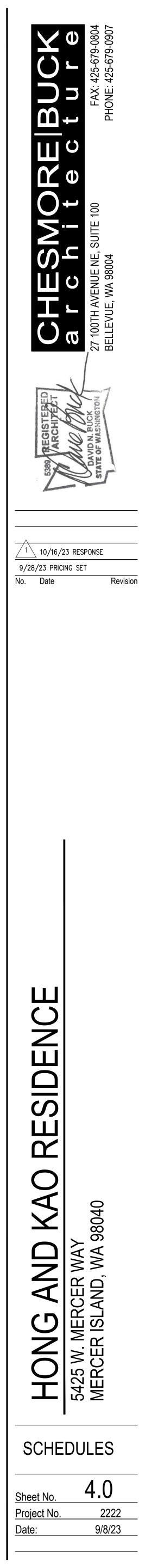
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DOOR TYPES

DOOR HARDWARE NOTES:

1. POCKET DOOR PULLS TO BE BALDWIN SANTA MONICA SMALL FINISH 056 SATIN NICKEL, SEE SCHEDULE FOR FUNCTION 2. PASSAGE DOOR HARDWARE TO BE BALDWIN MORTISE LATCH (6110.056.R) LO22 LEVER, AND 5032 ROSE, 056 SATIN NICKEL, SEE SCHEDULE FOR FUNCTION

HINGES, STRIKES AND MISC. PARTS ARE TO MATCH FINISH OF LEVER 3. BARN DOOR TRACK TO BE MWE TWIN ST.1011.TW BRUSHED CHROME OR EQUIVALENT, PULLS TO BE MWE LUNA TG.1511.30



MARK	FIXTURE	MANUFACTURER	MODEL NO.	FINISH/COLOR	FITTING	REMARKS
LAV1	_	KOHLER	LADENA K-2214	_	HANSGROHE 71710821	-
LAV2	_	KOHLER	LADENA K-2214		HANSGROHE 71710821	-
LAV3	_	KOHLER	LADENA K-2214		HANSGROHE 71710821	_
LAV4	_	KOHLER	LADENA K-2214	_	BRIZO 65035LF-GL-ECO	_
LAV5	_	KOHLER	K-2773-G3-B11	OPAQUE DOE	BRIZO R65700 VALVE, T65735LF- GL-ECO TRIM	RP72414GL DRAIN
LAV6	_	KOHLER	LADENA K-2214-0	_	65368LF-GLLHP-ECO, HK5367-GL HANDLE	_
LAV7	_	KOHLER	LADENA K-2214-0	_	65368LF-GLLHP-ECO, HK5367-GL HANDLE (BRIZO)	_
LAV8	_	KOHLER	LADENA K-2214-0	_	BRIZO 65368LF-GLLHP-ECO FAUCET HK5367-GL HANDLE	_
_	_	_	_	_		_
SHOWER1	_	HANSGROHE	04233820 TRIM		28632820 BAR, HG26036821 HEAD	01850181 VALVE, 27458823 ELBOW, GROHE 228417ENO HOSE
SHOWER2	NOT USED	-	-	_	_	-
SHOWER3	_	HANSGROHE	04231820 TRIM		28632820 BAR. HG26036821 HEAD	01850181 VALVE, 27458823 ELBOW
SHOWER4	_	BRIZO	R60000-UNBX VALVE		HL60P33-GL HANDLE, T60P035- GLLHP TRIM, 85521-GL BAR RP71648GL ARM, 81392-GL HEAD	_
SHOWER5	_	BRIZO	R75000 VALVE, HL7567-GL TRIM		RP71648GL ARM, 85521-GL BAR RP71648GL ARM, 81392-GL HEAD	. –
SHOWER6	_	BRIZO	R60000-UNBX VALVE, T60006-GLLHP TRIM		88767-GL BAR, T75506-GLLHP TRIM HL6067 HANDLE, 88767-GL BAR	- -
	_	_		_	_	
SINK1	_	KOHLER	K-5287-NA	_	BRIZO 61063LF-BLGL	K-8799 DRAIN & STRAINER
SINK2	_	ELKAY	ELGU251912PD	WHITE	SIGNATURE HARDWARE 465186	LKPDQ1CR DRAIN FITTING
SINK3	_	KOHLER	K-5285-NA *OPTIONS	_	BRIZO 61063LF-BLGL	L-8799-BN STRAINER. K-11352-BN STOPPER
SINK4	_	KOHLER	K-5287-NA	_	BRIZO 61063LF-C-BLGL BRIZO 61063LF-BLGL	K-77686-NA FILTER, L-8799-BN STRAINER, K-11352-BN STOPPER K-77686-NA FILTER,
SINK5	_	KOHLER	K-5287-NA	_	CALFAUCETS K51–111–XX	K-77686-NA FILTER, K-8801-VS
51110	_			_		_
WC1	TOILET	SIGNATURE HARDWARE	447355	_		
WC2	TOILET	SIGNATURE HARDWARE	447355	_	K-10349-0 SEAT	
WC2	TOILET	SIGNATURE HARDWARE	447355	_	K-10349-0 SEAT	-
WC3	TOILET	SIGNATURE HARDWARE	447355	_		-
					K-10349-0 SEAT	
WC5	TOILET	KOHLER	K-46006-0	-		-
WC6	TOILET	SIGNATURE HARDWARE	447355	-	K-10349-0 SEAT	-
WC7	TOILET	KOHLER	K-77780-0	-		-
WC8	TOILET	SIGNATURE HARDWARE	447355	-	K-10349-0 SEAT	-
-	-		466612	-	BRIZO T70310-ALL-TW-F-GL FILLEF	-
TUB1	TUB	SIGNATURE HARDWARE	LNS6032BRXXXXW, MF35826		R70200 VALVE	
TUB2	TUB	JACUZZI	DRAIN	-	HANSGROHE 04233820 TRIM 01850181 VALVE, 26036821 HEAD	28632820 BAR, 27458823 ELBOW, 72411821 SPOU 28417ENO HOSE
	-	-	-	-	-	-

MARK	PRODUCT	MANUFACTURER	MODEL NO.	FINISH/COLOR	REMARKS
DW1	DISHWASHER	WOLF-COVE	 DW2450	9019419 STAINLESS PANEL, TUBULAR HANDLE	
DW2	DISHWASHER	WOLF-COVE	DW2450	9019419 STAINLESS PANEL, TUBULAR HANDLE	
W/D	STACK WASHER/DRYER	LG	WKEX200HGA	-	120 VOLT 10 AMP, 240 VOLT 30 AMP
REFER1	REFRIGERATOR	SUB ZERO	DET3050CI/L	7023628 DUAL INST. HANDLE PANEL FRONT	115 VOLT, 15 AMP
REFER2	REFRIGERATOR	SUB ZERO	DET3050CI/R	PANEL FRONT	115 VOLT, 15 AMP
OVEN	WALL OVENS	WOLF	D03050TE/S/T	-	240/208 VOLT, 50 AMP
MICRO	MICRO WAVE OVEN	WOLF	MDD30TE/S/TH	-	120 VOLT, 15 AMP
CKTP1	INDUCTION COOKTOP	WOLF	CI365TF/S	-	3-WIRE, 240/208 VOLT, 50 AMP
CKTP2	GAS COOKTOP	WOLF	MM15TF/S		120 VOLT, 15 AMP, 3/4" GAS
HOOD	EXHAUST HOOD	WOLF	PL582212 1200 CFM	814423 BLOWER, PL522212 LINER	120 VOLT, 2.4 AMP PER BLOWER, SEE NOTE 1 BELOW
W.	WASHER	ELECTROLUX	ELFW7637AT	TITANIUM COLOR, EPWD257UTT PED	120 VOLT, 15 AMP
D.	DRYER	ELECTROLUX	ELFE7637AT	TITANIUM COLOR, EPWD257UTT PED	240 VOLT, 30 AMP
AD	AIRDRESSER	SAMSUNG	DF60A8500CG		120 VOLT
BEV	BEVERAGE REFER	ZEPHYR	PRB24C01CPG		115 VOLT, 1.5 AMP
WD	WARMING DRAWER	WOLF	WWD30	829839 FRONT	120 VOLT, 15 AMP
DISP	DISPOSAL	INSINKERATOR	BADGER5XPWC	BRIZO 69080-BL SWITCH	

1. PROVIDE MAKEUP AIR AT A RATE EQUAL TO THE EXHAUST AIR RATE. PROVIDE AT LEAST ONE DAMPER COMPLYING WITH IRC M1503.6.2. DAMPER SHALL BE GRAVITY OR ELECTRICALLY OPERATED THAT OPENS WHEN EXHAUST SYSTEM OPERATES.

SF	PECIAL	TIES SCI	HEDULE			
MARK	PRODUCT	MANUFACTURER	MODEL NO.	FINISH/COLOR	LOCATION	REMARKS
GAS LOG	_	RH PETERSON	SPLIT OAK DESIGNER PLUS 36" (SPD-36)	-	LIVING	-
GLASS DOOR	FIREPLACE DOOR	STOLL DOOR	ELITE THINLINE	STANDARD FINISH	LIVING	-
SAFE	_	AMERICAN SECURITY	EST1014	-	-	9-3/4"H X 14-1/8"W X 7-3/4"D
TIE RACK	_	HAFELE	807.54.633	MATT NICKEL	-	-
BELT RACK	_	HAFELE	807.54.631	MATT NICKEL	-	-
PANT RACK	_	HAFELE	805.58.635	MATT NICKEL	-	-
HAMPER	PULL-OUT HAMPER	HAFELE	807.52.631	MATT NICKEL	-	-
IRON	IRONING BOARD	IRONAWAY	AE-42	-	-	-
ROD	CLOTHES ROD	HAFELE	830.28.710	MATT NICKEL	VARIOUS	VERIFY LENGTHS

		MA	TERIA	L									FIN	SH								
	BER		BAS		CAS	ING	WAI	IS			CEIL	ING			CAS	ING	WAL	IS			В И	
ROOM NAME	NUMBER	FLOOR	MTL.	DET.#/SHT.#	DR.	WIN.	N	E	S	w	MTL.	HEIGHT	FLOOR	BASE	DR.	WIN.	N	E	S	W	CEILING	REMARKS
AMILY ROOM		 F5/F3	B1	1/8.0	_	-	W1	W1	W1	W1	C1/C2	9'-2"/ * 10'-2"	 X1/S2	-	_	_	_	_	_	_	P/ST1	* EXISTING
EDROOM 2	101	F4	B1	1/8.0	-	-	W1	W1	W1	W1	C1	10'-2"*	X1	-	-	_	-	-	-	-	-	* EXISTING
LOSET	102	F4	B1	1/8.0	-	-	W1	W1	W1	W1	C1	8'-0"	X1	-	-	-	-	-	-	-	-	
BATH2	103	F3	B1/W6	1/8.0-1A/8.0	-	-	W6	W6/W7	W1	W6	C1	8'-0"	S2	-	-	_	-	-	-	-	-	
BEDROOM 1	104	F4	B1	1/8.0	-	-	W1	W1	W1	W1	C1	10'-2"	X1	-	-	_	-	-	-	-	-	
HALL1	105	F3	B1	1/8.0	_	-	W1	W1	W1	W1	C1	10'-2"*	S2	-	_	_	_	_	_	_	_	* EXISTING
AV1	106	F3	B1	1/8.0	_	_	W1	W1	W1	W1	C1	8'-0"	S2	-	_	_	_	_	_	_	_	
ATH1	107	F3	B1/W3	1/8.0-1A/8.0	_	-	W3	W1	W4	-	C1	8'-0"	S2	-	_	_	_	_	_	-	_	
SHOWER1		F6					W3	-	W4	W3	C1											
IALL2	108	F3	B1	1/8.0	_	-	W1	W1	W1	W1	C1	10'-2"*	S2	-	_	_	_	_	_	-	_	* EXISTING
IVAC	109	F1	B2	_	_	_	W1	W1	W1	W1	C1	- *	S1	_	_	_	_	_	_	_	_	* EXISTING
CLOSET2	110	F3	B2	_	_	_	W1	W1	W1	W1	C1	10'-2"*	S2	_	_	_	_	_	_	_	_	* EXISTING
ANDING	111	F4	B1	1/8.0	_	-	W1	W1	W1	W1	C1	10'-0"*	X1	_	_	_	_	_	_	_	_	* EXISTING
BATH3	112	F3	B1/W8	1/8.0-1A/8.0	_	_	W1	SS1	W8	W1	C1	8'-0" *	S2	_	_	_	_	_	_	_	_	* EXISTING
SHOWER3		F6	,	, ,			_	W8	W8	W8	C1											
BEDROOM3	113	F4	B1	1/8.0	_	-	W1	W1	W1	W1	C1	9'-2" [*]	X1	_	_	_	_	_	_	_	_	* EXISTING
CLOSET	114	F4	B1	1/8.0	_	_	W1	W1	W1	W1	C1	9'-2" *	X1	_	_	_	_	_	_	_	_	* EXISTING
STAIR	115	F4/F11	1	1/8.0	_	_					C1	VARIES*	X1	_	_	_	_	_	-	_	_	* EXISTING
ΡΑΤΙΟ	116	F2	B1 B1	1/8.0	_	_	_	_	_	-	C2	-	S2	_	_	_	_	_	_	_	ST1	
INTRY	200	F7	B1	1/8.0	_	_	_	W1	W1	_	C2	9'-6" *	S2 S2	_	_	_	_	_	_	_	ST1	* EXISTING
NUSIC	200	F7	B1	1/8.0	_	_	W1	W1	-	_	C2	9'-6" *	S2 S2	_	_	_	_	_	-	_	ST1	* EXISTING
HALL3	201	F7	B1	1/8.0	_	_	-	W1	_		C2	9'-6" *	52 S2	_	_	_	_	_	_		ST1	* EXISTING
WC2	202	F7	B1 B1	1/8.0	_	-	- W1	W1	 	W1	C1	9-6"*	52 S2	_	_	_	_	_	_	_		* EXISTING
JTILITY	203	F7	B1 B1	1/8.0	-	-	W1	W1	W1	W1	C1	9-6 9'-6" *	52 S2	_	-	-	-	-	_	-		* EXISTING
GARAGE	204	F1	B1 B2	-	_	_		W1	W1	W1	C1	9-0 8'-4"	52 S1	_	_	_	_	_		_	_	
_ANDING2	203						W1					8'-6" *								_		* EXISTING
		F4	B1	1/8.0	-	-	W1	W1	-	W1	C2	8-6 9'-6" *	X1	-	-	-	-	-	-	_	ST1	* EXISTING
	207	F7	-	-	-	-	W1	W1	-	W1	C2	9-6 9'-6" *	S2	-	-	-	-	-	-	-	ST1	
BREAKFAST	208	F7	-	-	-	-	_	-	-	W1	C2		S2	-	-	-	-	-	-	_	ST1	* EXISTING
PANTRY	209	F7	B1	1/8.0	-	-	W1	W1	W1	W1	C1	9'-6"	S2	-	-	-	-	-	-	_	-	
DINING	210	F7	-	-	-	-	-	W1	-	-	C2	9'-6"	S2	-	-	-	-	-	_	-	ST1	
LIVING ROOM	211	F7	B1	1/8.0	-	-	W1	W1	W1	W1	C2	15'-6"	S2	-	-	-	-	-	_	-	ST1	
OFFICE	212	F7	B1	1/8.0	-	-	W1	W1	W1	W1	C1	7'-10"*	S2	-	-	-	-	-	_	-	-	* EXISTING
CLOSET	213	F7	B1	1/8.0	-	-	W1	W1	W1	W1	C1	7'-10"*	S2	-	-	-	-	-	_	-	-	* EXISTING
WC	214	F7	B1	1/8.0	-	-	W1	W1	W1	W1	C1	7'-10"*	S2	-	-	-	-	-	_	-	-	* EXISTING
BATH4	215		B1/W10	1/8.0-1A/8.0	-	-	W10	W10	-	W1	C1	7'-10"	S2	-	-	-	-	-	-	-	-	* EXISTING
SHOWER 4		F8					W10	W9	W10	W10	C1	*										
COATS	216	F7	B1	1/8.0	-	-	W1	W1	W1	W1	C2	7'-10"*	S2	-	-	-	-	-	-	-	ST1	* EXISTING
POWDER	217	F7	B1	1/8.0	-	-	W1	W1	W1	W1	C2	7'-10"*	S2	-	-	-	-	-	-	-	ST1	* EXISTING
DECK 1	218	F2	-	_	-	-	-	-	-	-	C2	-	S1	-	-	-	-	-	-	-	ST1	
_	-	-	-	_	-	-					-	-	-	-	-	-	-	-	-	-	-	
BEDROOM4	300	F4	B1	1/8.0	-	-	W1	W1	W1	W1	C1	8'-8"	X1	-	-	-	-	-	-	-	-	
CLOSET	301	F4	B1	1/8.0	-	-	W1	W1	W1	W1	C1	8'-8"	X1	-	-	-	-	-	-	-	-	
BATH5	302		W12/W1	3 1/8.0-1A/8.0	-	-	W12	-	W1	W13	C1	8'-8"	S2	-	-	-	-	-	-	_	-	
SHOWER6		F10					W12	W12	W12	-	C1											
SAUNA	303	-			-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
EXERCISE	304	F4	B1	1/8.0	-	-	W1	W1	W1	W1	C1	8'-6"	X1	-	-	-	-	-	-	-	-	
STAIR	305	F4/F11	B1	1/8.0	-	-	-	W1	W1	W1	C2	8'-0 *	X1	-	-	-	-	-	-	-	ST1	* EXISTING
M.BEDROOM	306	F4	B1	1/8.0	-	-	W1	W1	W1	W1	C2	8'-3" *	X1	-	-	-	-	-	-	-	ST1	* EXISTING
SITTING	307	F4	B1	1/8.0	-	-	-	W1	W1	W1	C2	8'-3" *	X1	-	-	-	-	-	-	-	ST1	* EXISTING
/ESTIBULE	308	F4	B1	1/8.0	-	-	W1	W1	W1	W1	C2	8'-3" [*]	X1	-	-	-	-	-	I	I	ST1	* EXISTING
1.BATH	309	F12	B1	1/8.0	-	-	W1	-	W1	-	C2	8'-0" *	S2	-	-	-	-	-	I	I	ST1	* EXISTING
VC3	310	F12	B1	1/8.0	-	-	W1	W1	W1	W1	C2	8'-0" [*]	S2	_	-	-	-	-	_	_	ST1	* EXISTING
ANDING3	311	F4	B1	1/8.0	-	-	_	W1	W1	W1	C2	8'-6" *	X1	-	-	-	-	-	-	-	ST1	* EXISTING
SHOWER5	312	F13	-	_	-	-	-	-	-	-	C2	8'-0" *	-	-	-	-	-	-	-	-	ST1	* EXISTING
UTILITY2	313	F12	B1	1/8.0	_	-	_	W1	W1	W1	C2	9'-8"	S2	_	_	_	_	_	_	_	ST1	
M.CLOSET	314	F12/F4		1/8.0	_	-	W1	W1	W1	W1		9'-8"/ 8'-8"	S2/X1	-	-	-	_	_	-	-	ST1	
SOLARIUM	315	F2	-	_	_	-	-	-	_	-	-	VARIES	S1	-	-	-	_	_	-	-		
DECK2	316	F2	-	_	_	_	_	_	_	-	C2	_	S1	_	_	_	_	_	_	_	ST1	<u> </u>

F5 – CARPET

FLOORING	
F1 – EXPOSED CONCRETE (EXISTING)	
F2 - PAVERS	

MFR: DALTILE MODEL: TREAD PORCELAIN PAVERS COLOR: LUMINARY WHITE DR07 THICKNESS: 3/4" SIZE: 24" X 24" F3 – PORCELAIN TILE

MFR: DALTILE MODEL: DIGNITARY COLOR: LUMINARY WHITE DR07 SIZE: 24" X 24" GROUT:

F4 – HARDWOOD MFR: CARLISLE WIDE PLANK FLOORS COLLECTION: TRANQUIL COLOR: REFUGE

MATL: BROADLOOM WOOL CARPET MFR: FABRICA COLLECTION: WHITE NOISE COLOR: 715WN QUIET SEQ:1 NOTE: PROVIDE SEAMING LAYOUT PRIOR TO INSTALLATION PAD: HEALTHY CHOICE

F6 – MTL: PORCELAIN TILE MFR: DALTILE MODEL DIGNITARY ABSTRACT COLOR: LUMINARY WHITE DR07

SIZE: MOSAIC

F7 – TERRAZZO TILE MFR: ANN SACKS TILE AND STONE MODEL TERRAZZO RENATA COO: IT COLOR: CASHMERE

F8 – TERRAZZO TILE MTL: MEDIUM TERRAZZO TILE MFR: ANN SACKS TILE AND STONE MODEL: TERRAZZO RENATA COO: IT

COLOR: CASHMERE SIZE: 2" X 2" MOSAIC F9 – PORCELAIN TILE

SIZE: 24" X 24"

MFR: UNITED TILE PATTERN: CROSSVILLE/SHADES 2.0 Color: Fog Finish: UPS SIZE: 24" X 24"

INSTALL: HORIZONTAL STACKED F10 – TILE MTL: NATURAL STONE

MFR: ISLAND STONE PATTERN: LEVEL PEBBLE COLOR: FP1SEP SEPIA FINISH: HONED SIZE: FLAT PEBBLE

F11 – CARPET RUNNER MTL: NYLON CARPET

MFR: KATHA LIVING FIBREWORKS RUBENSTEIN

- CONTENT: 100% NYLON COLOR: DAY ROOM EDGE: SURGED YARD TBSELECTED
- F12 TILE MTL: MARBLE TILE MFR: META MARBLE AND GRANITE PATTERN: CALACATTA CARRARA HONED FINISH: HONED SIZE: 12" X 24"
- F13 TILE MTL: NATURAL STONES MFR: DALTILE PATTERN: DA 06 CREAMY SAND BLEN FINISH:
- B1 WOOD BASE MTL: POPLAR SIZE: 3-1/2" X 5/8" DETAIL: 1/8.0 B2 – RUBBER BASE MFR: ROPPE

SIZE: MOSAIC 13" X 13"

BASE

WALLS

- COLOR: TBD STYLE: TBD W1 – WALL
- MTL: 5/8" TYPE 'X' GYPSUM DRYWALL MFR: ÚSG OR EQUAL FINISH: LEVEL 5 SMOOTH W2 - MIRROR W3 - TILE
- MTL: PORCELAIN TILE AV311 MFR: UNITED TILE PATTERN: BUTTONED UP UPS SIZE: 12" X 24" W4 – TIF
- MTL: PORCELAIN TILE MFR: UNITED TILE PATTERN: POTTERY WOW COLOR: POTTERY SQUARE GRAPHITE SIZE: 6"X6"
- W5 TILE MTL: PORCELAIN TILE MFR: UNITED TILE PATTERN: POTTERY WOW COLOR: COSMIC GRAPHITE (DECO) SIZE: 6" X 6"
- INSTALL: RANDOM QUARTER TURNS W6 -TILE MTL: PORCELAIN TILE MFR: ERGON
- PATTERN: STONE PROJECT COLOR: WHITE FALDA LAPP SIZE: 12" X 24"
- W7 TILE MTL: PORCELAIN TILE MFR: UNITED TILE BY SONOMA TILEMAKERS PATTERN: HUSTLE JIVE MOSAIC COLOR: UPTOWN SIZE: 3-7/8" X 1-1/8" INSTALL: VERTICAL

- W8 TILE MTL: PORCELAIN TILE MFR: UNITED TILE PATTERN: MOONSTRUCK COLOR: AV301 UNPOLISHED SIZE: 12" X 24" INSTALL: VERTICAL
- W9 TILE MTL: NATURAL STONE MFR: MSI PATTERN: VEIN CUT TRAVERTINE COLOR: SILVER BROWN SIZE: 12" X 24"
- W10 TILE MTL: PORCELAIN TILE MFR: UNITED TILE/CROSSVILLE PATTERN: GOTHAM COLOR: AV322 PENTHOUSE SIZE: 12" X 24"
- W11 TILE MTL: PORCELAIN TILE MFR: Z COLLECTION PATTERN: EPOQUE
- COLOR: ARABESCATO ZAREPAO/2448 SIZE: 24" X 48" INSTALL: HORIZONTAL STACKED W12 - TILE MTL: PORCELAIN TILE MFR: UNITED TILE
- PATTERN: CROSSVILLE/SHADES COLOR: FOG FINISH: UPS SIZE: 24" X 24" INSTALL: HORIZONTAL STACKED
- W13 TILE MTL: PORCELAIN TILE MFR: DALTILE PATTERN: COLOR WAVE COLOR: CW04 SILVER MINK FINISH: GLOSS SIZE: 1"X 1" INSTALL: GRID, FLUSH WITH DRYWALL
- TILE W14 · MTL: MARBLE TILE MFR: META MARBLE AND GRANITE PATTERN: CALACATTA CARRARA FINISH: POLISHED
- SIZE: 12" X 24" W15 - TILE MTL: ACCENT TILE MFR: ARTISTIC TILE PATTERN: ORCHID DIMENSIONAL NERO WCV1 – WALL COVERING MARBLE WJ MOSAIC SIZE: 21" X 24"
- W16 TILE MTL: TILE SPLASH MFR: ANN SACKS PATTERN: YAKISUGI COLOR: SHIRO FINISH: MIXED MATTE AND GLOSS
- W17 GLASS WALL TILE MTL: GLASS WALL TILE MFR: ANN SACKS
- PATTERN: AQUA VERRE COLOR: PURE SILK GLOSS SIZE: 6" X 12"

- SOLID SURFACE
- MTL: QUARTZ MFR: CAMBRIA MATTE
- NAME: LAKEDALE LUXURY SERIES FINISH: MATTE
- THICKNESS: EDGE:
- INSTALL: PROVIDE SEAM LAYOUT PRIOR TO INSTALL
- SS2 NATURAL STONE MTL: SOLID SURFACE NATURAL STONE MFR: META MARBLE AND GRANITE COLOR: HONEY ONYX FINISH: POLISHED
- THICKNESS: 1–1/4" SLAB SS3 – SOLID SURFACE
- MTL: QUARTZ MFR: STRATUS QUARTZ
- COLOR: LEVINA FINISH: POLISHED THICKNESS: 3/4" (2CM) EDGE: DETAIL X/X
- SS4 SOLID SURFACE QUARTZ MFR: STRATUS COLOR: CALACATTA PANTHEON FINISH: POLISHED
- THICKNESS: 3/4" (2CM) SLAB EDGE: DETAIL X/X SS5 – SOLID SURFACE MTL: QUARTZITE
- MFR: STRATUS COLOR: PLATINO DARK PREMIUM
- FINISH: LEATHERED THICKNESS: 3CM SS6 – SOLID SURFACE MTL: WALNUT
- SS7 SOLID SURFACE MTL: TBD
- SS8 SOLID SURFACE
- MTL: TBD PL1 – PLASTIC LAMINATE MTL: LAMINATE FENIX
- MFR: FORMICA FENIX COLOR: GRIGIO J0724 FINISH: MATTE
- PL2 PLASTIC LAMINATE MTL: LAMINATE FENIX MFR: FORMICA FENIX COLOR: TBD BIANCO KOS FINISH: MATTE
- MTL: FABRIC WALL COVERING MFR: CARLISLE & CO PATTERN: FUSION EDGE
- COLOR: SANDSTONE WIDTH: 36", 8 YARD BOLT CONTACT: JENNIFER WEST SHOWROOM 206-405-4500
- WC2 WALL COVERING WC3 - WALL COVERING
- CEILINGS
- C1 GYPSUM DRYWALL MTL: 5/8" TYPE 'X' GYPSUM DRYWALL MFR: USG OR EQUAL FINISH: LEVEL 5 SMOOTH
- C2 WOOD MTL: WESTERN RED CEDAR SHAPE: 1/2" X 3–1/2" V–GROOVE
- TEXTURE: SMOOTH GRADE: CLEAR

MISCELLANEOUS

- M1 FABRIC MTL: FABRIC WALL
- MFR: ARCHITEX
- COLOR: SANDAL WOOD TBD
- MFR: HOLLY HUNT OUTDOOR OR PERENNIALS PATTERN: TBD
- MFR: HOLLY HUNT
- X1 FACTORY FINISH
- MTL: ACRYLIC LATEX PAINT

- MTL: ACRYLIC LATEX PAINT MFR: COLOR:
- S1 SEALER MTL: WATERBORNE DENSE STONE SEALER MFR: STAIN PROOF
- S2 SEALER MTL: PREMIUM IMPREGNATING SEALER
- ST1 STAIN
- MFR: DALY'S

- PATTERN: WHAT THE FRAY
- M2 FABRIC MTL: FABRIC
- MTL: LEATHER UPHOLSTERY

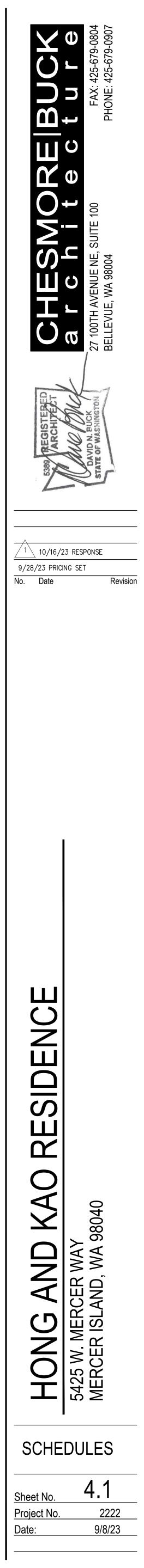
M3 – LEATHER

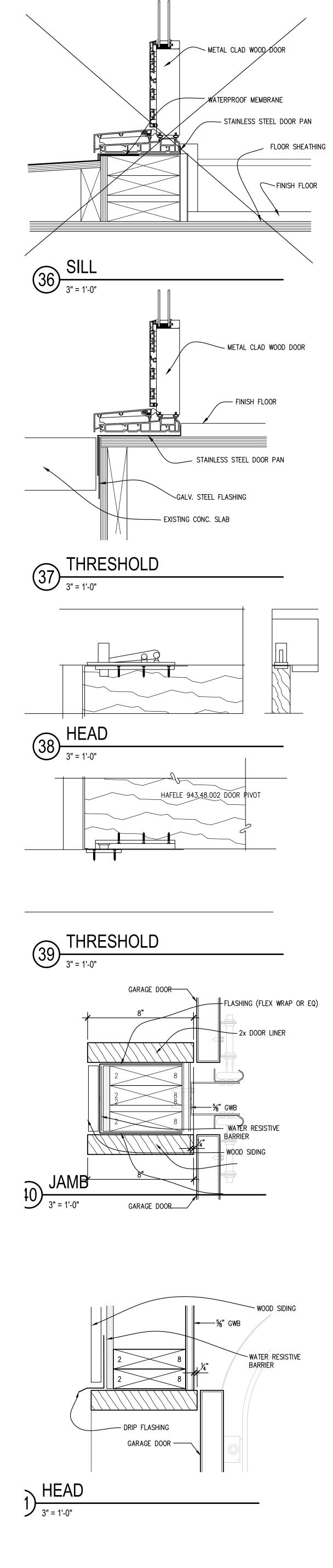
- PATTERN: STINGRAY
- FINISHES
- P1 PAINT
- MFR:
- COLOR: SHEEN:

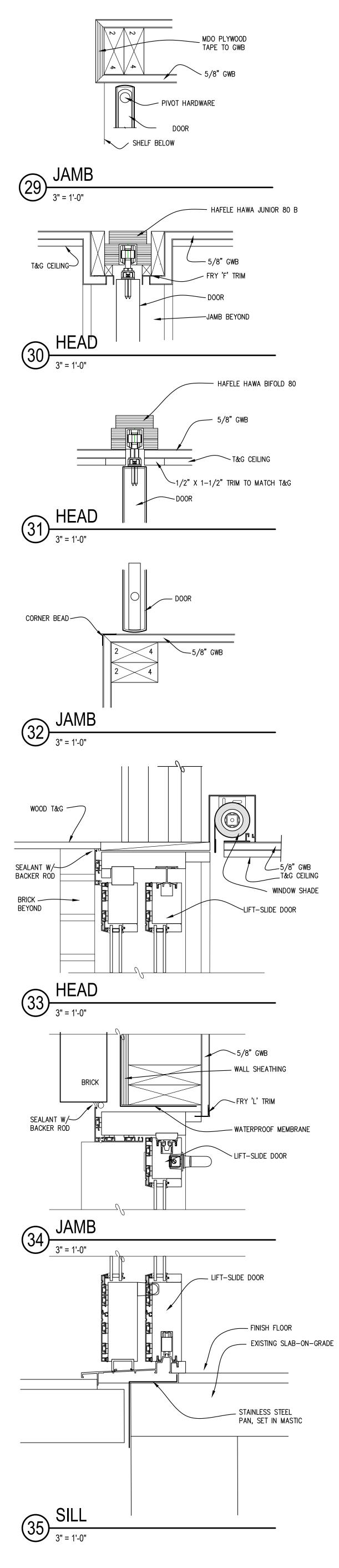
- SHEEN:

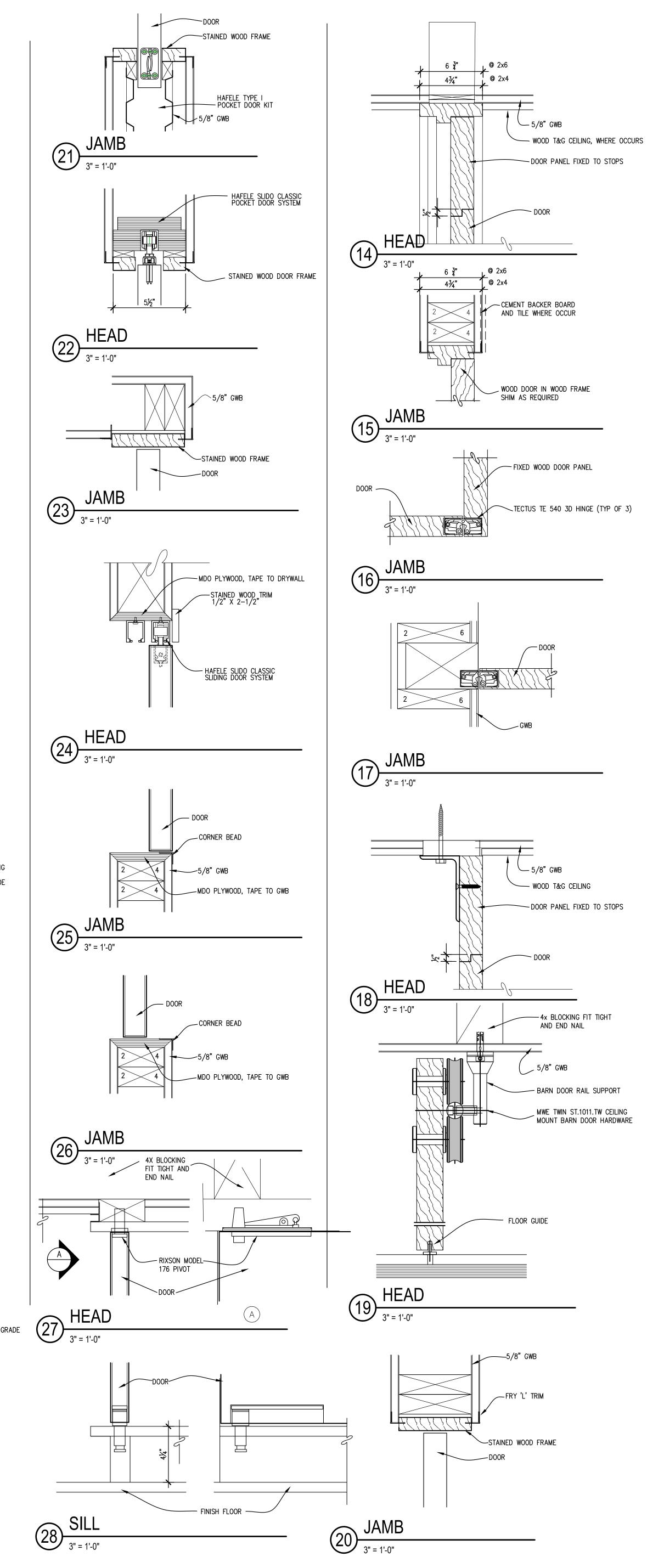
- MFR: STAIN-PROOF
- MTL: INTERIOR STAIN

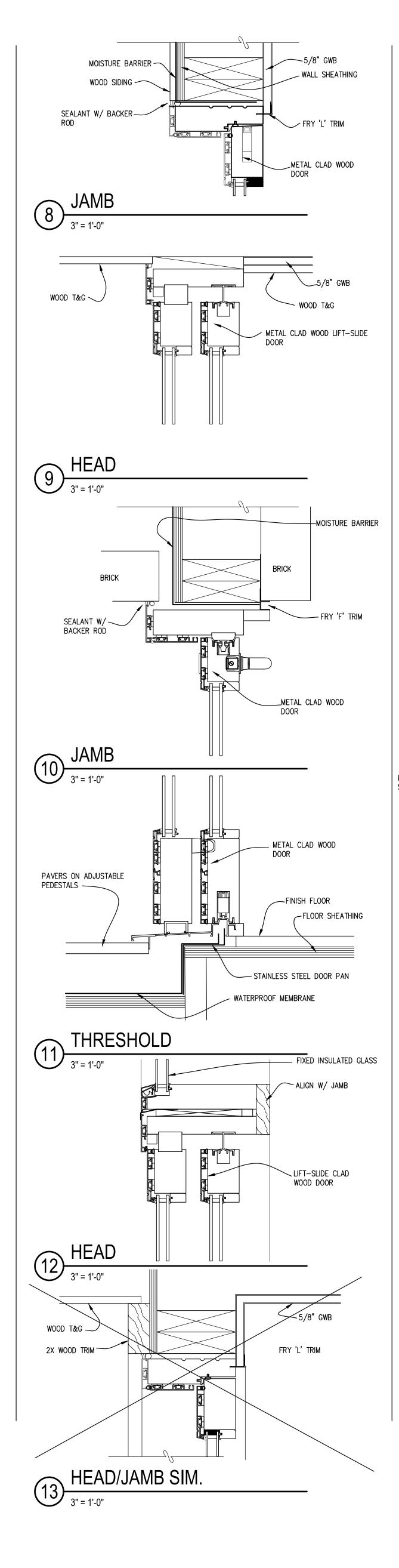
- P2 PAINT

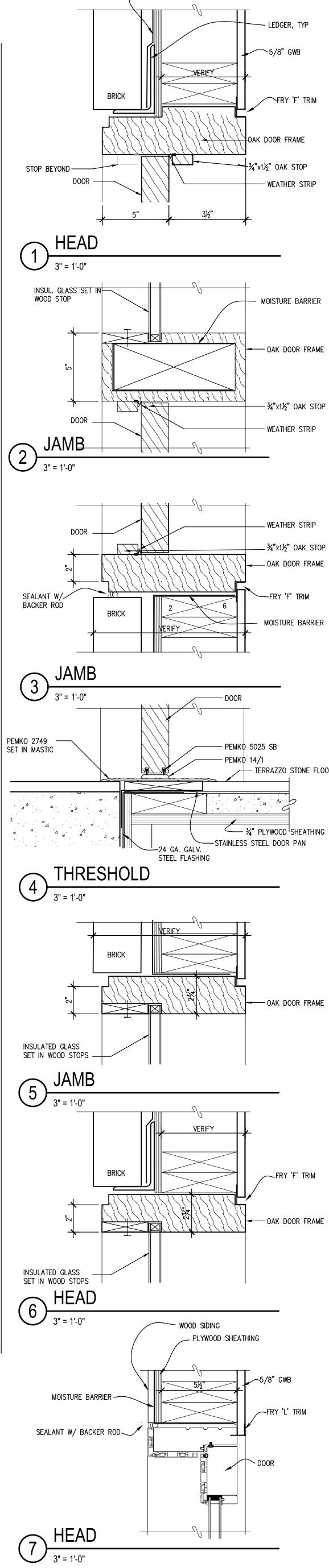










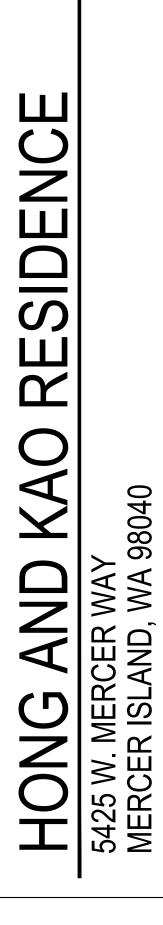


- TERRAZZO STONE FLOORING

- OAK DOOR FRAME



\ 10/16/23 RESPONSE 9/28/23 PRICING SET No. Date



98040

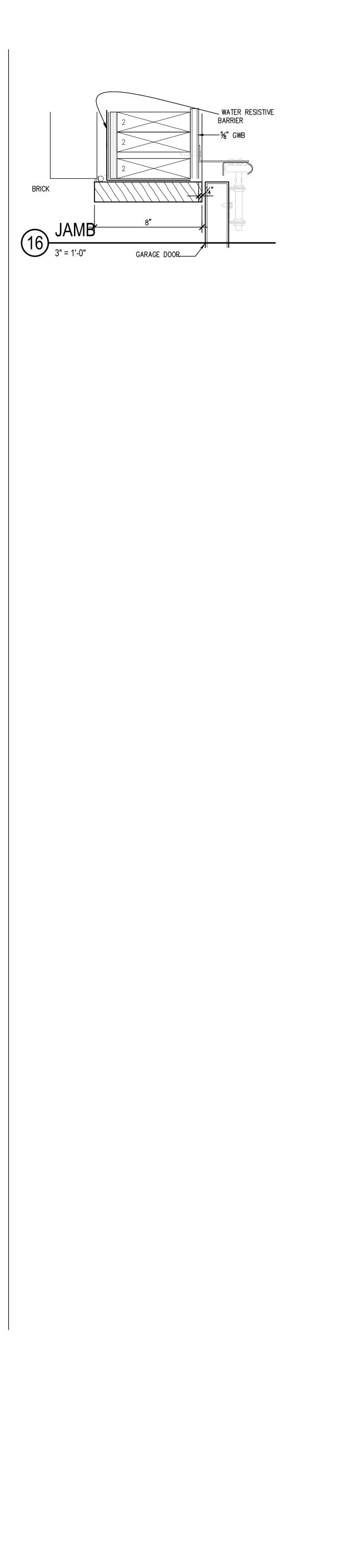
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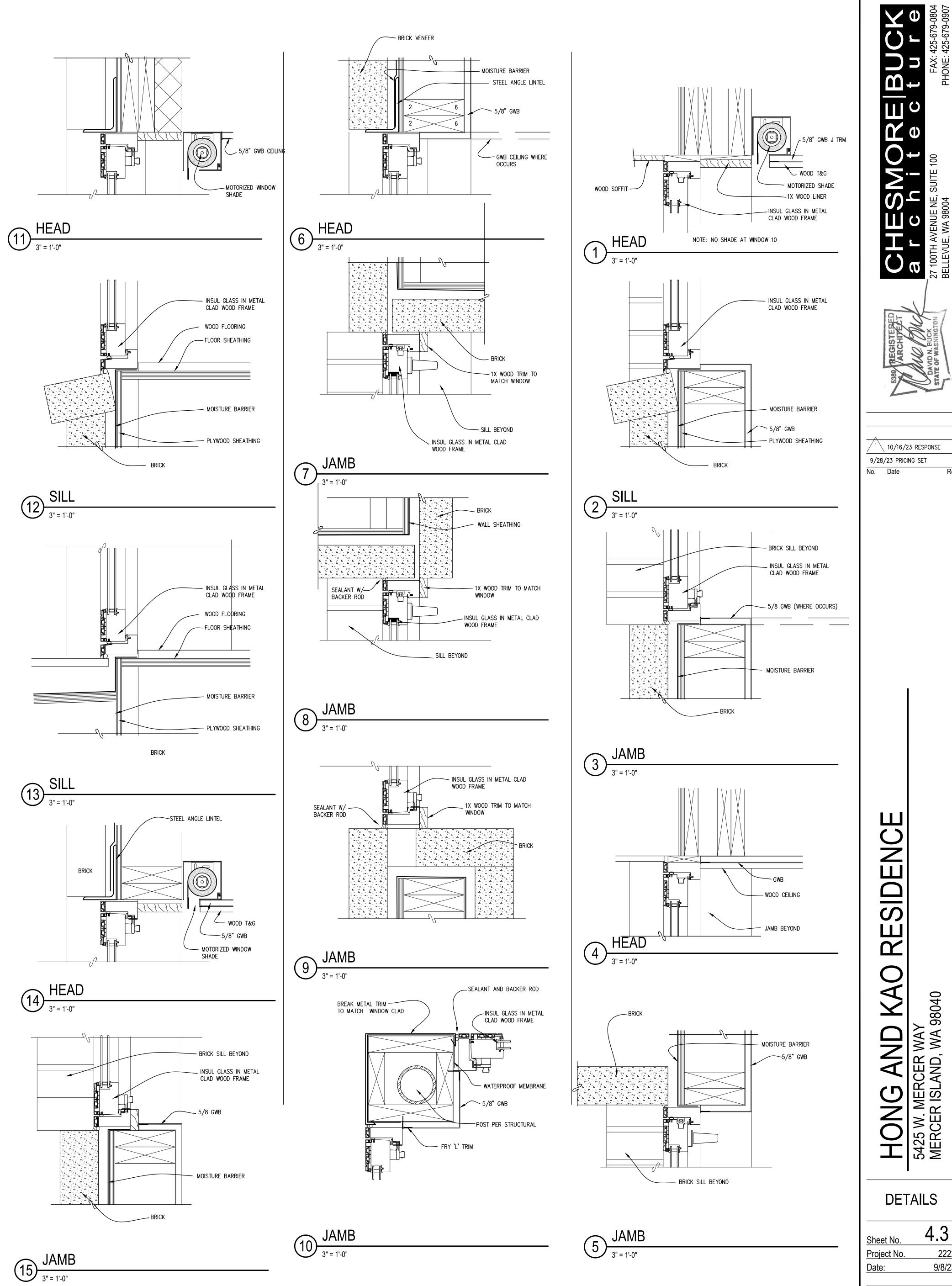
Sheet No. Project No. Date:

4.2

2222

9/8/23



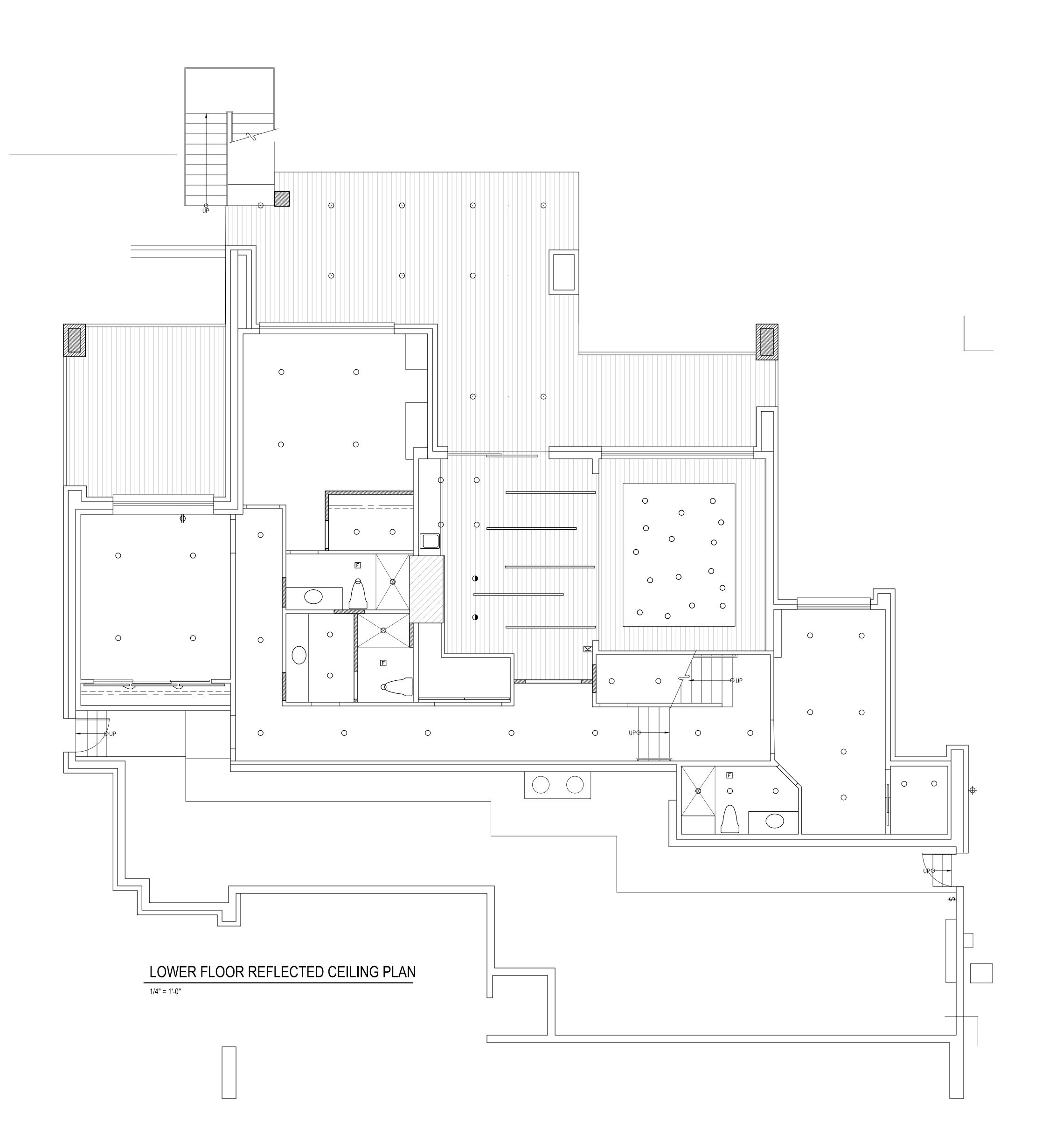


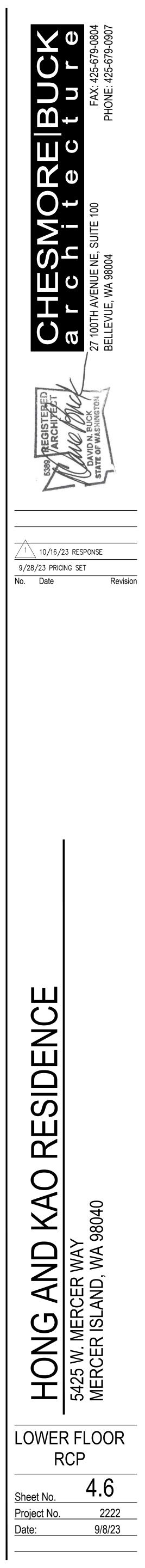
5 JAMB 3" = 1'-0"

Project No. Date:

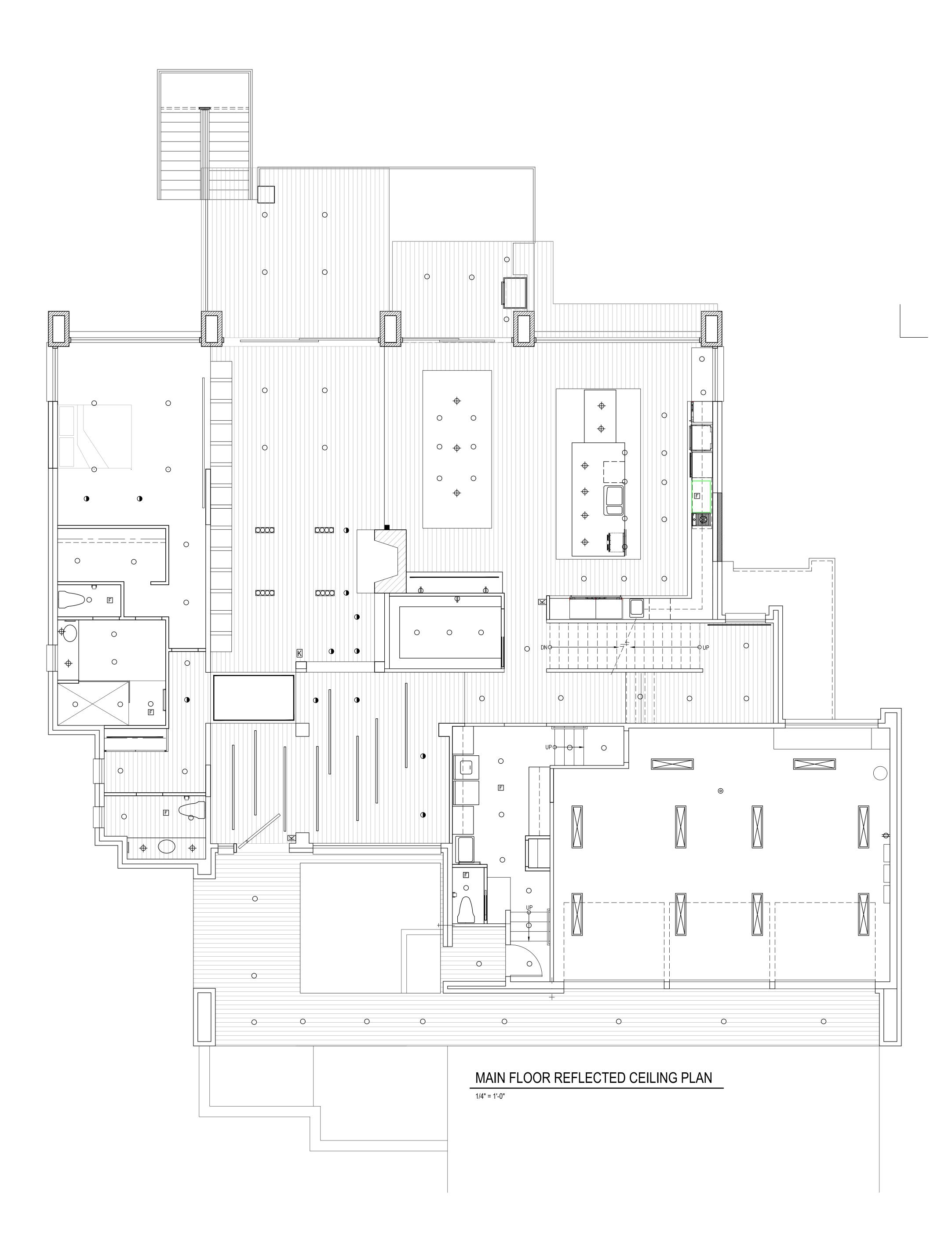
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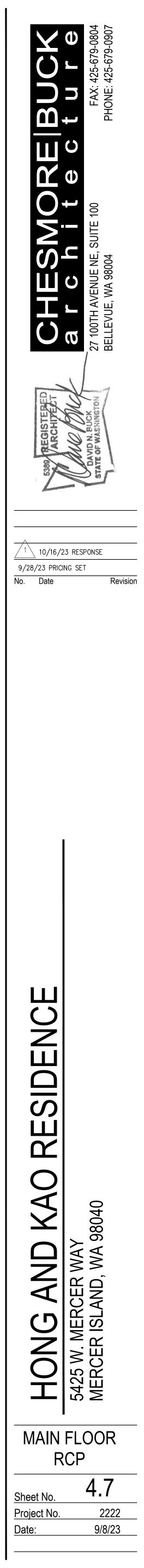
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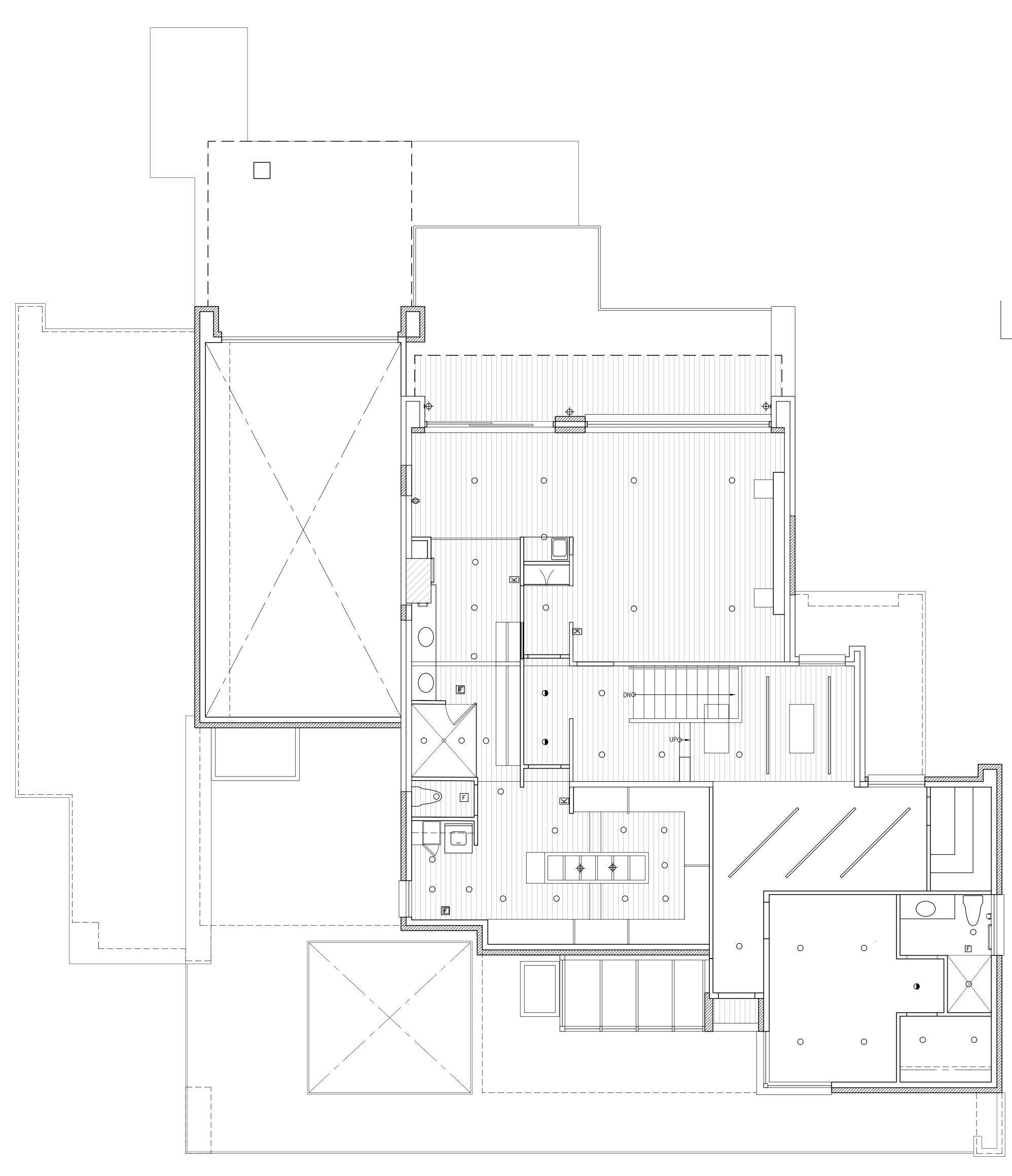


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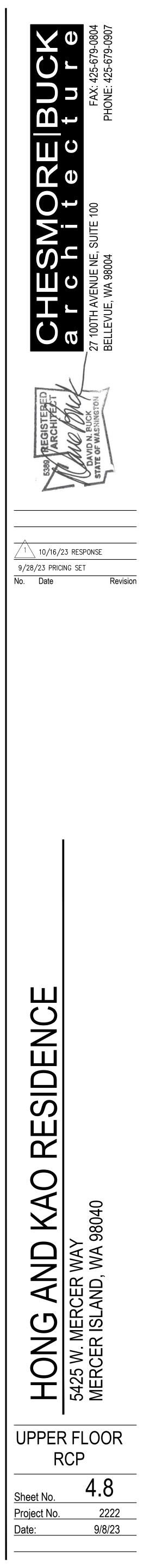


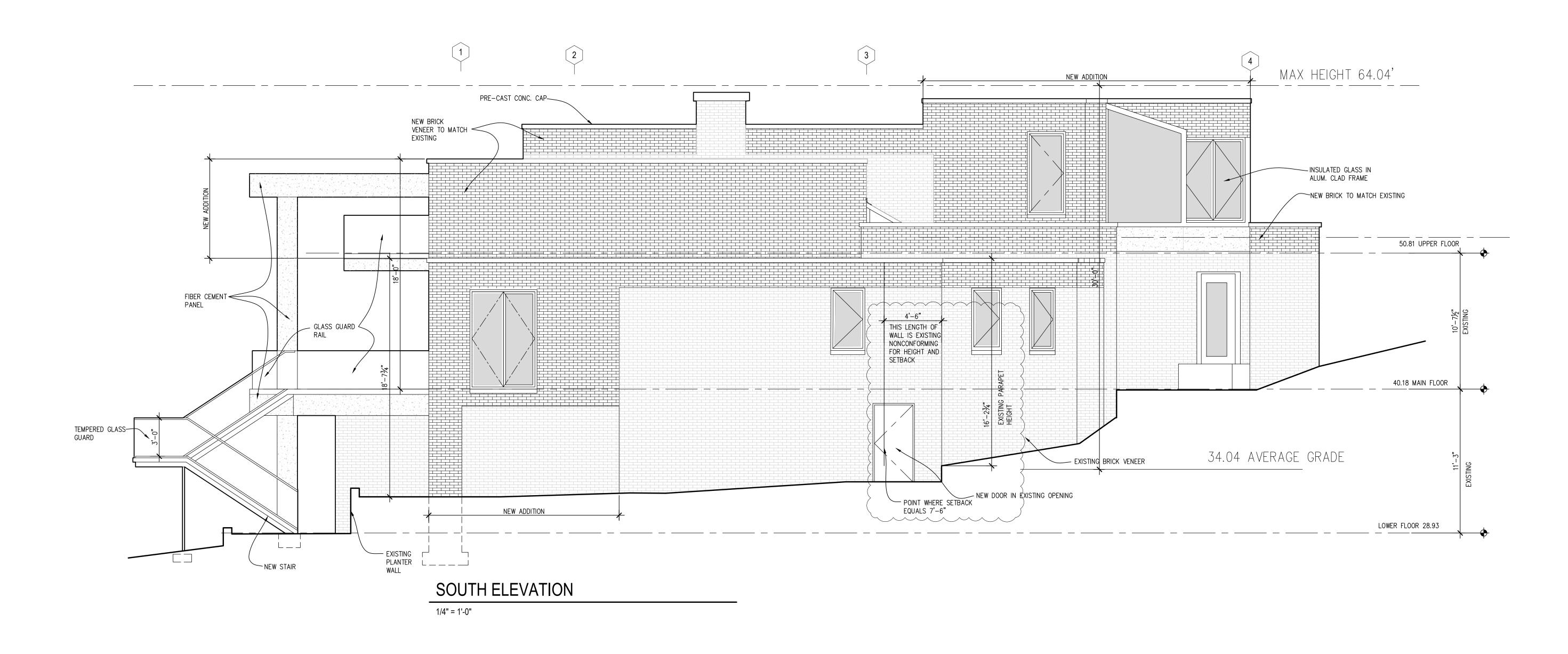
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1/4" = 1'-0"

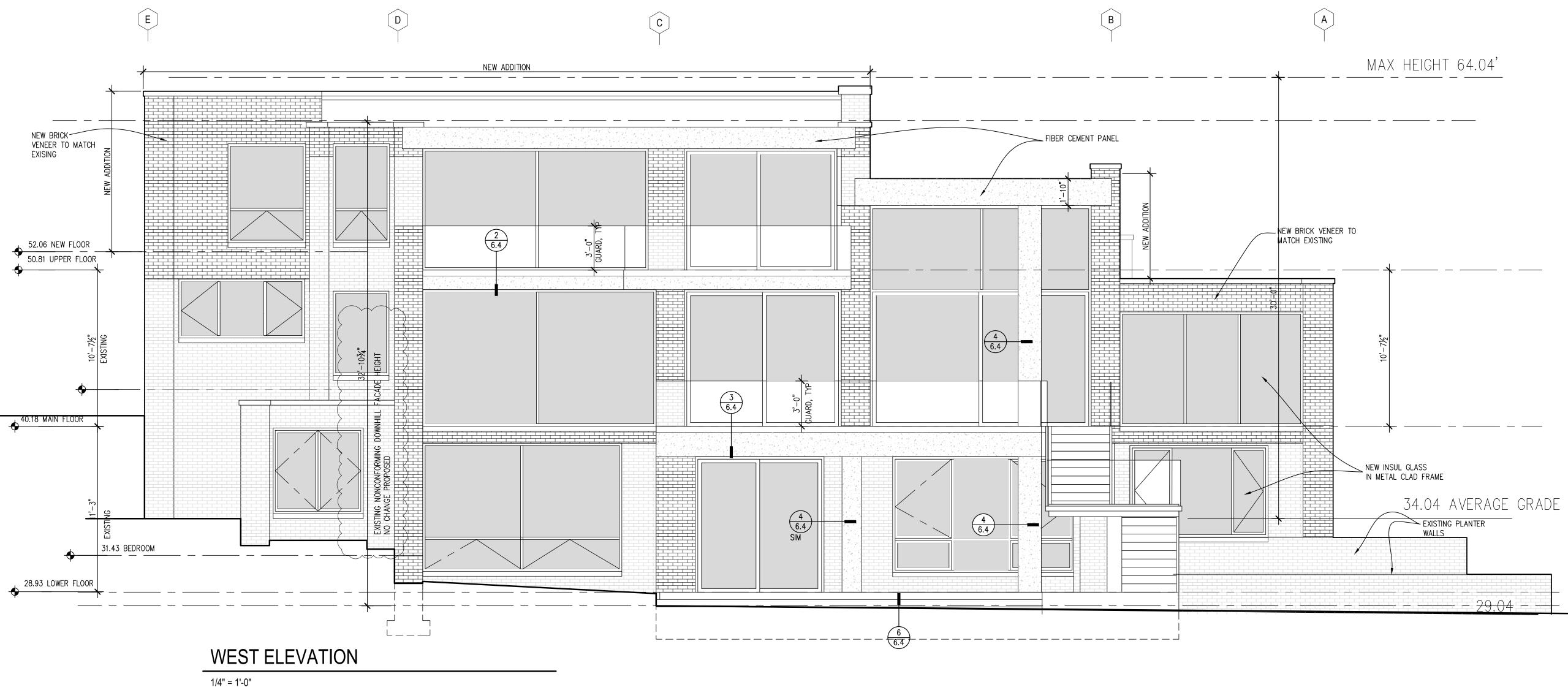
UPPER FLOOR REFLECTED CEILING PLAN



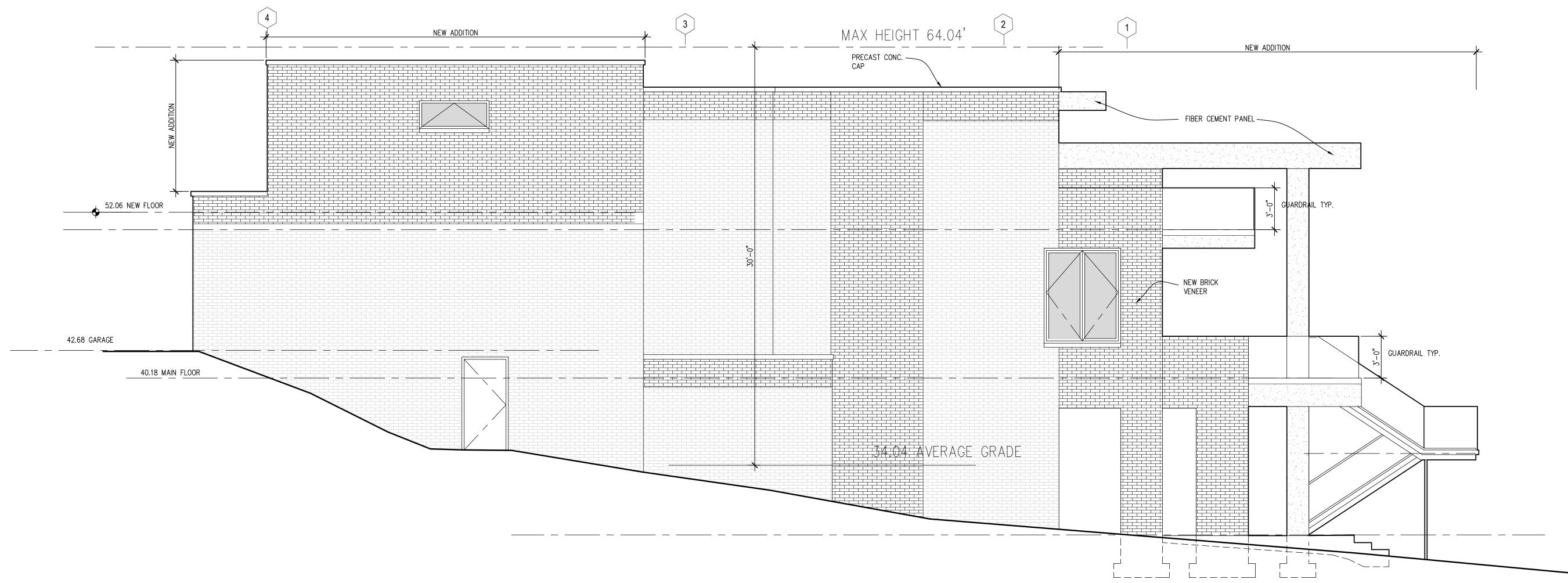


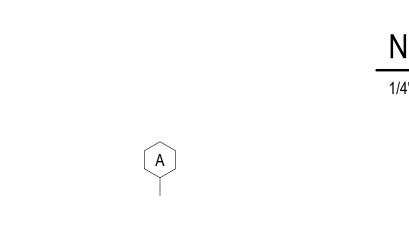
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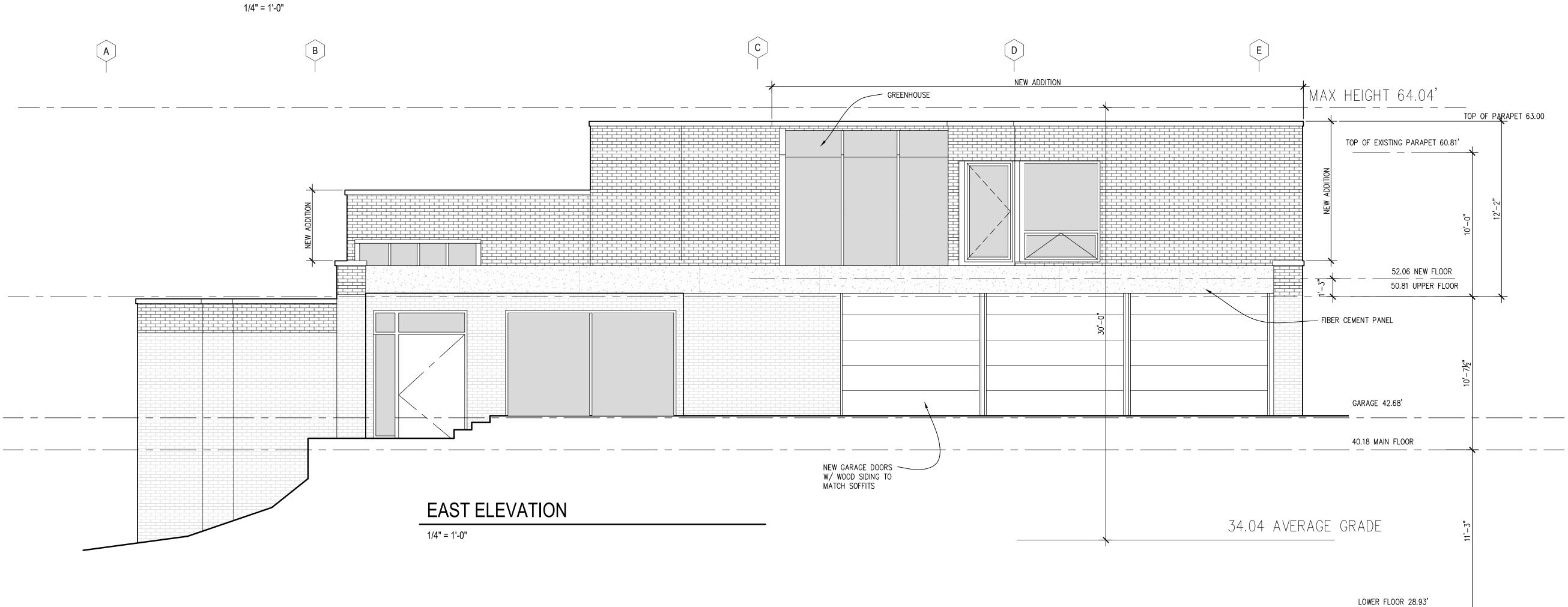
40.18 MAIN FLOOR



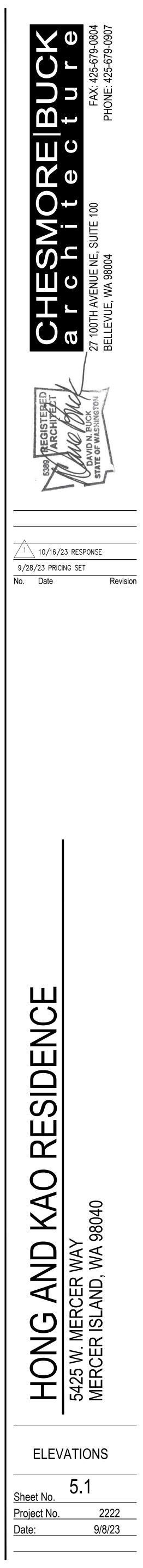


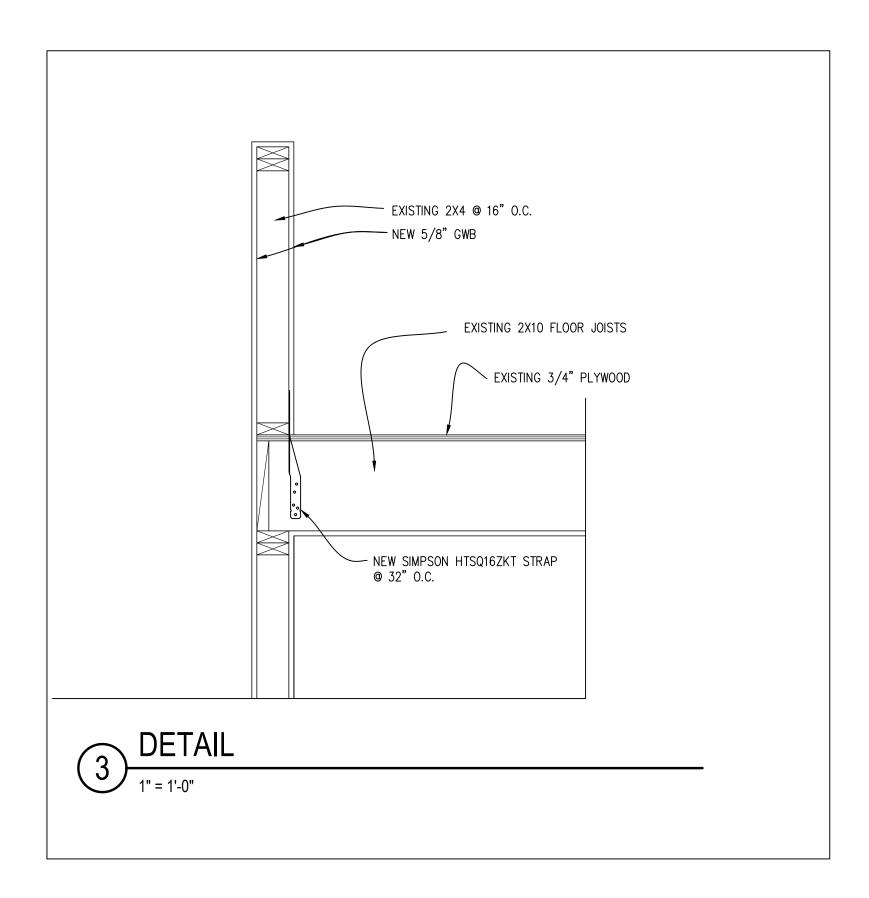


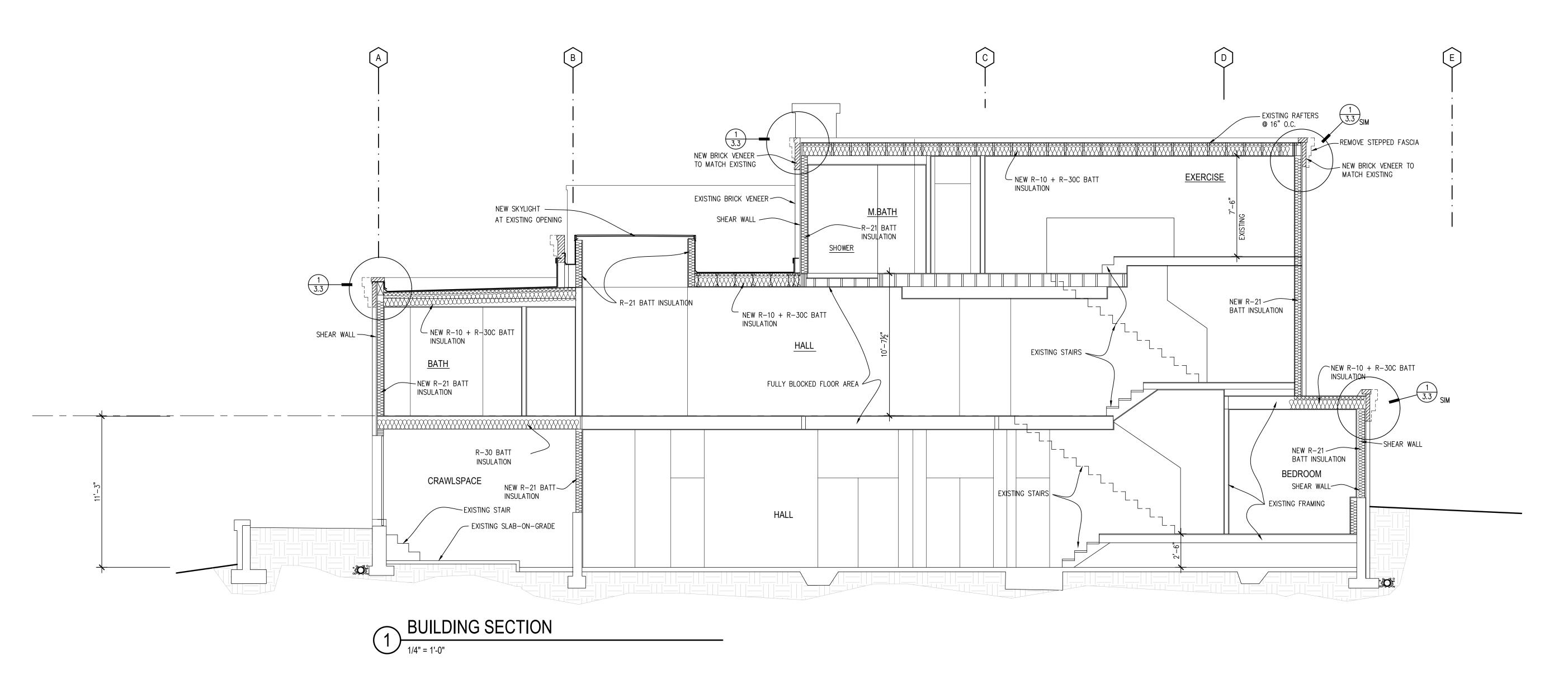


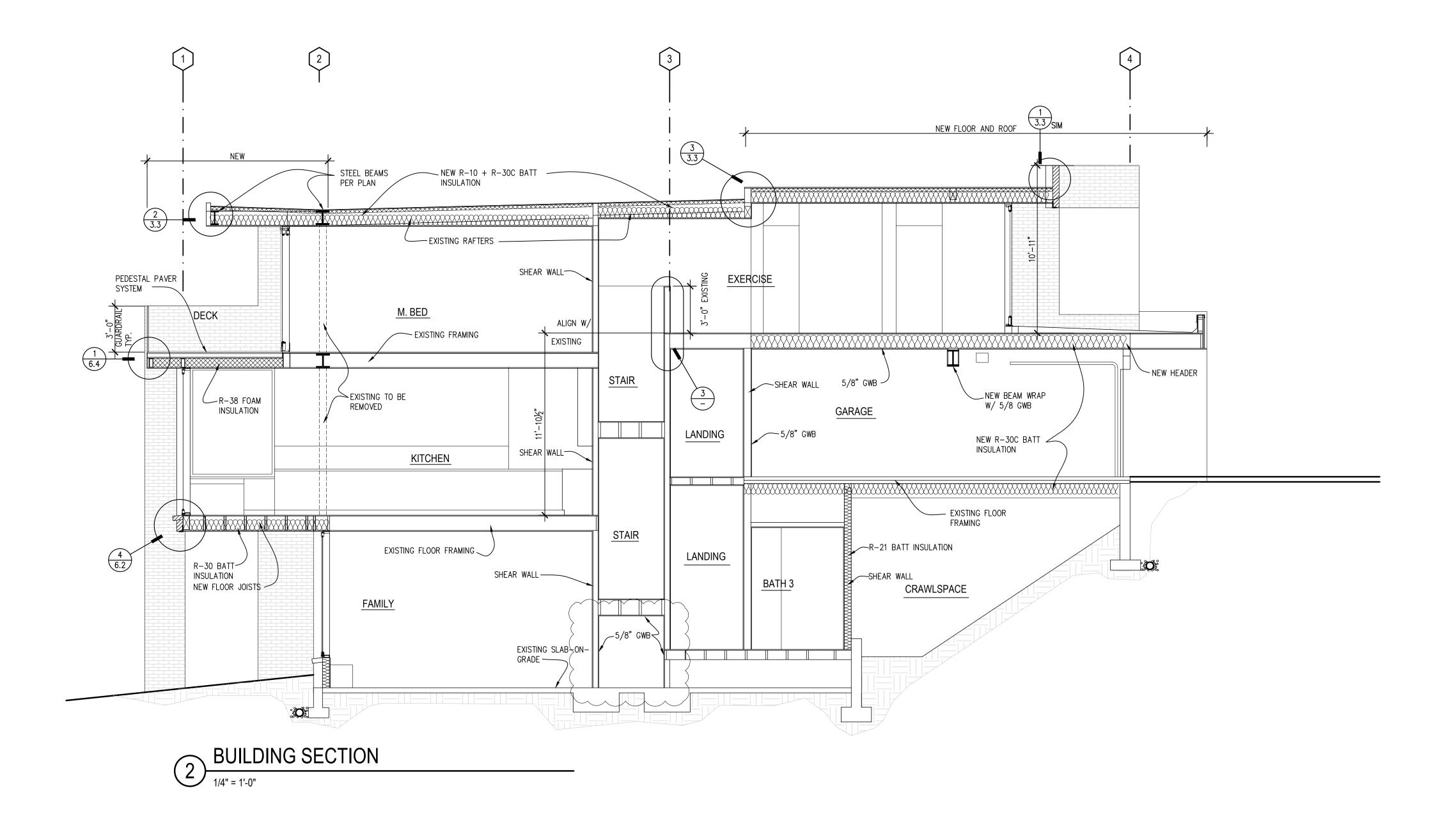


NORTH ELEVATION



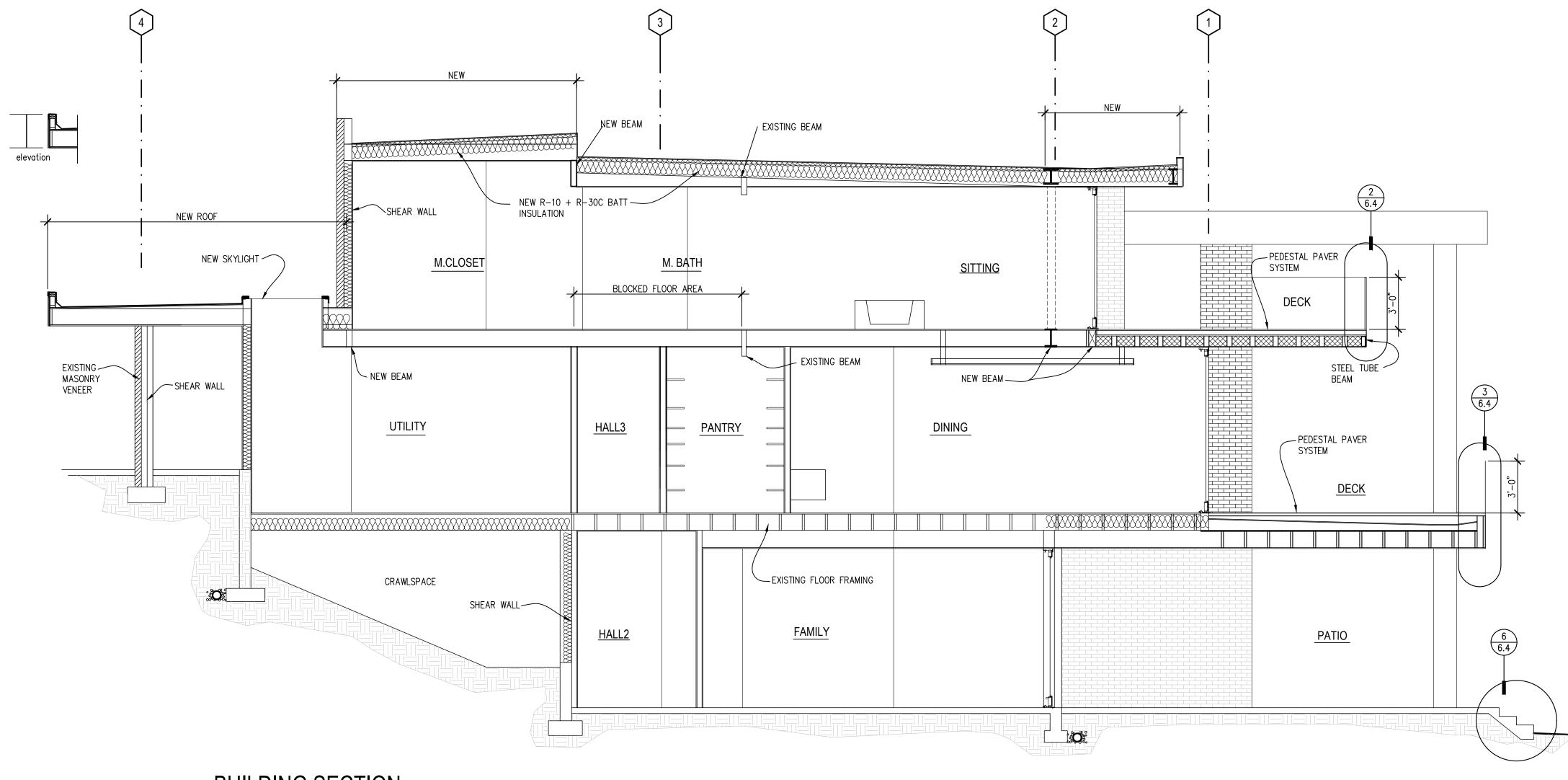




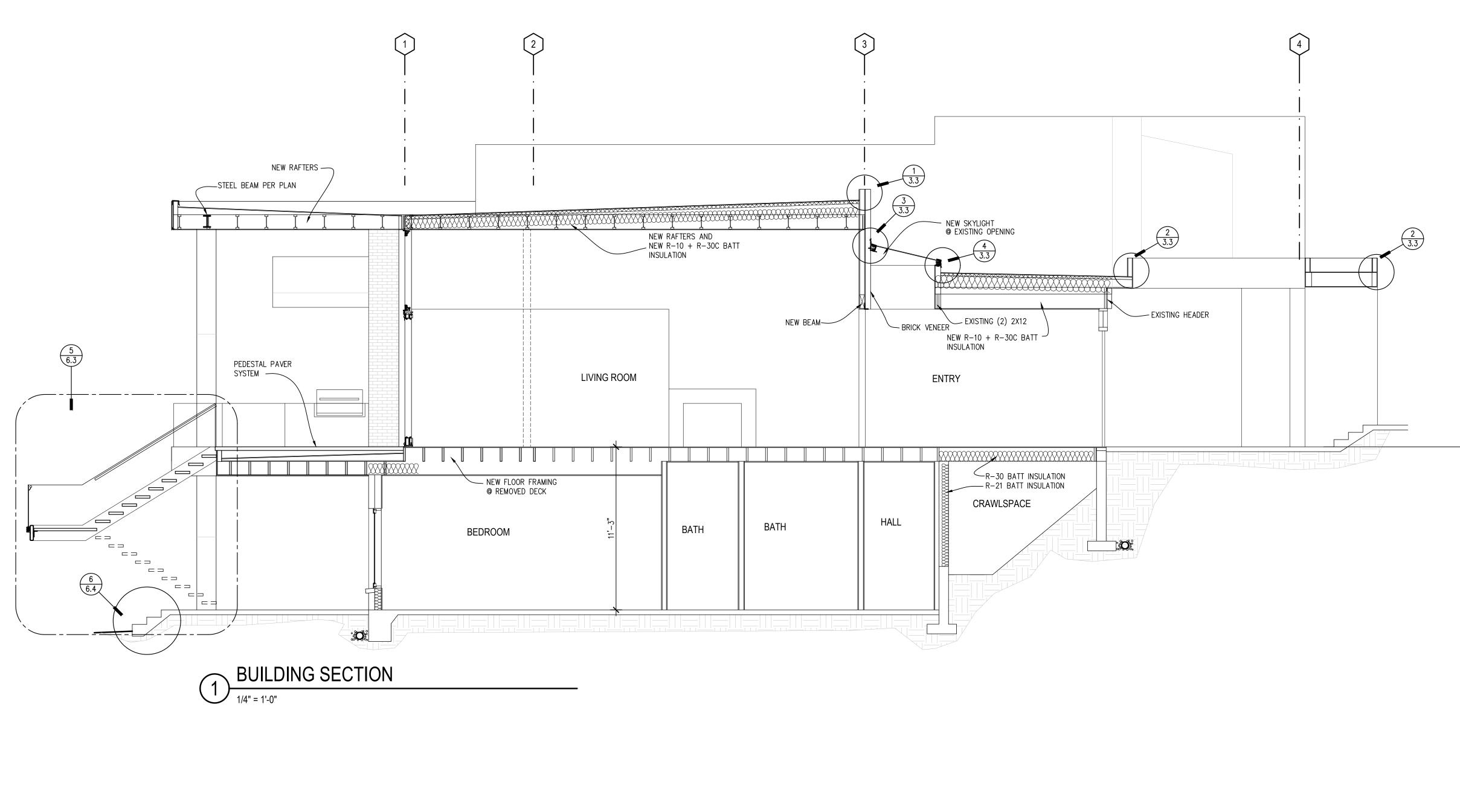


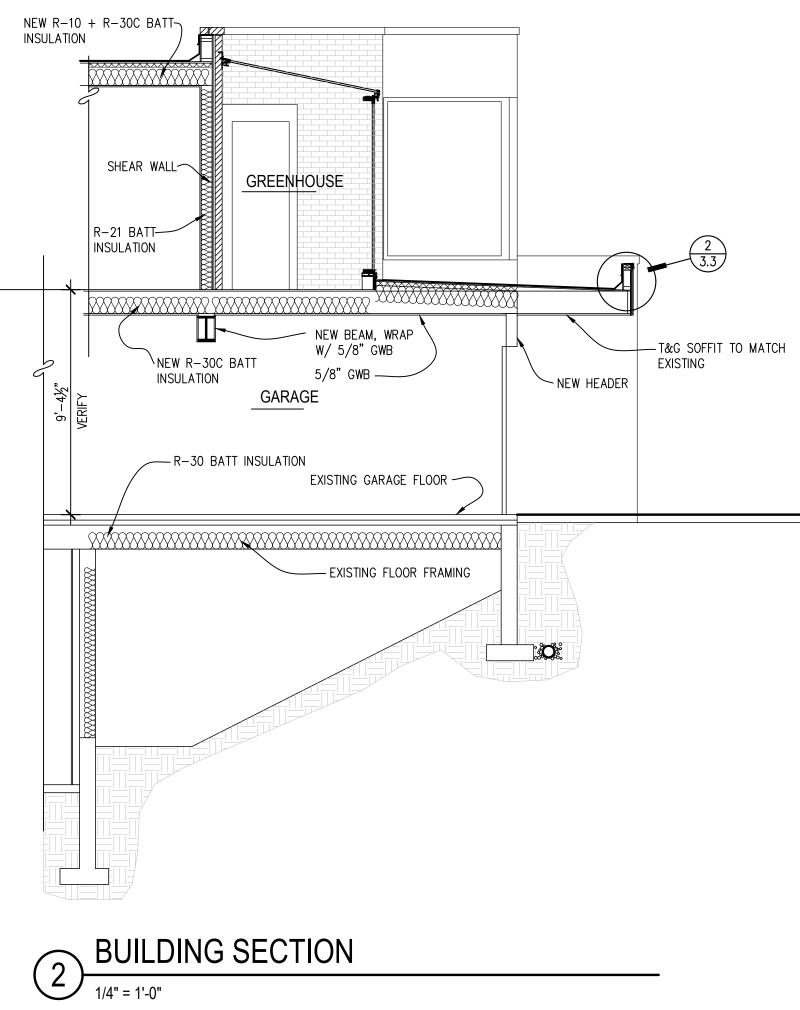


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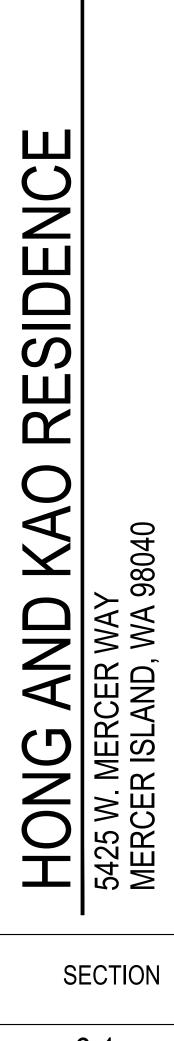






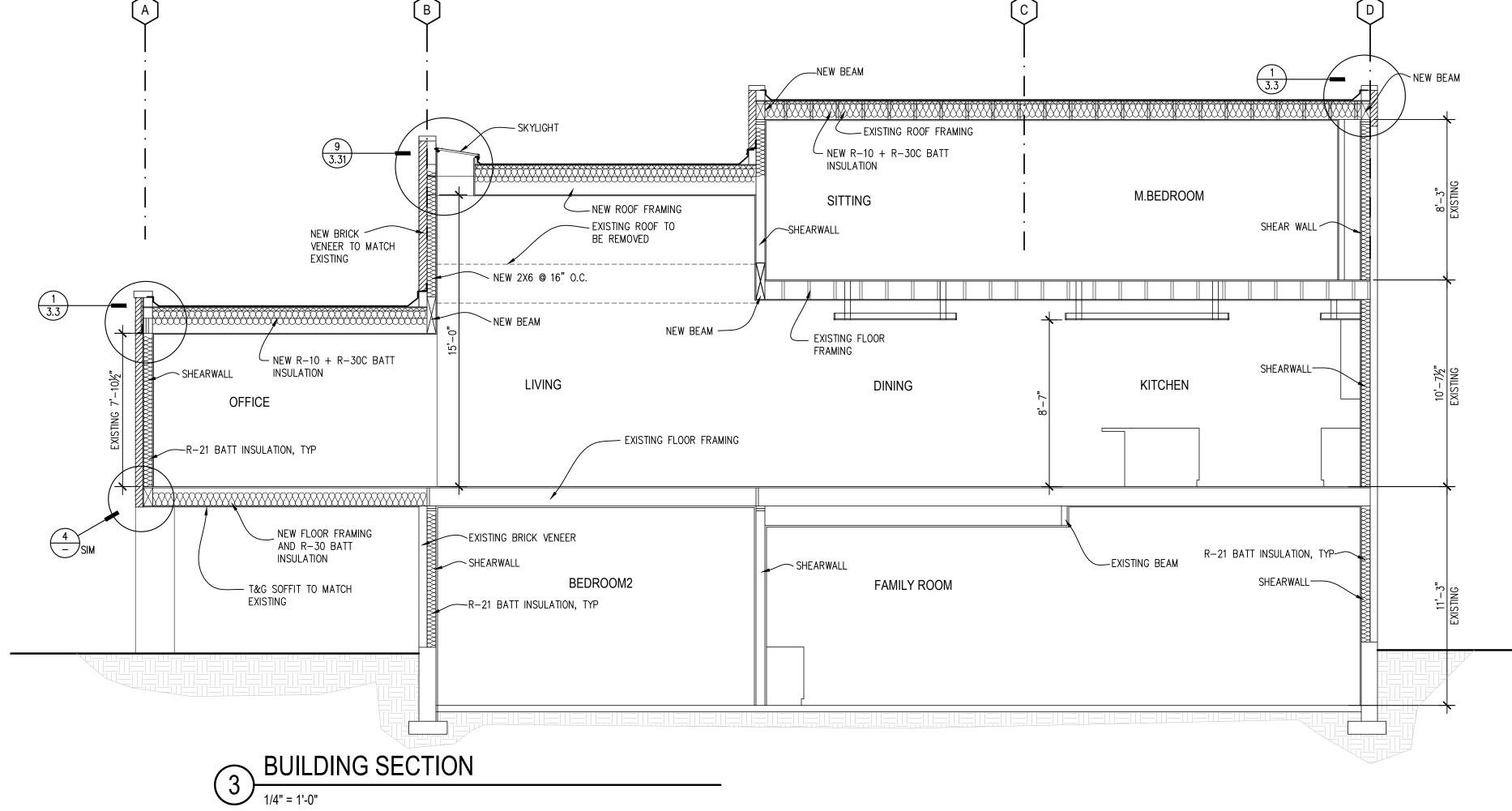
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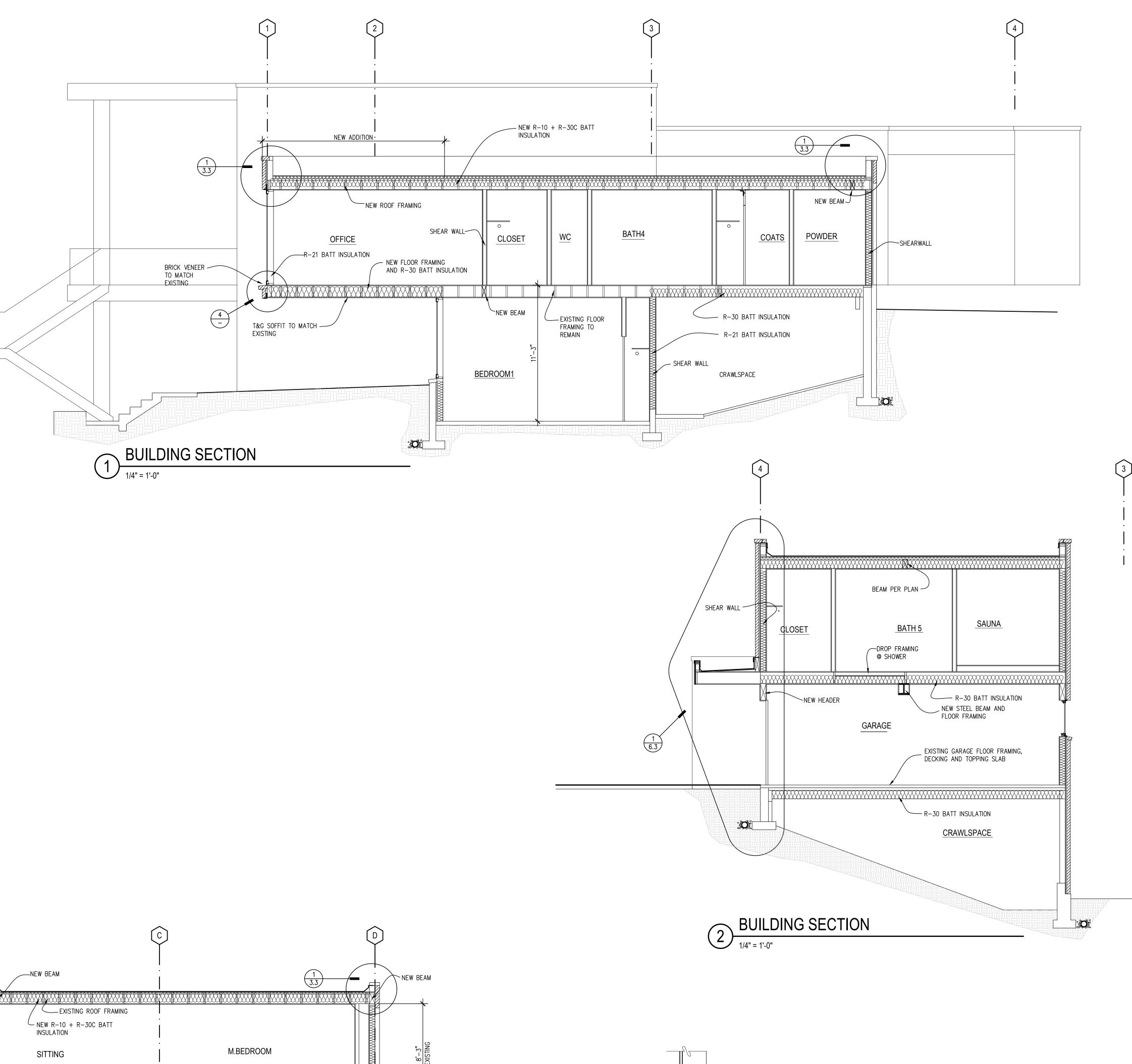
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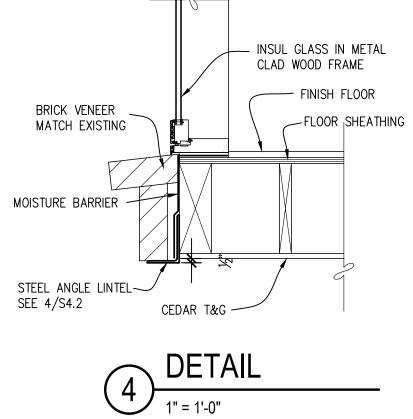
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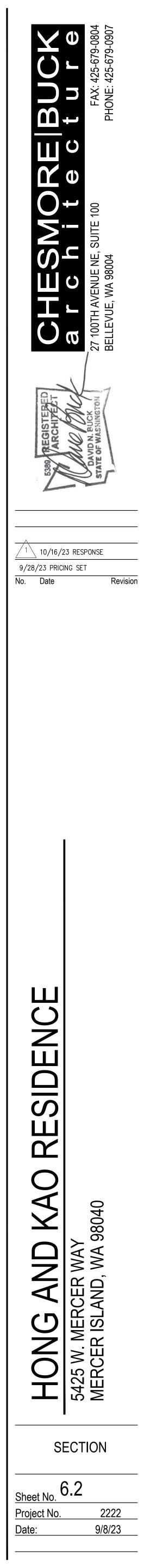


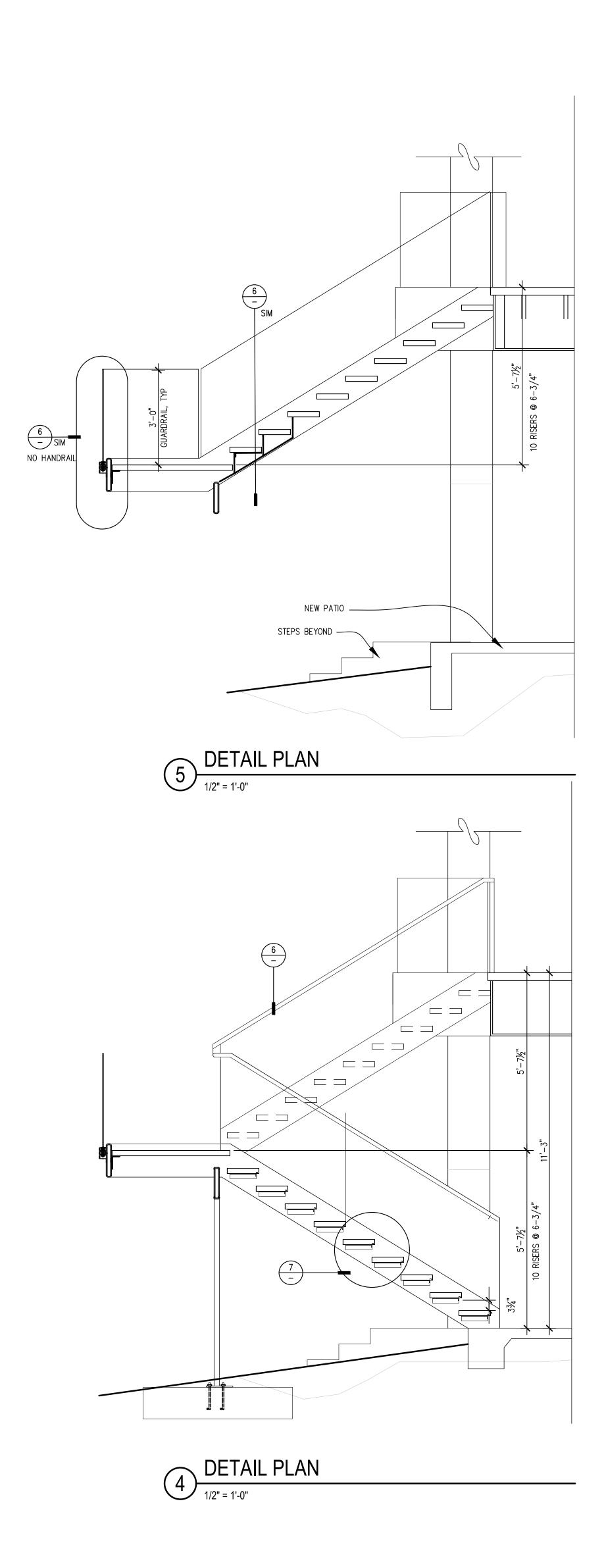
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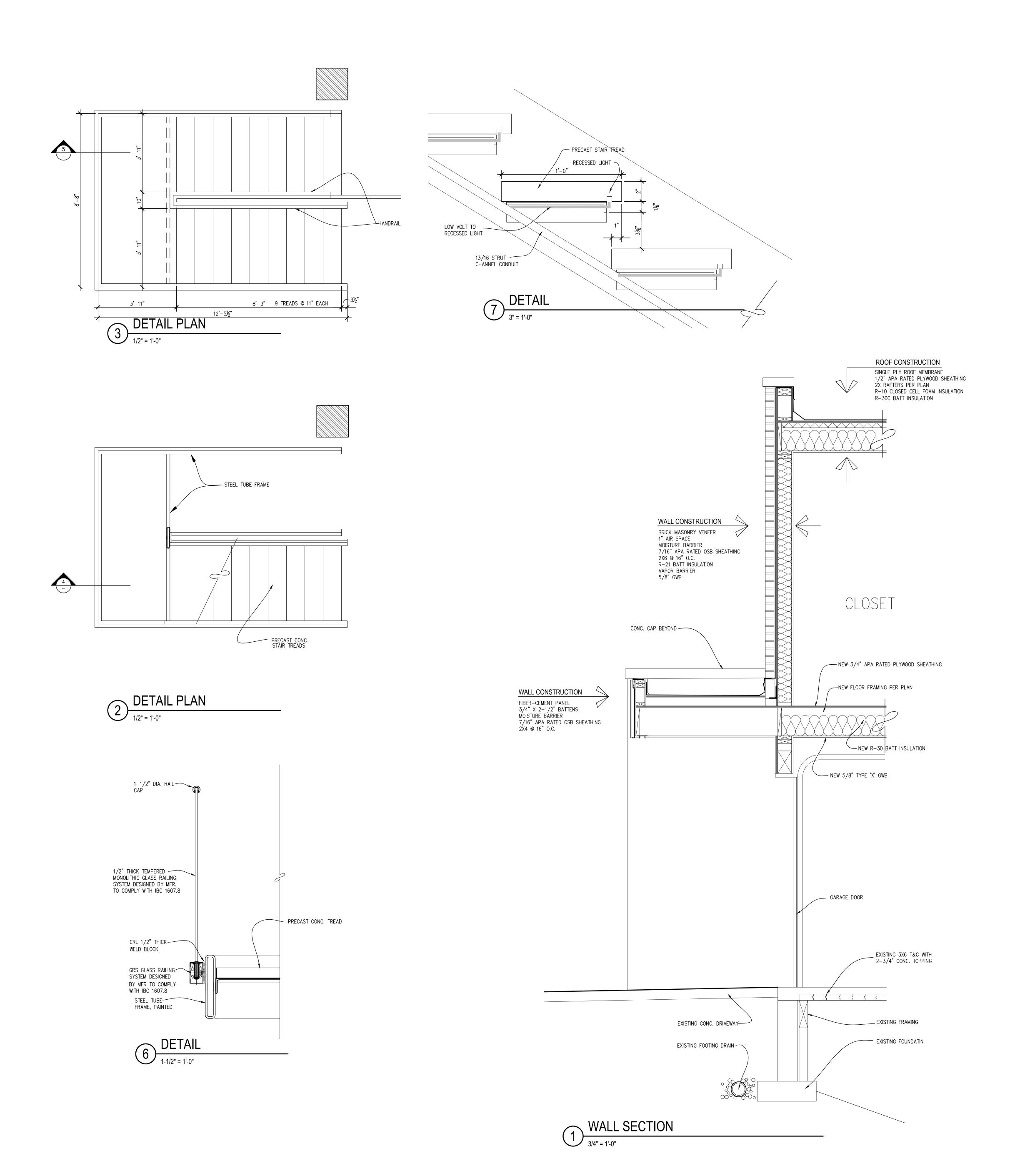
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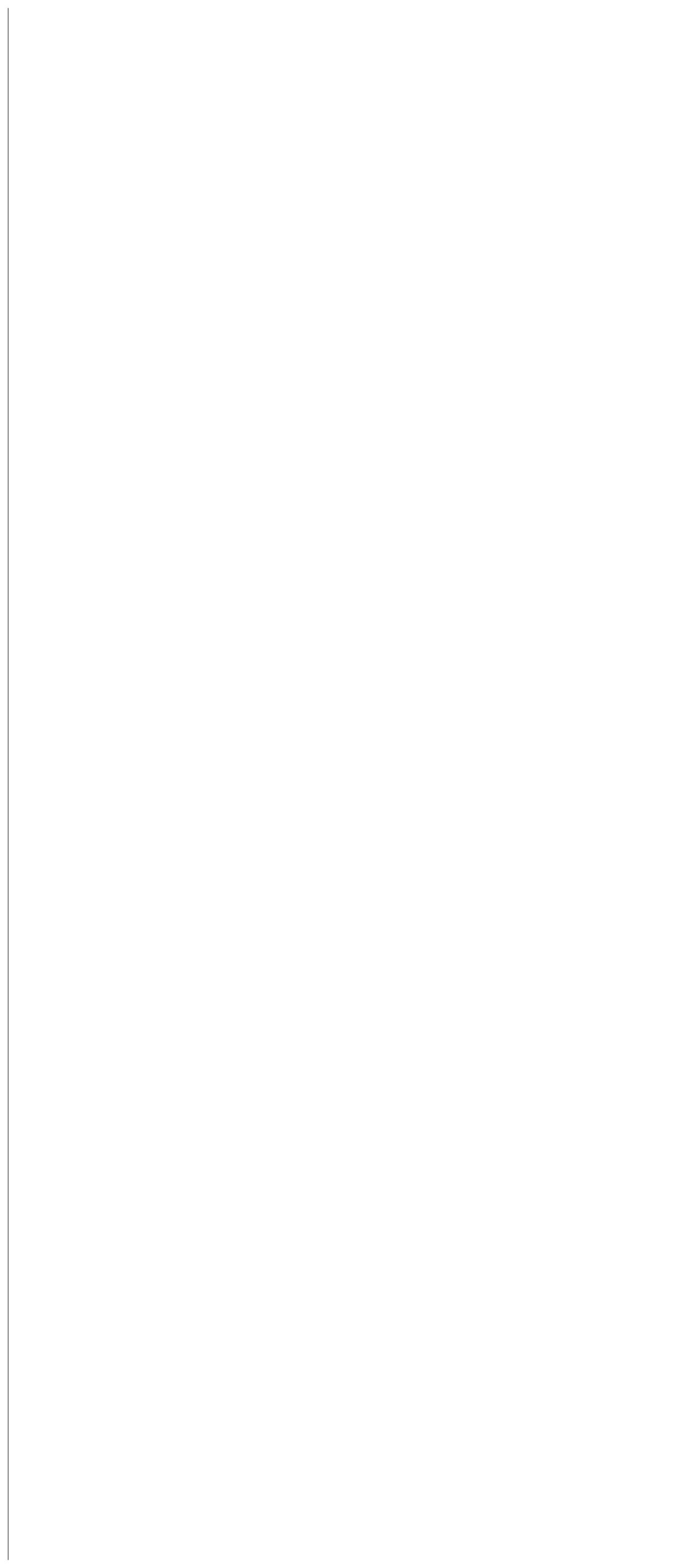


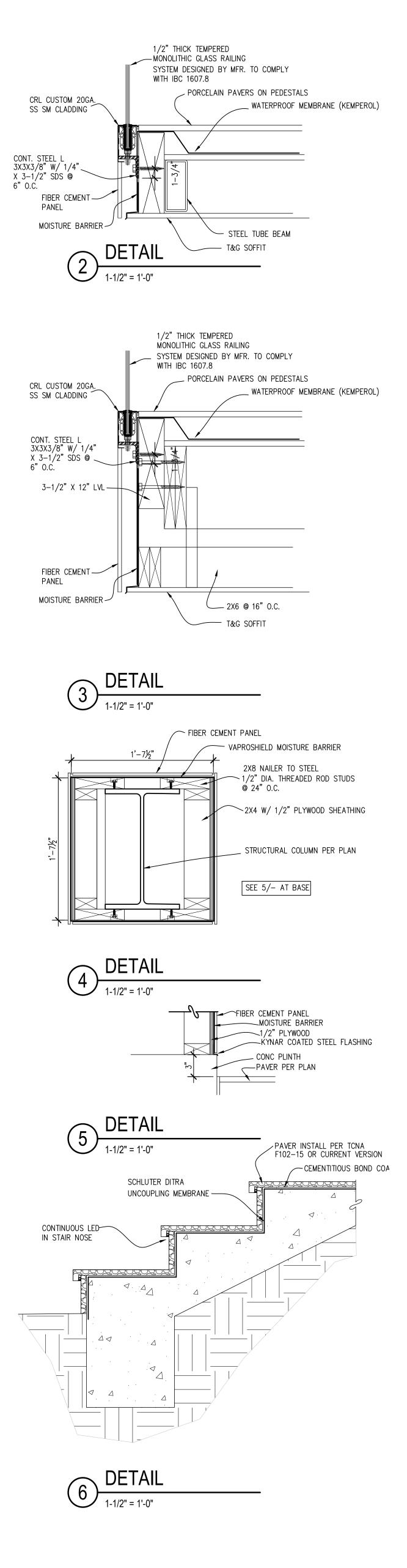


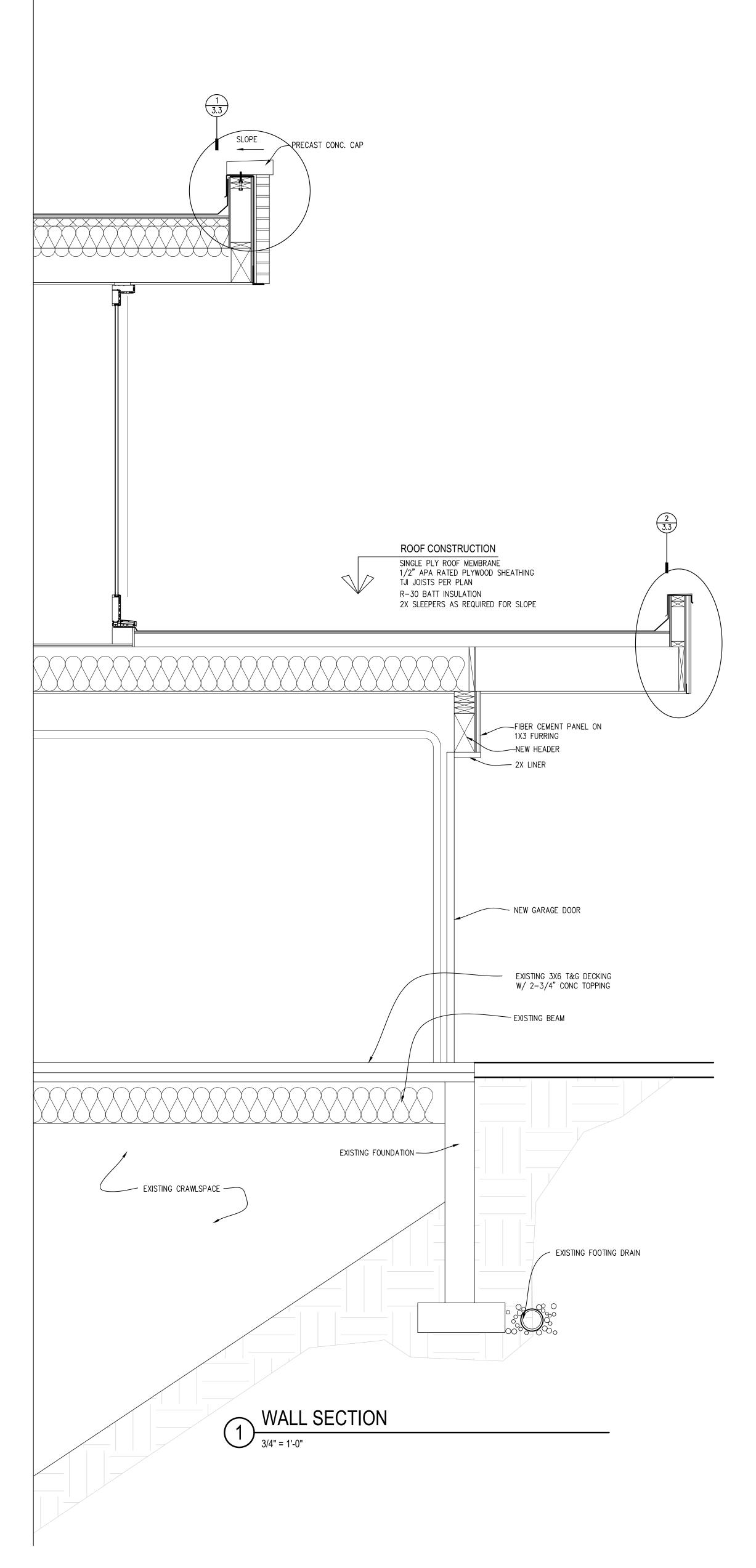








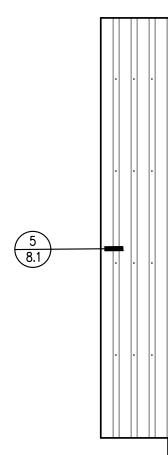


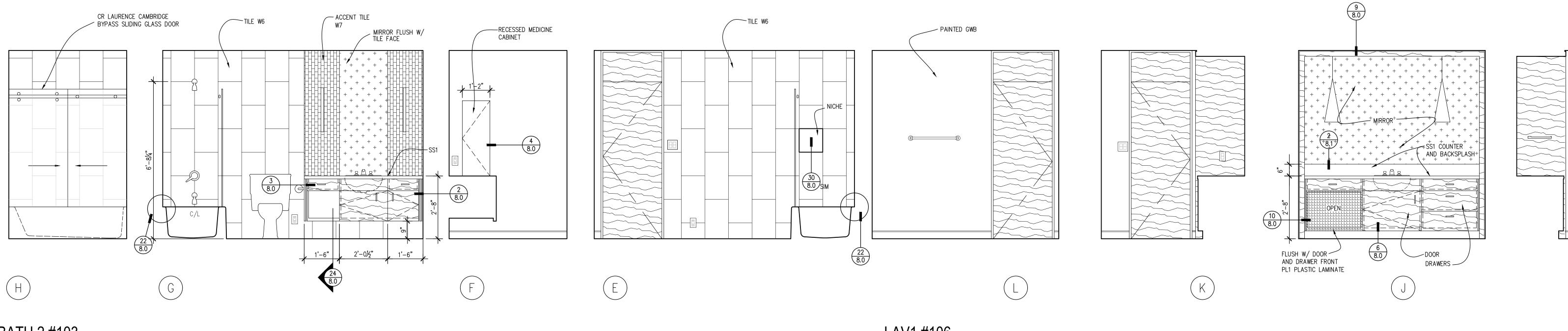


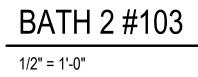


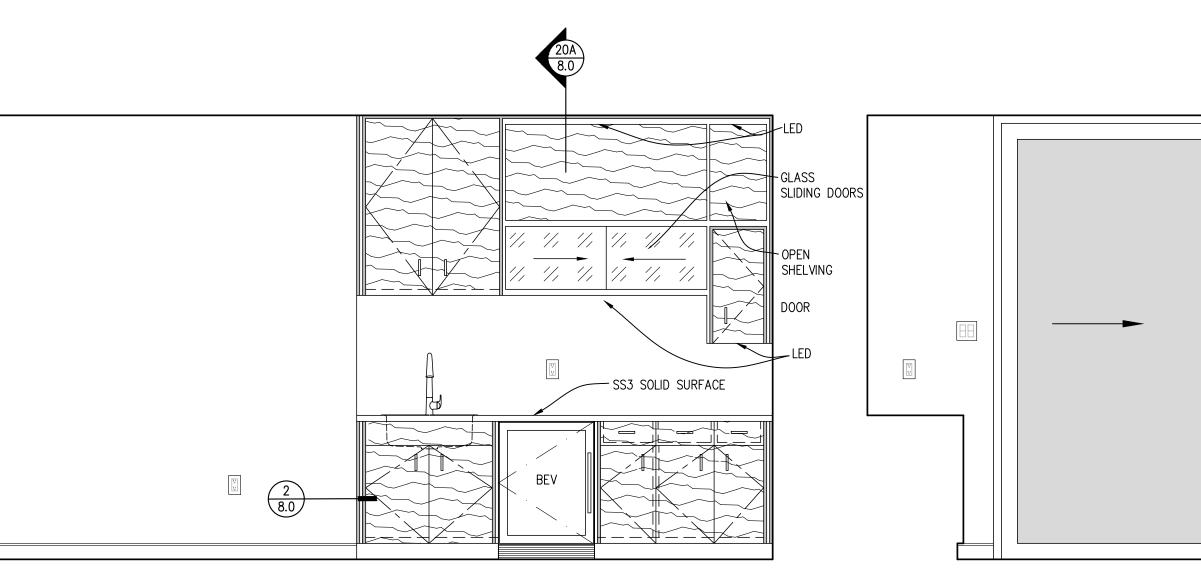






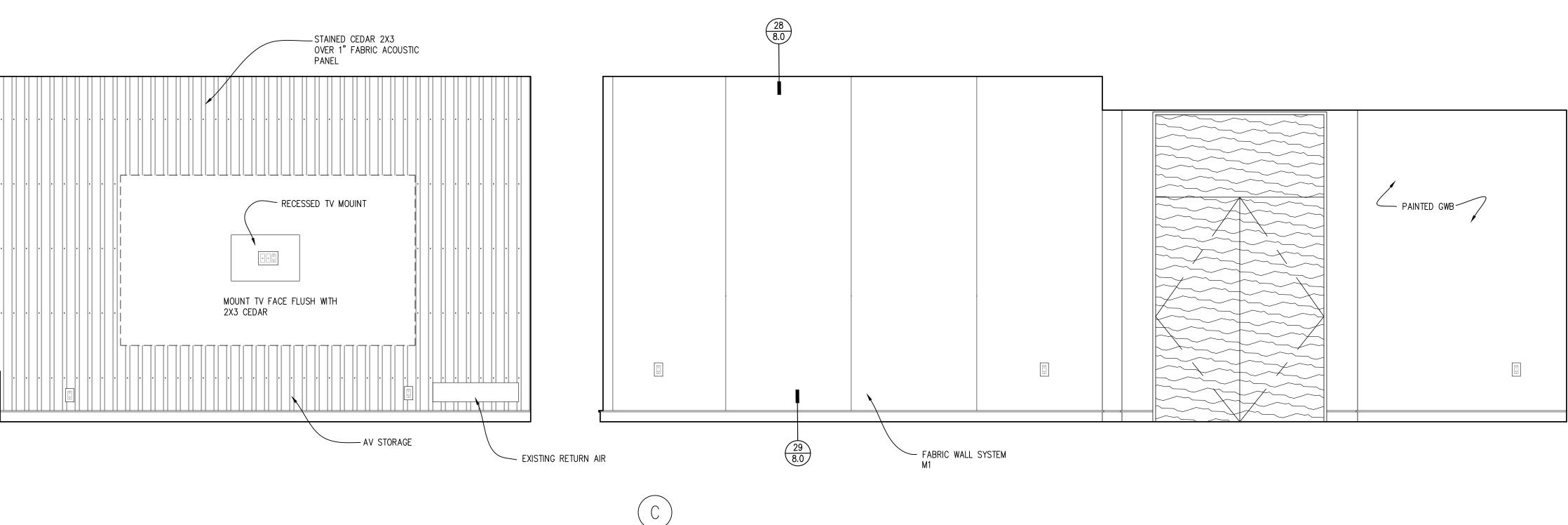






A

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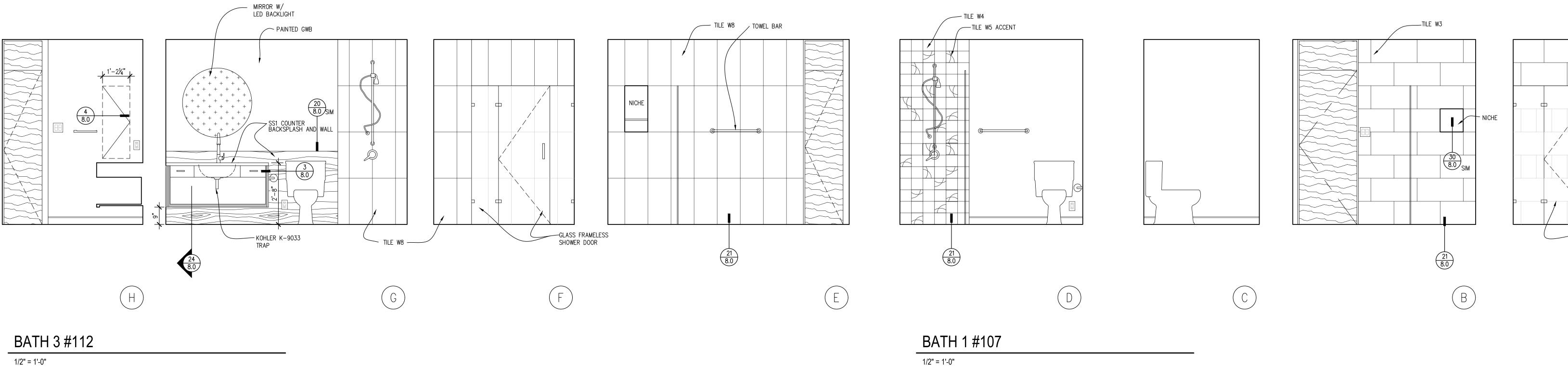


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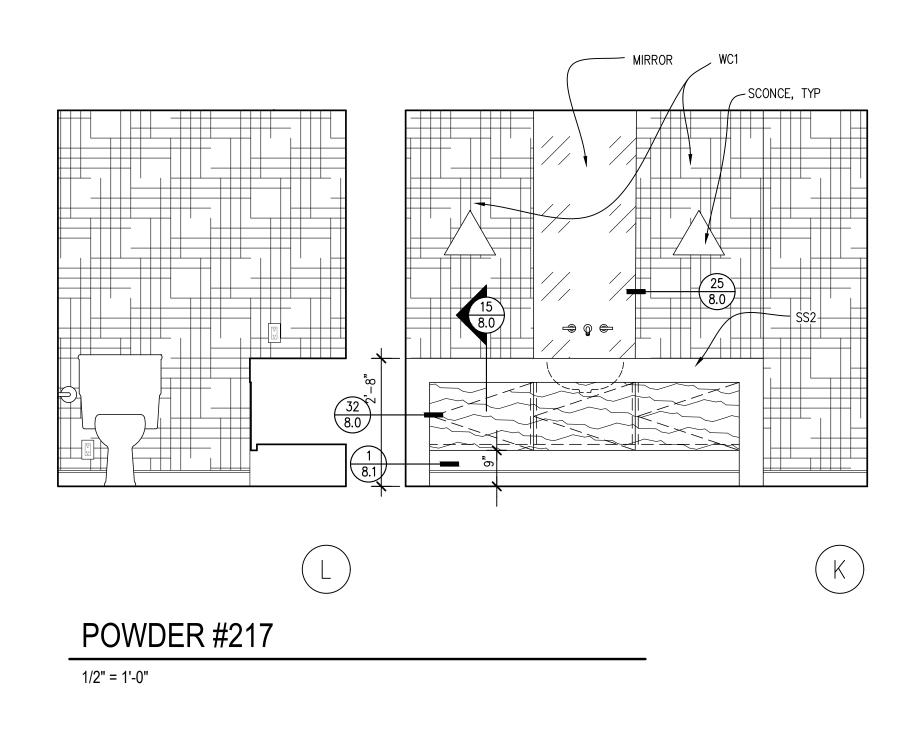
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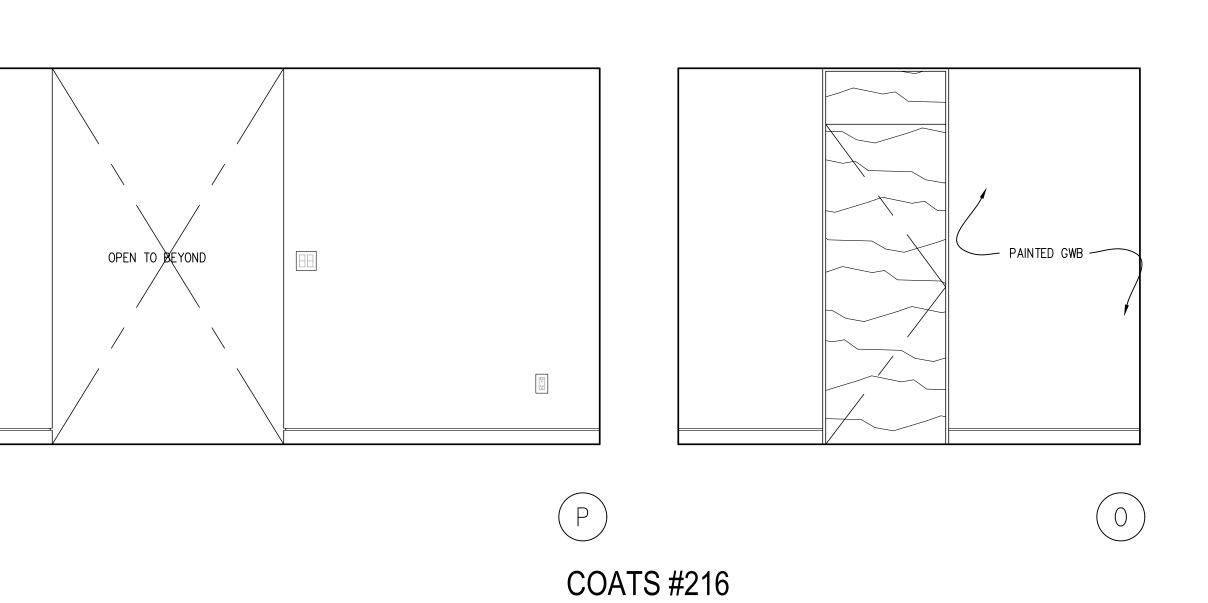




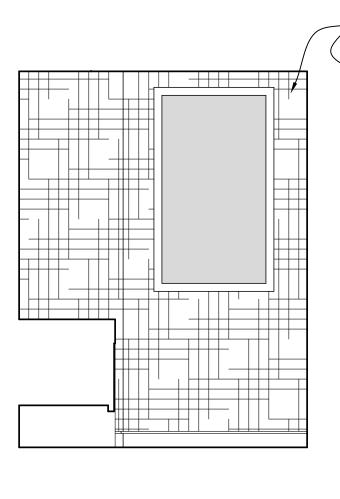


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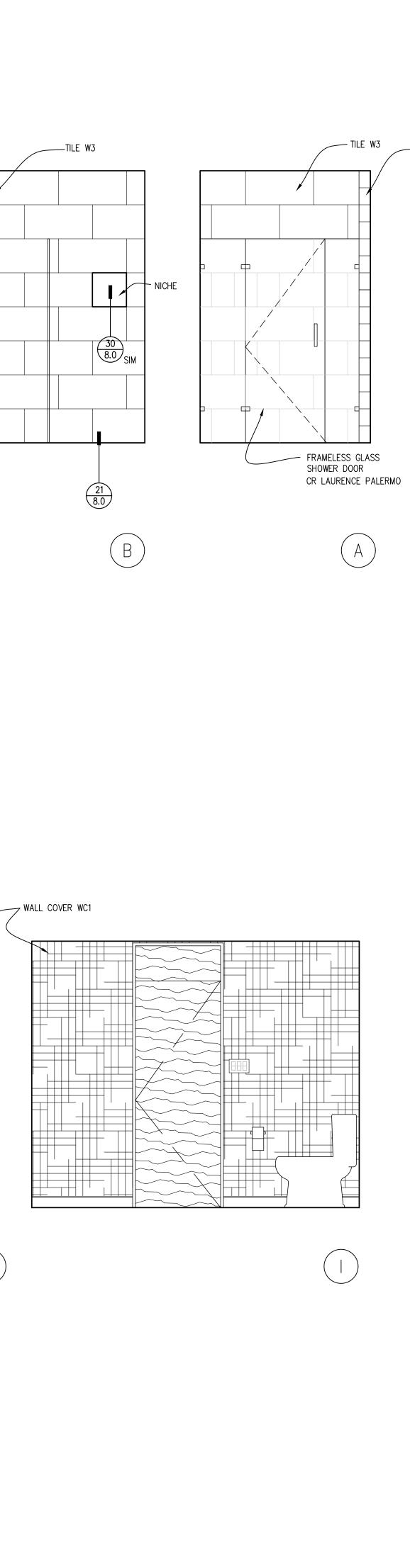


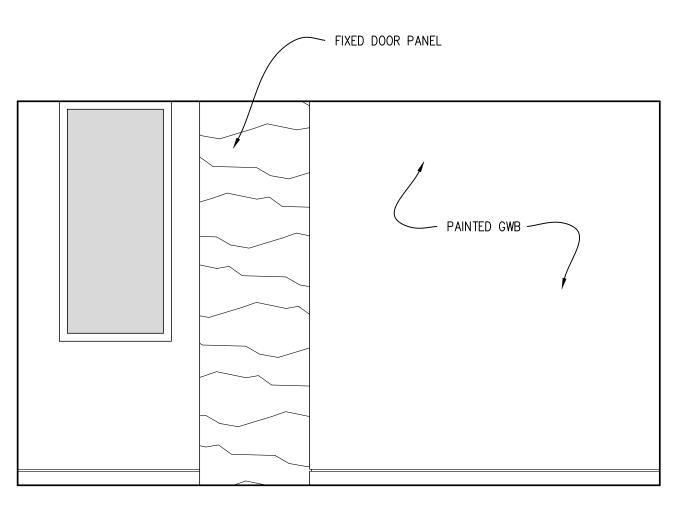


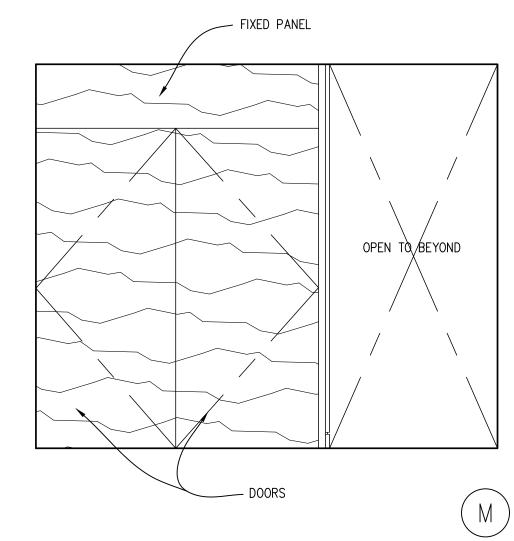
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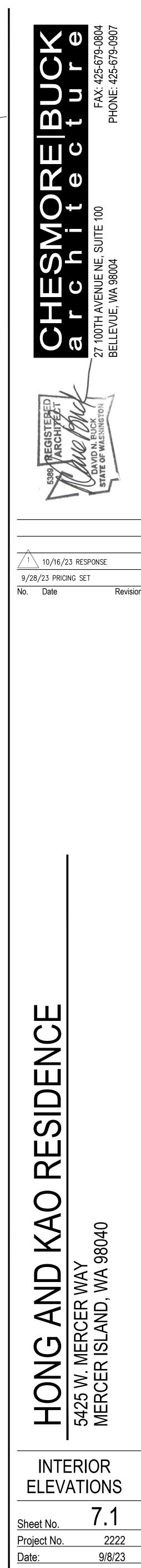
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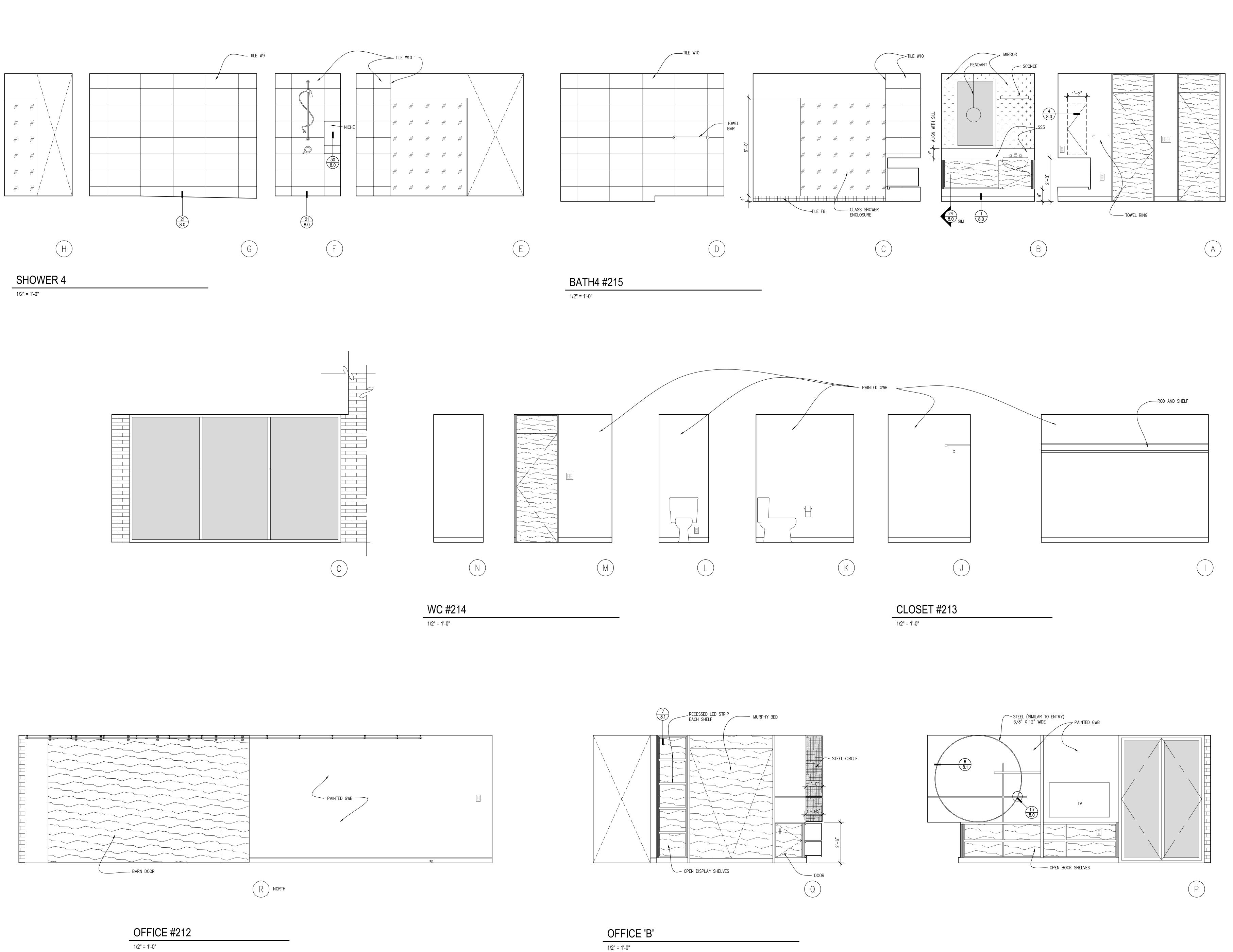


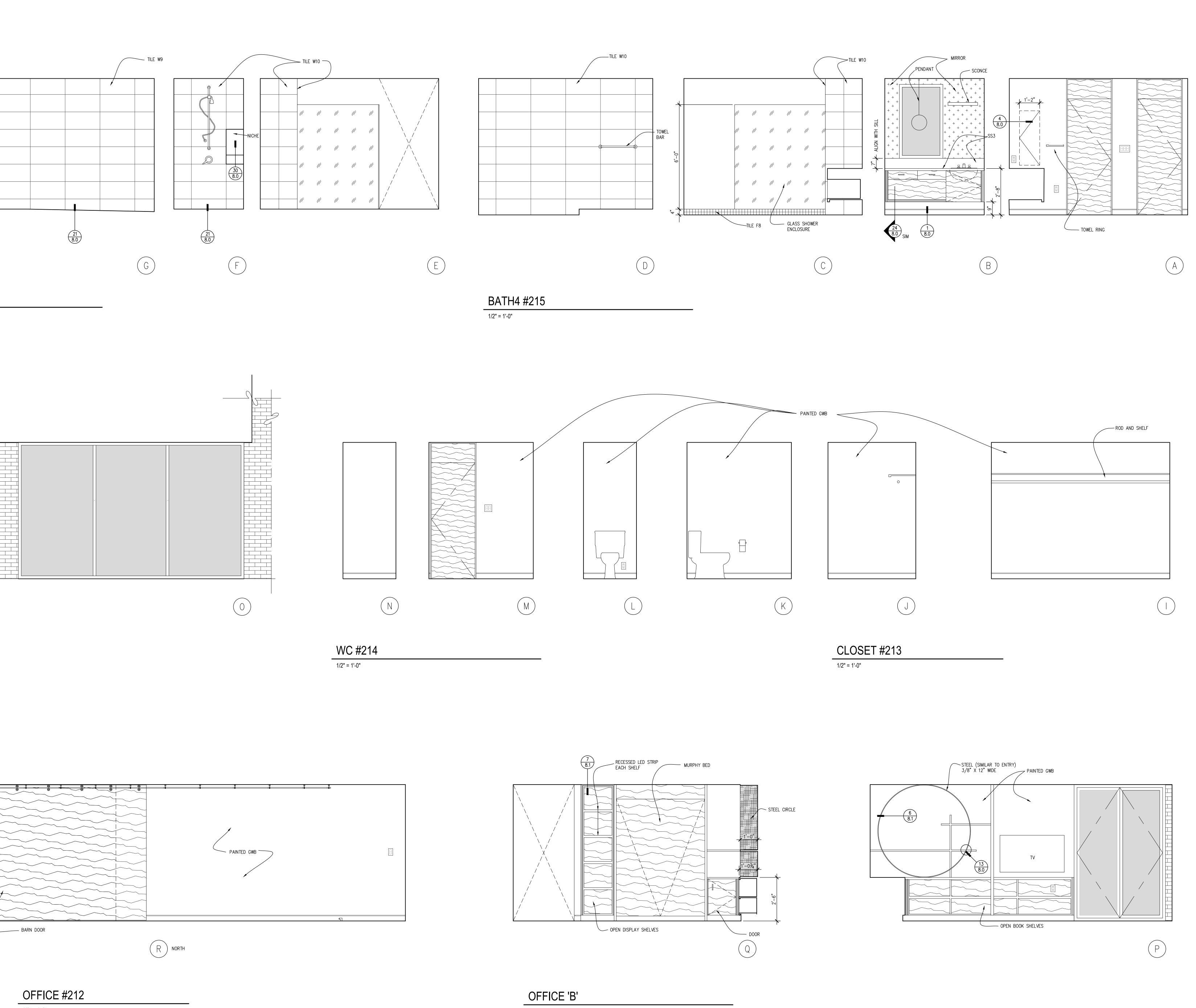


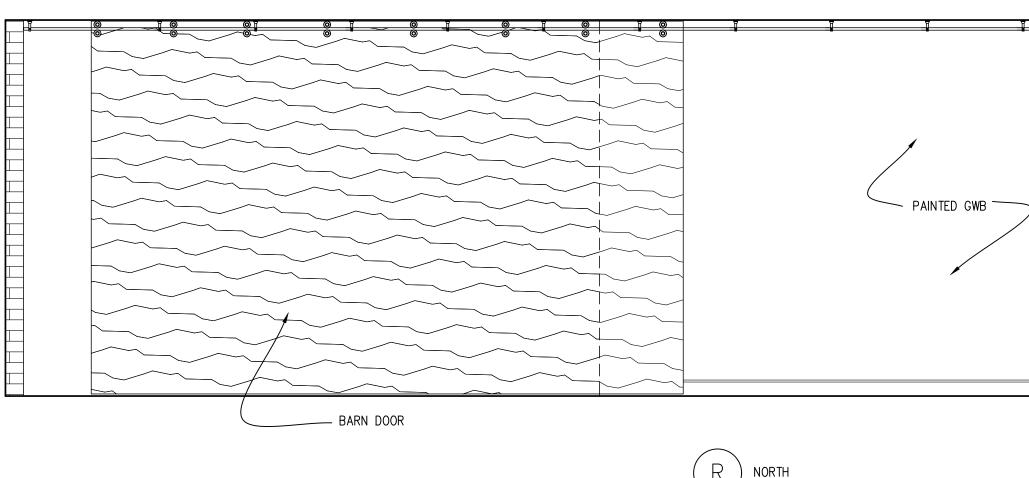




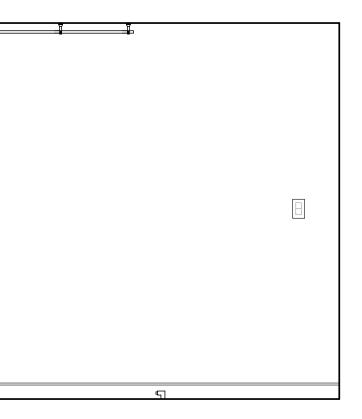


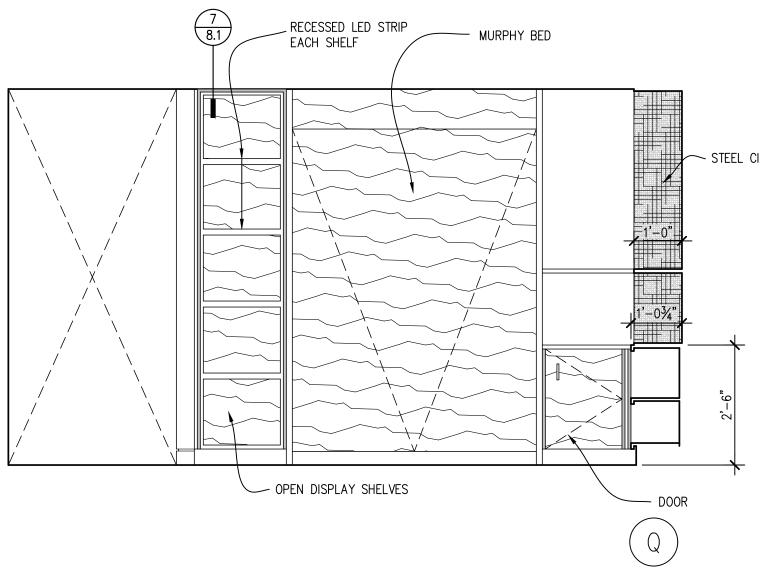




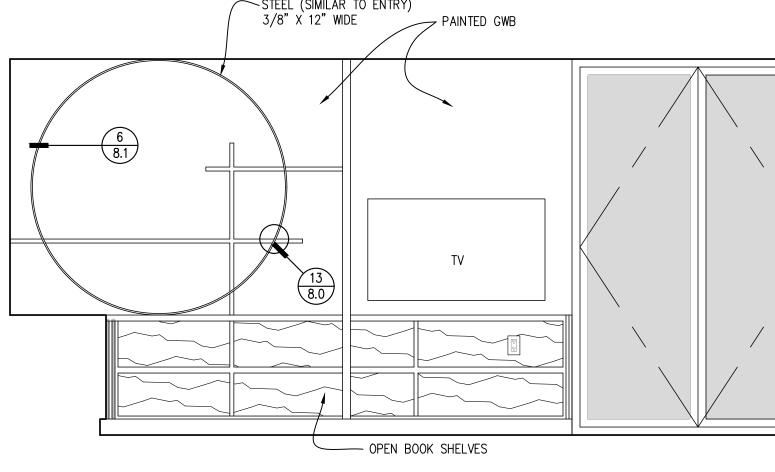




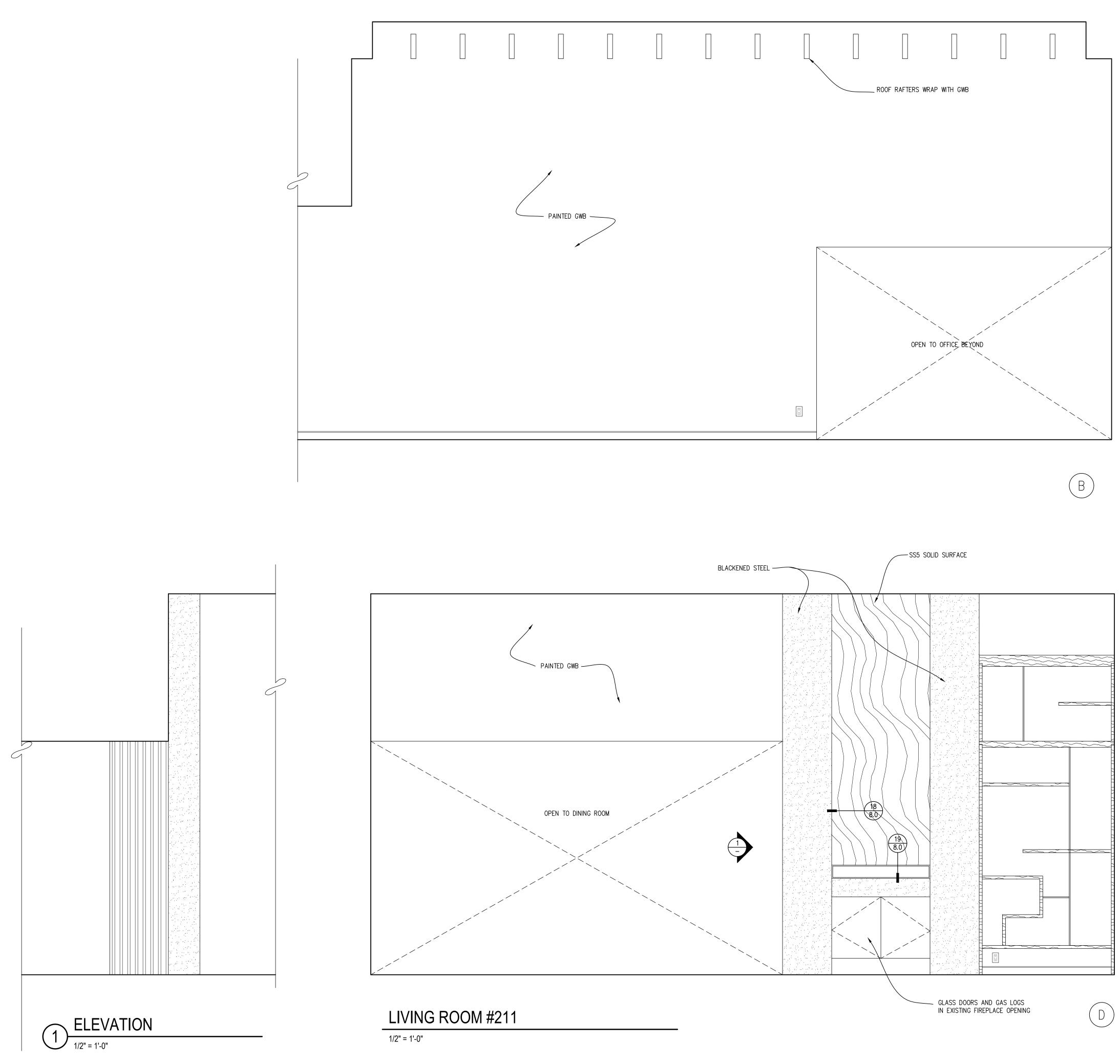


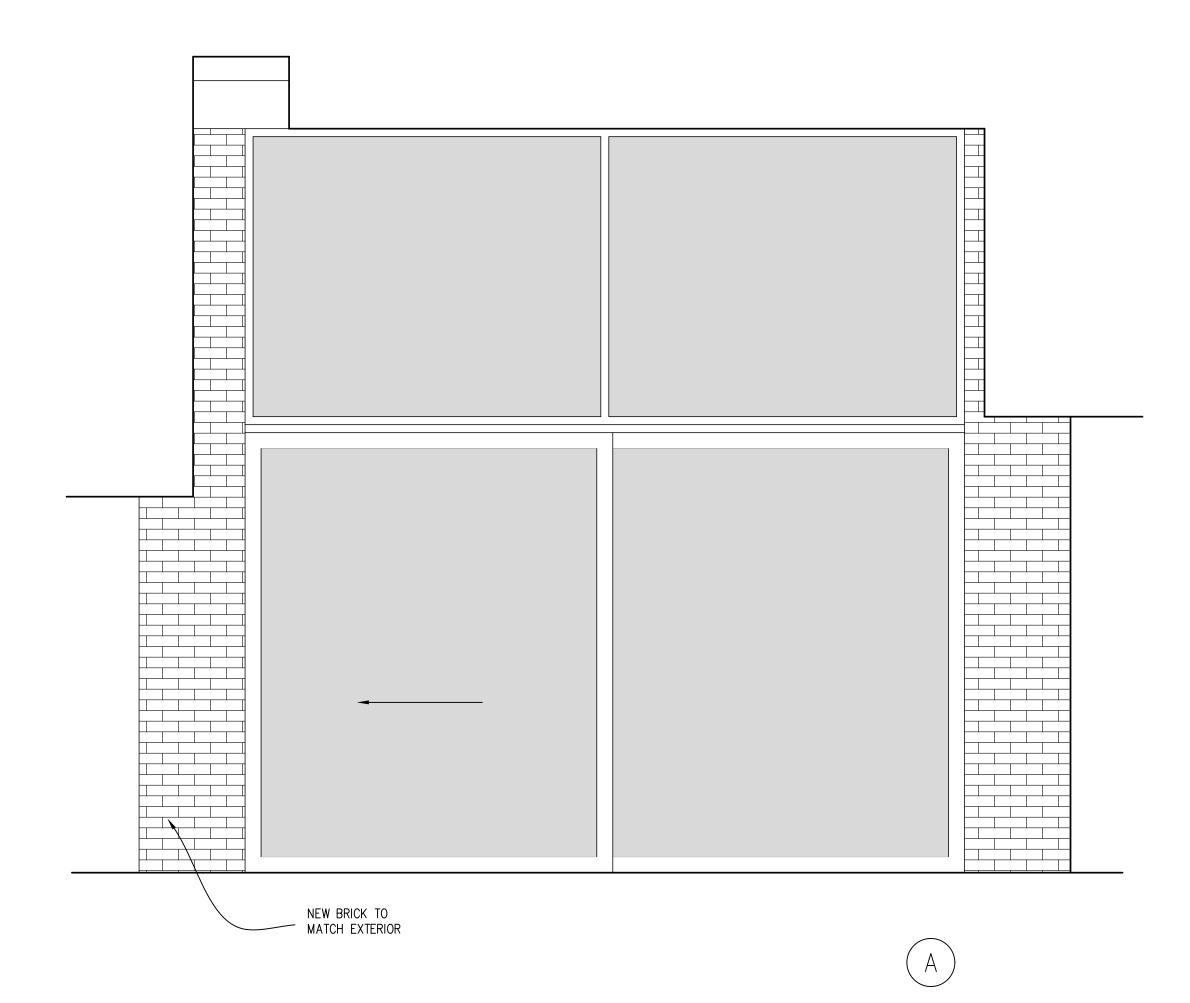


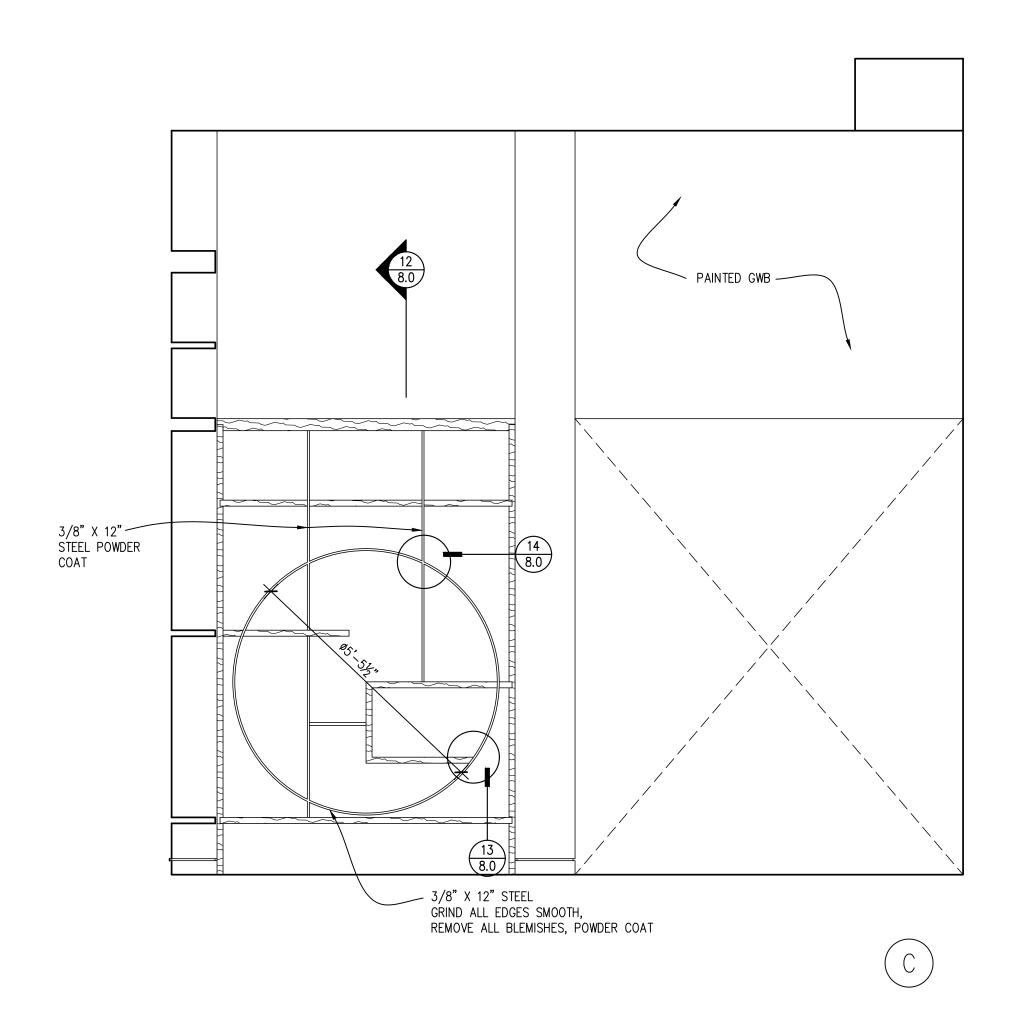


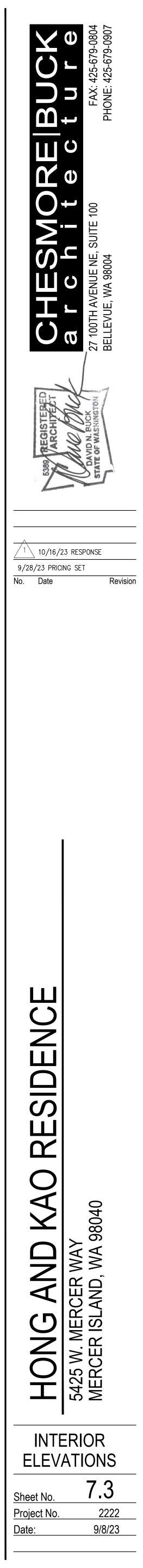


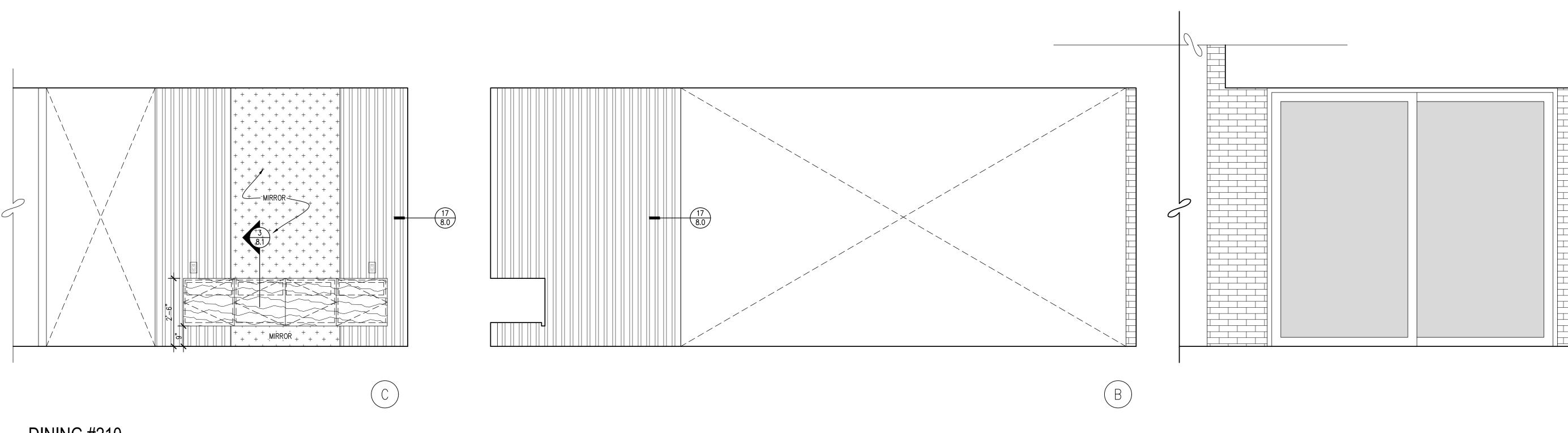




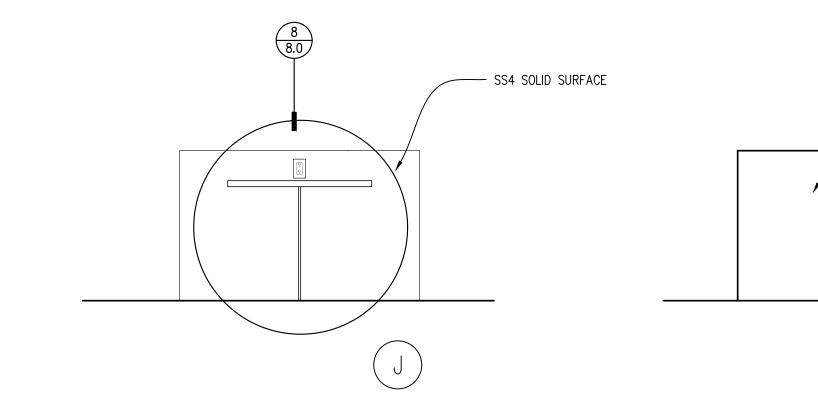


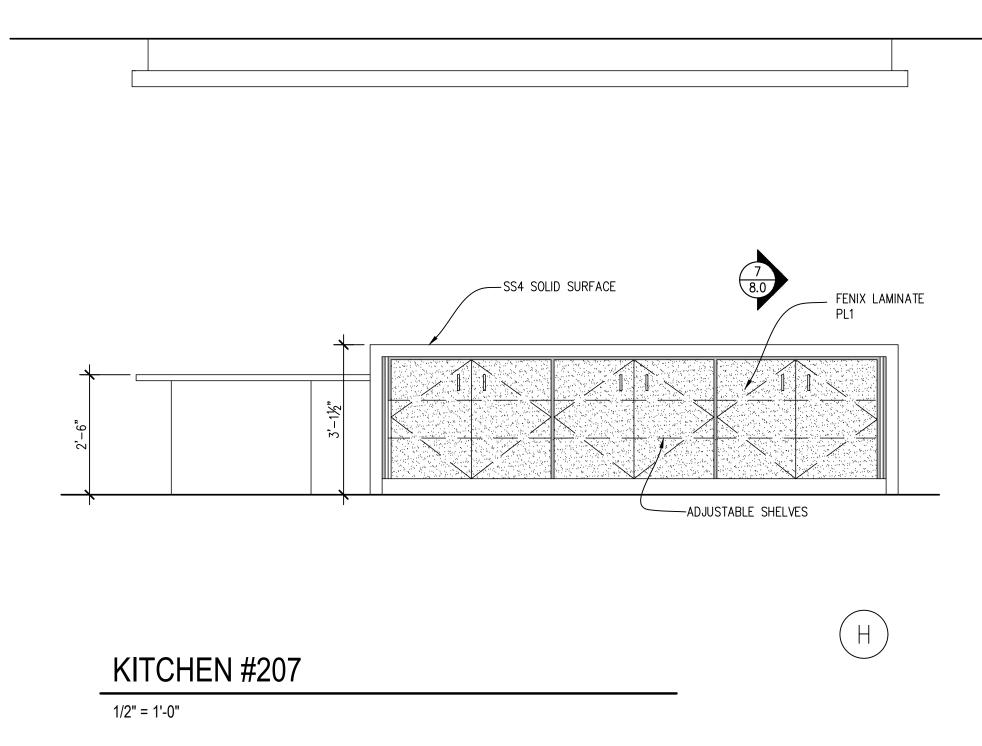


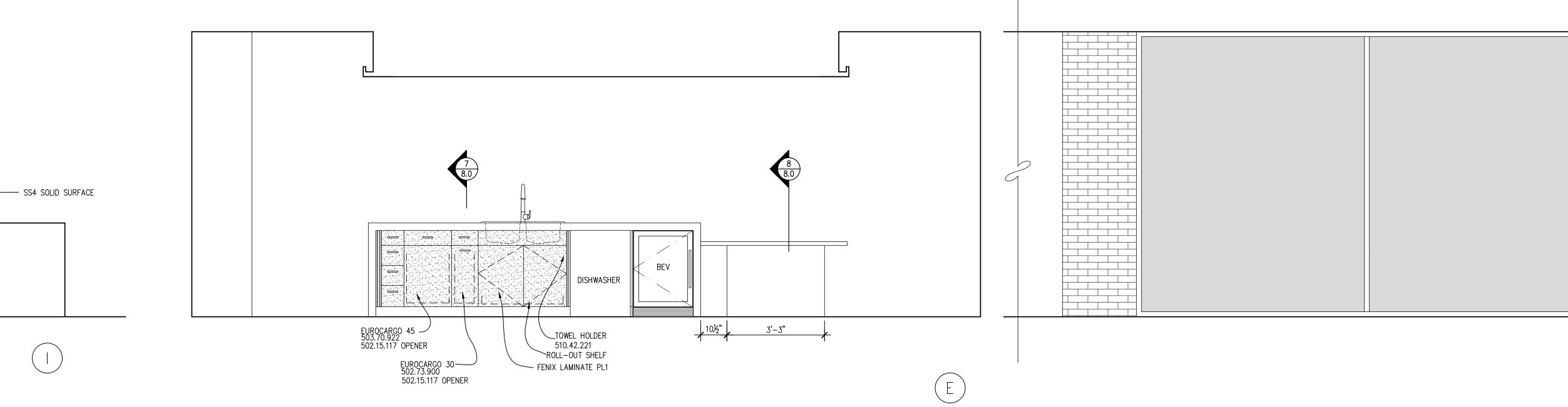


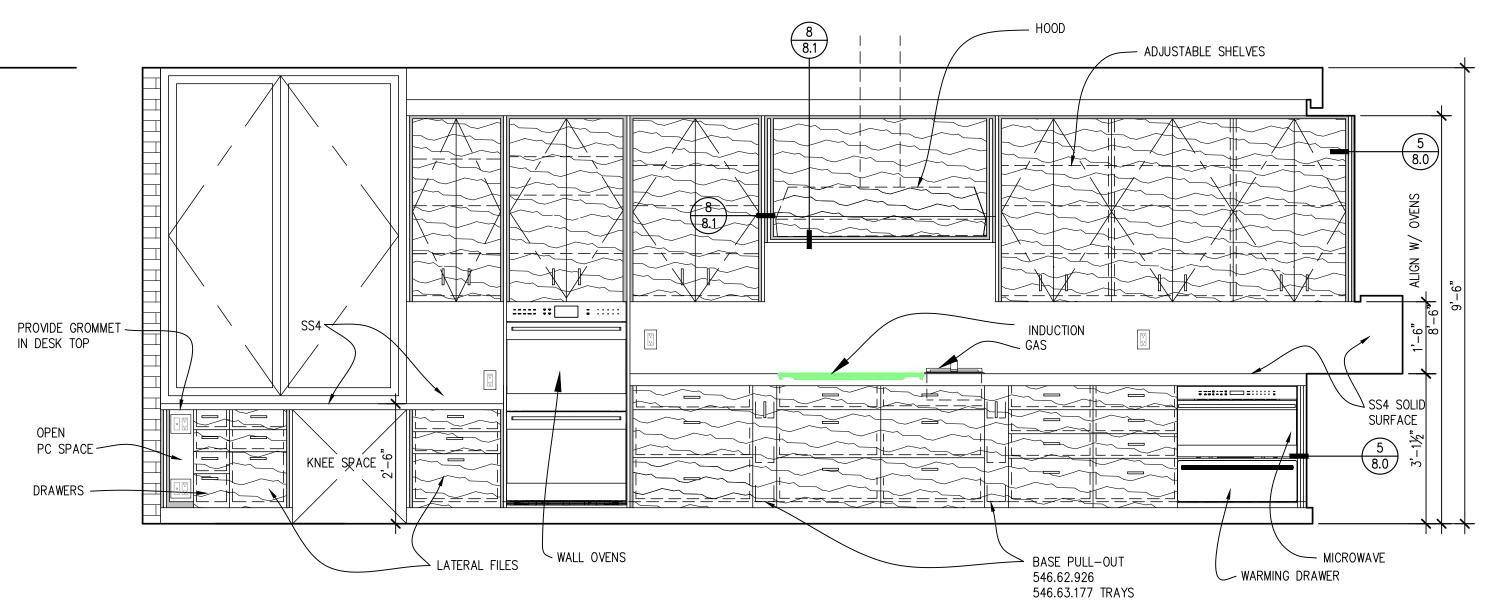


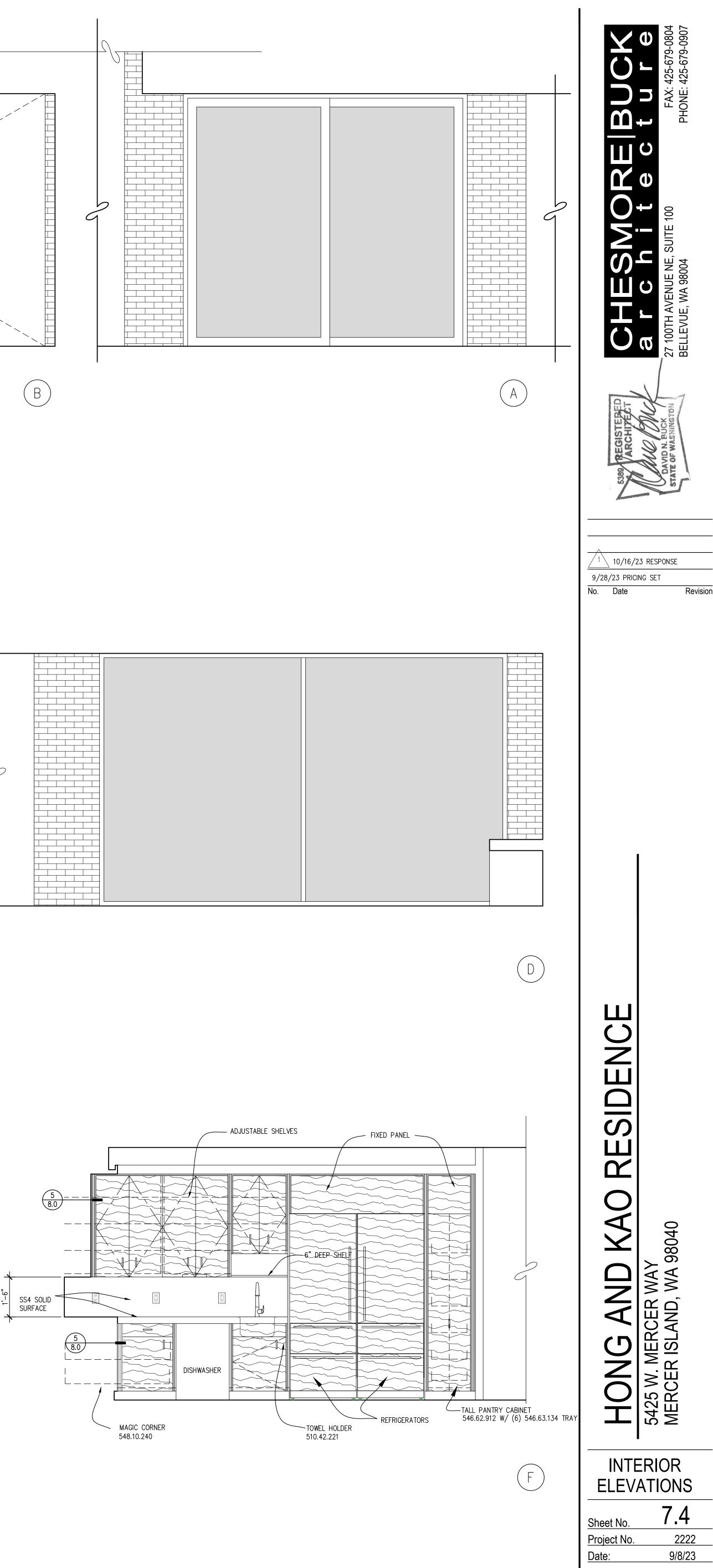
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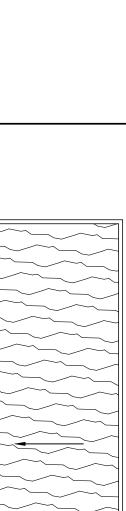






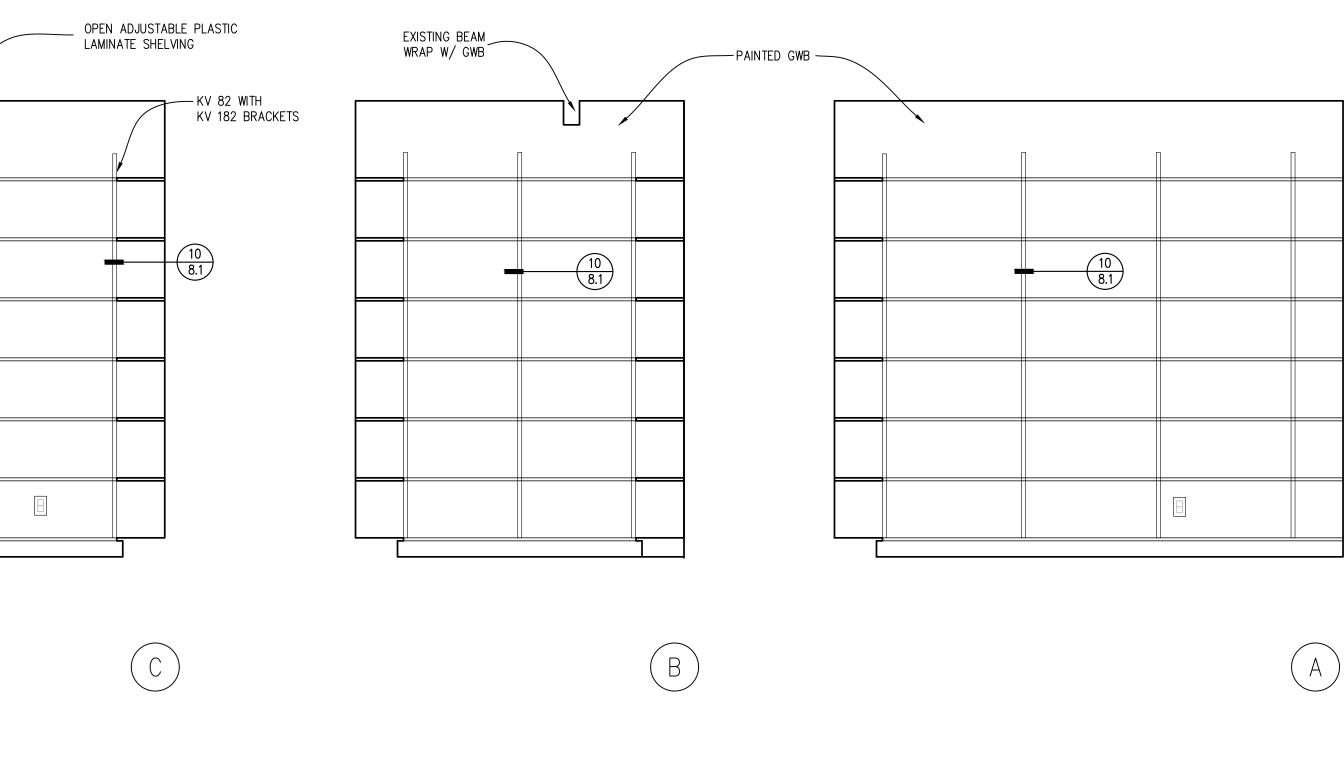


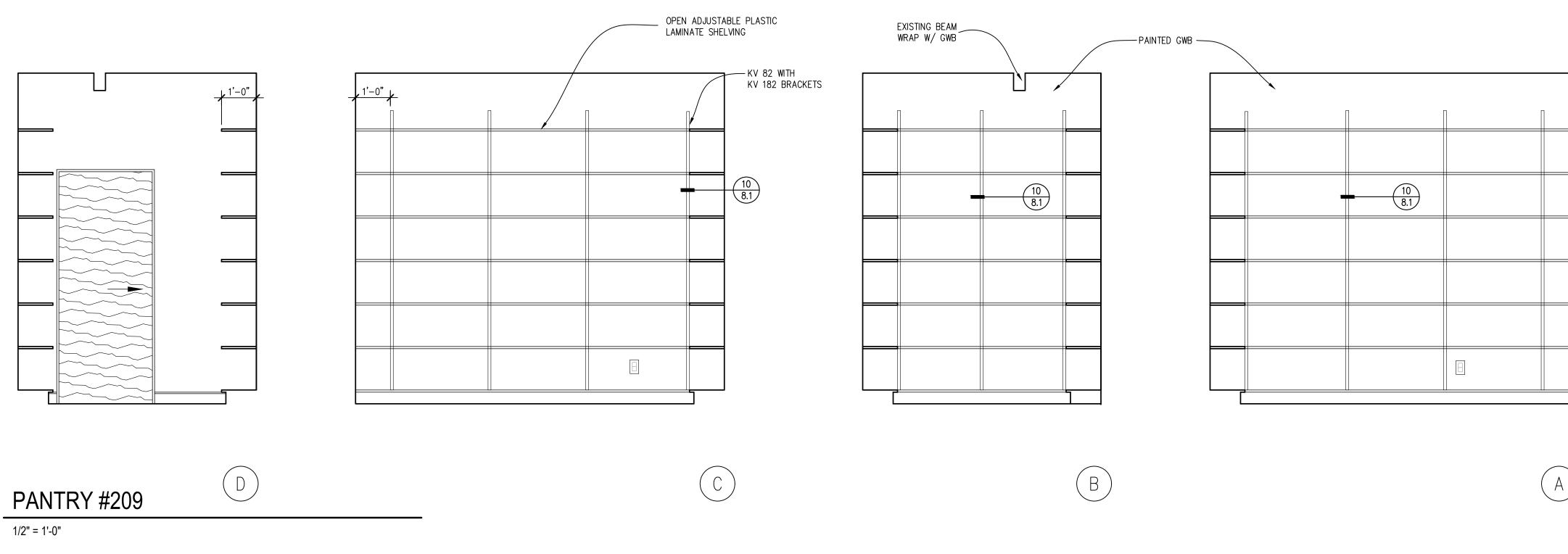
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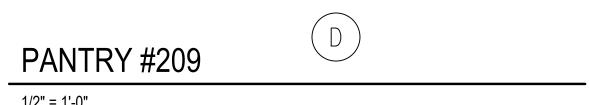


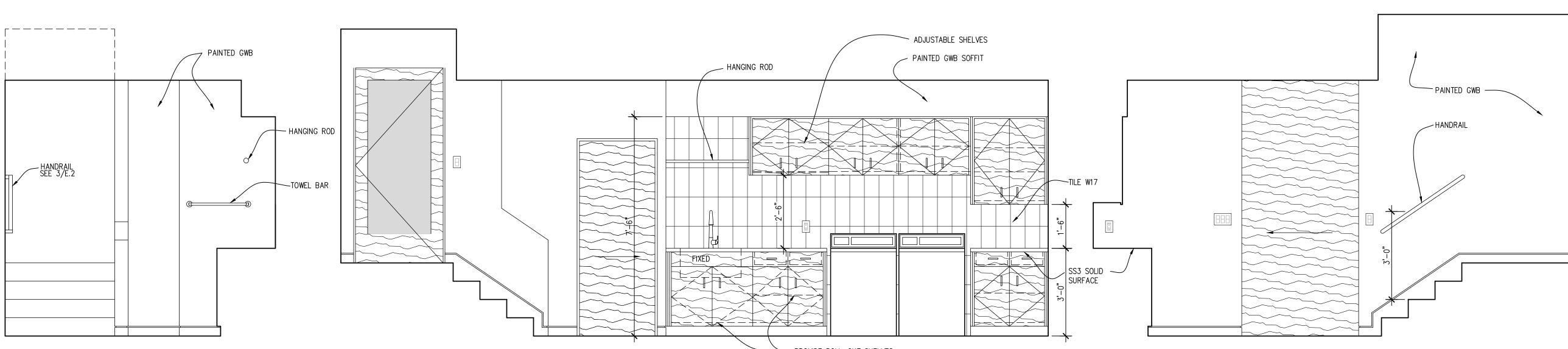
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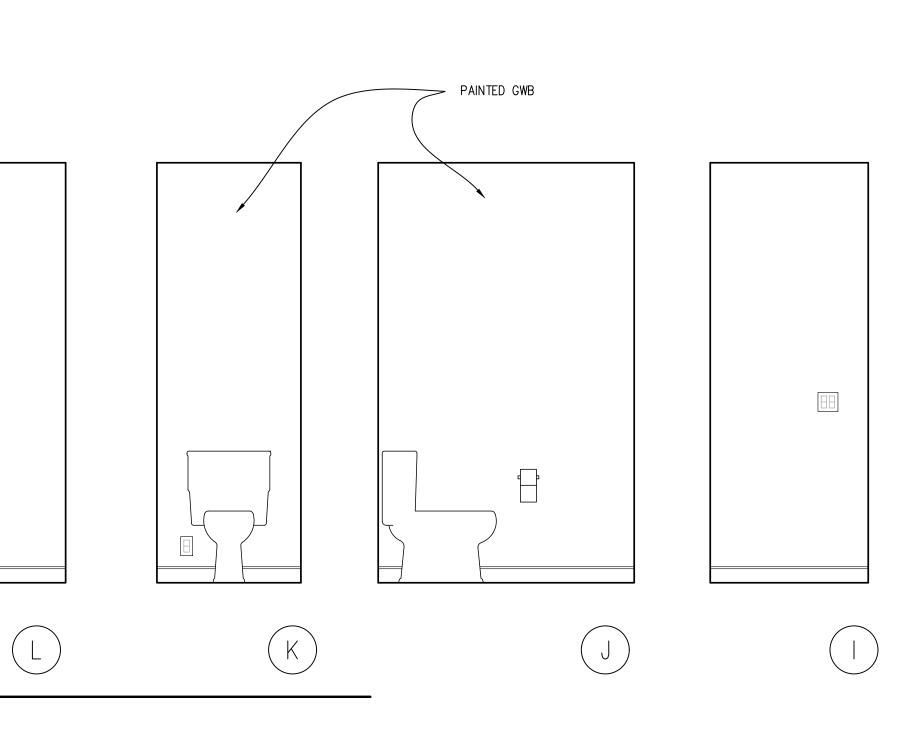






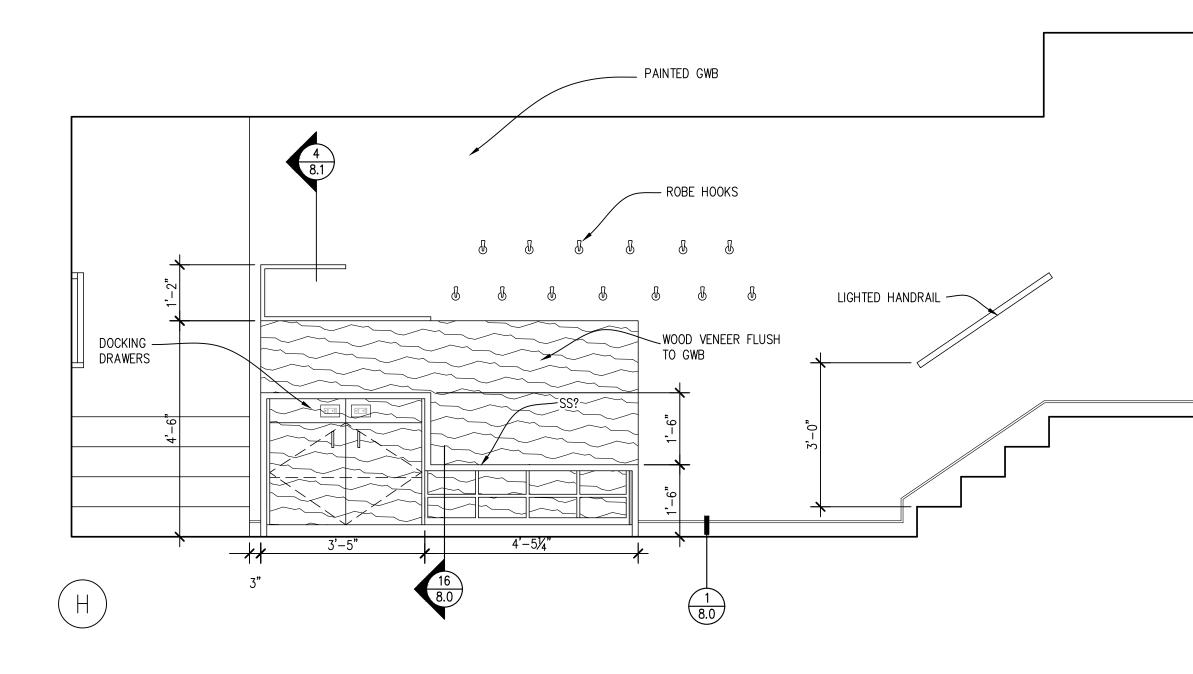


G



PROVIDE ROLL-OUT SHELVES
 IN BASE CABINETS, TYP.

F

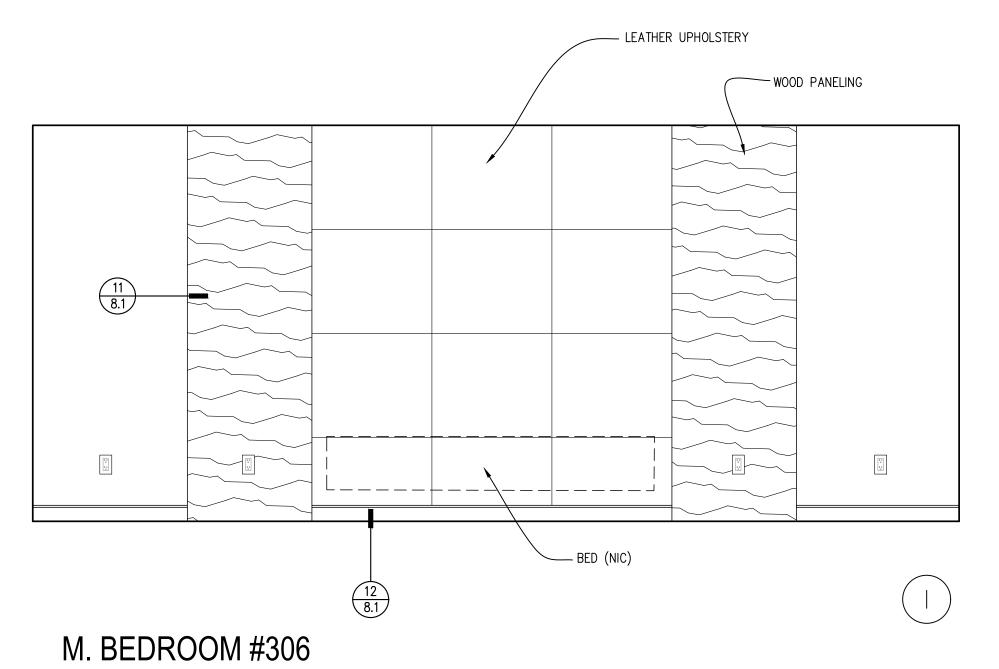


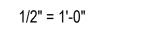


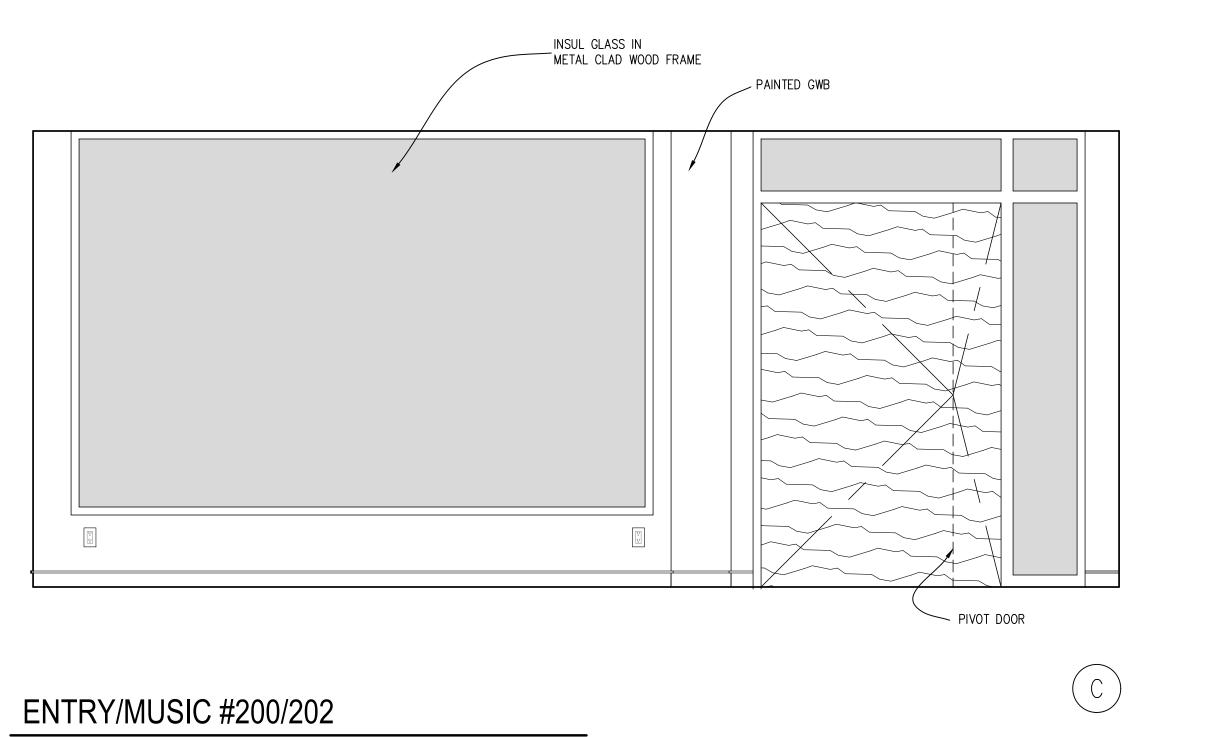
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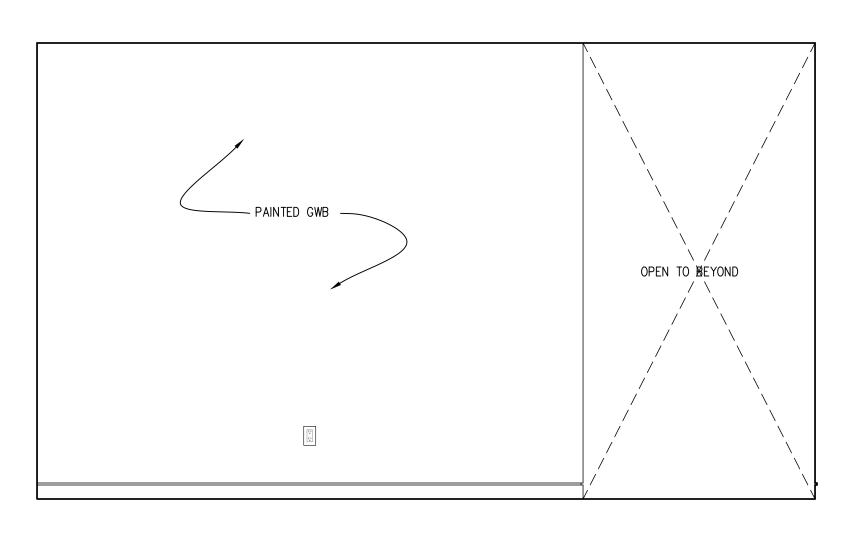


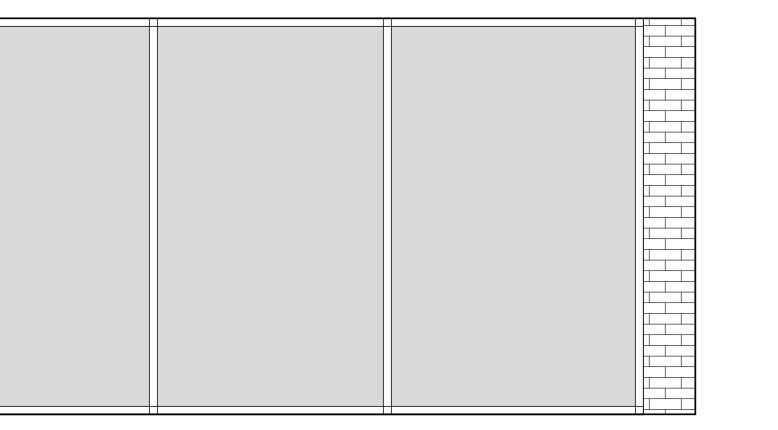


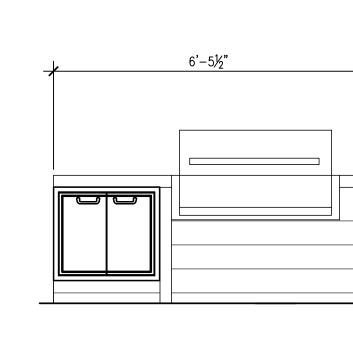




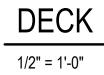


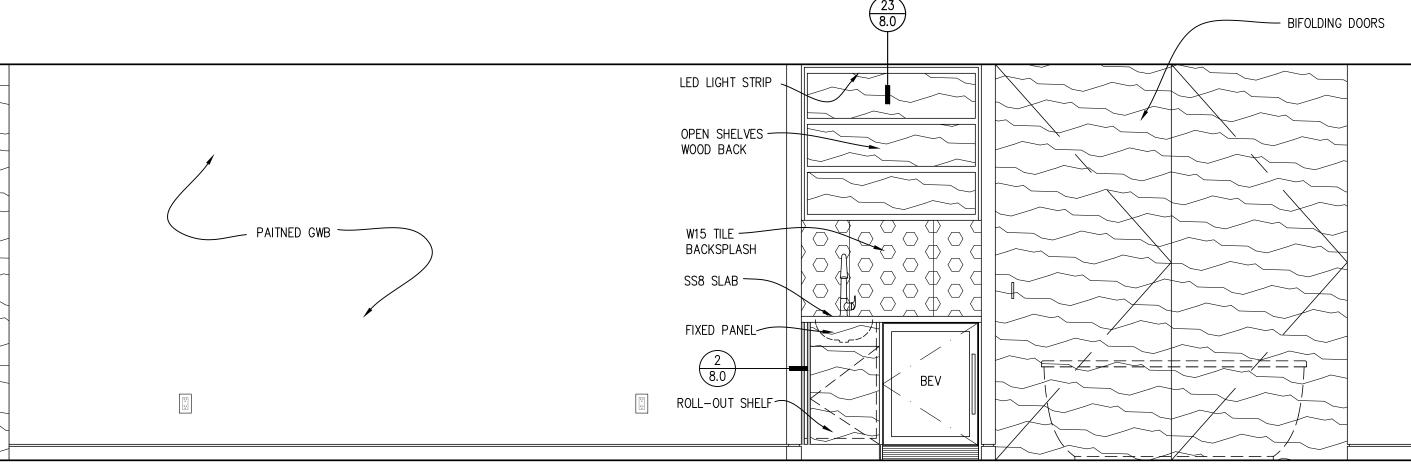


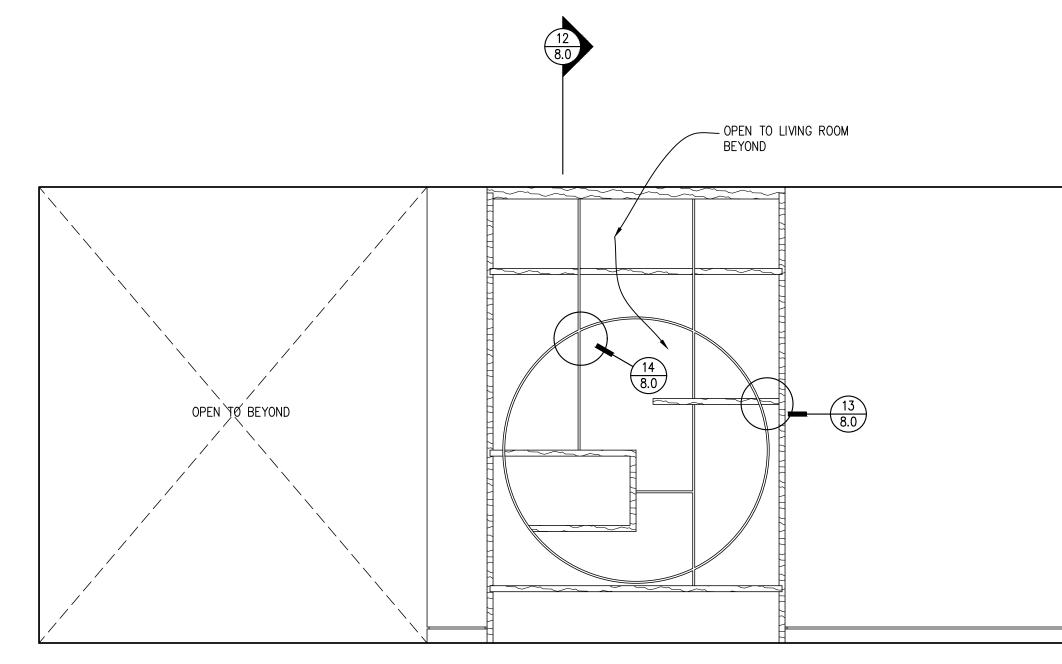


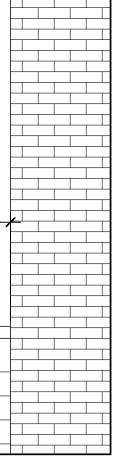




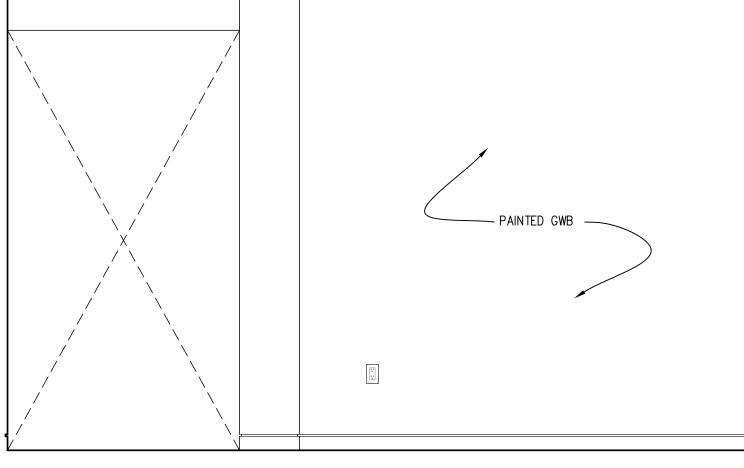






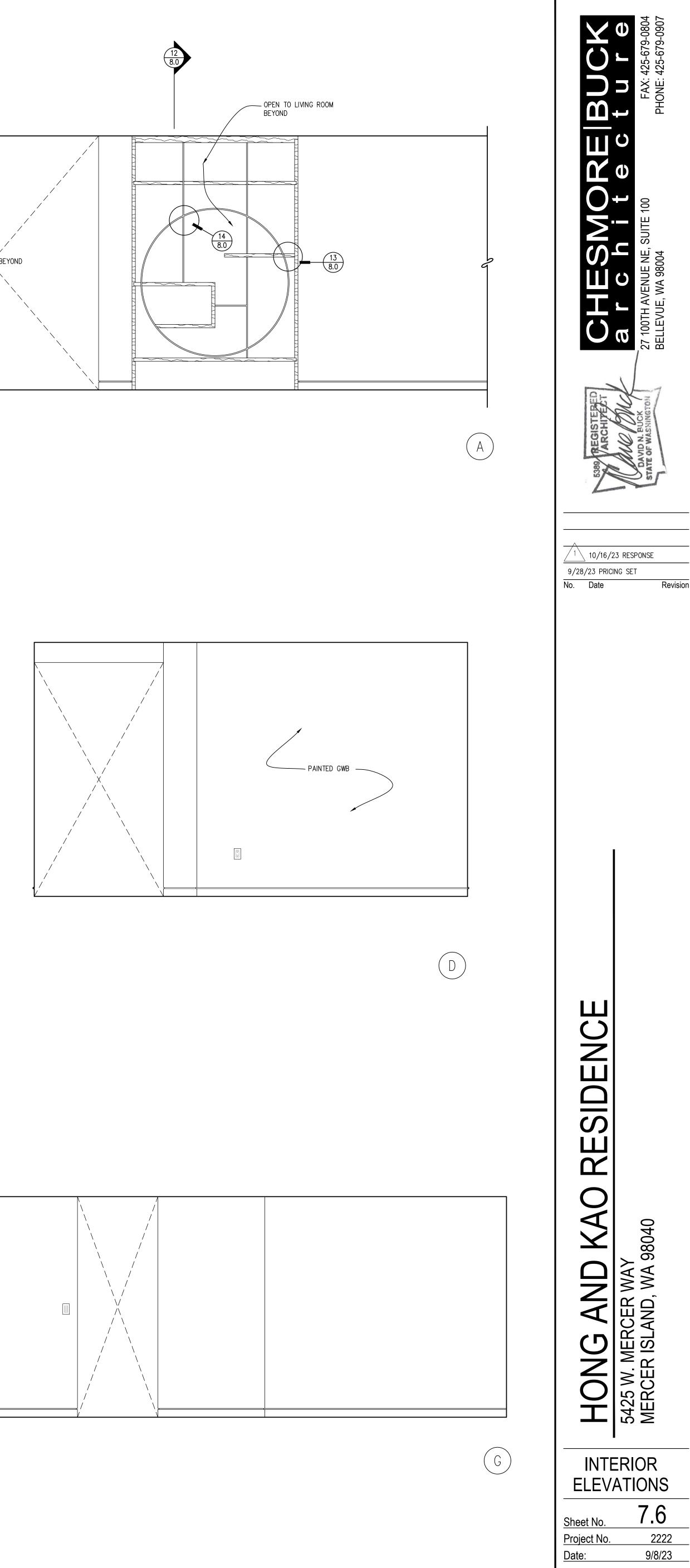


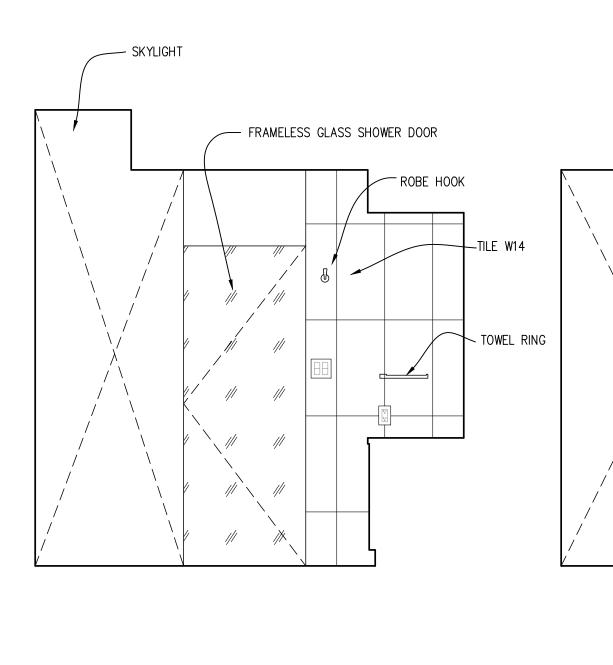
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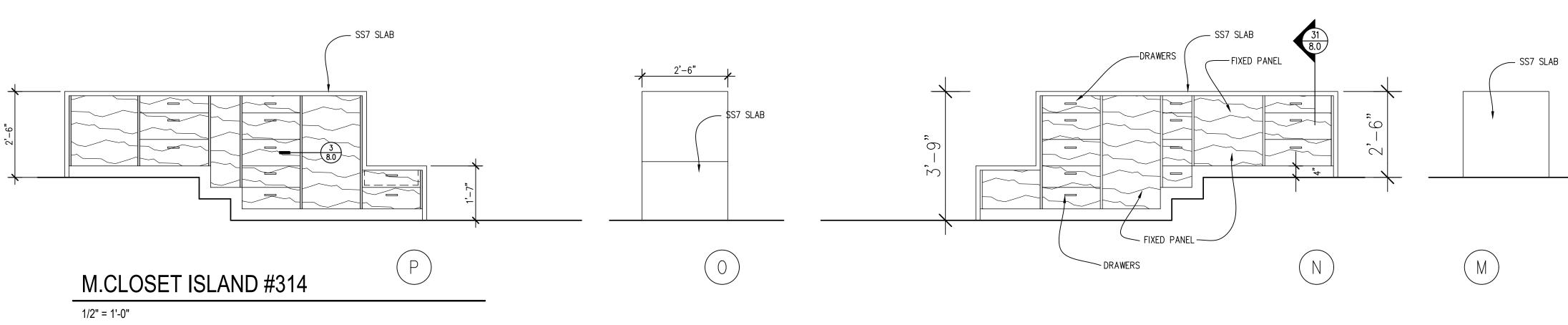
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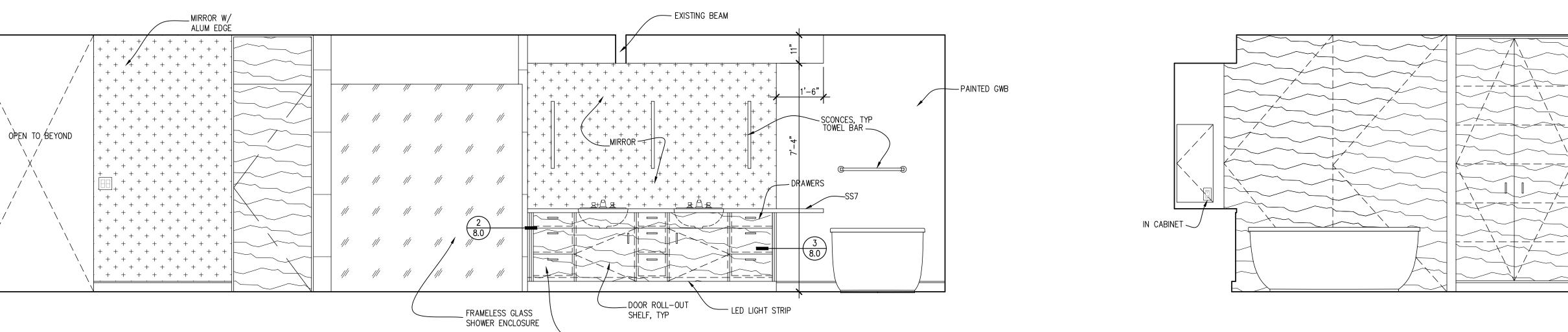
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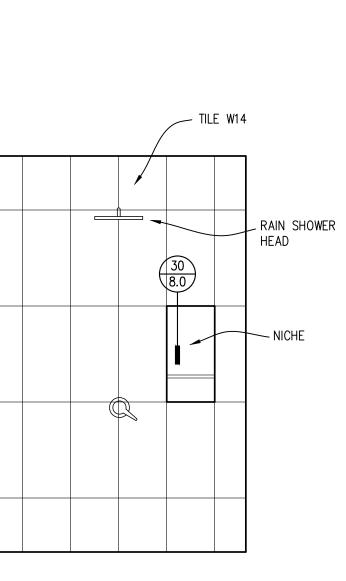
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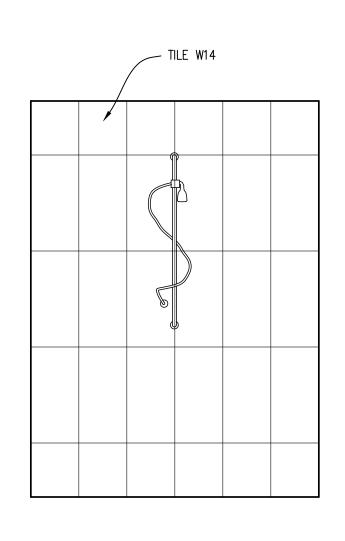
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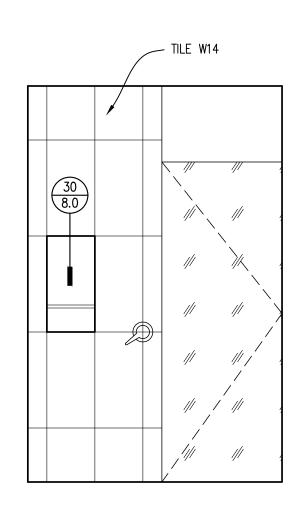






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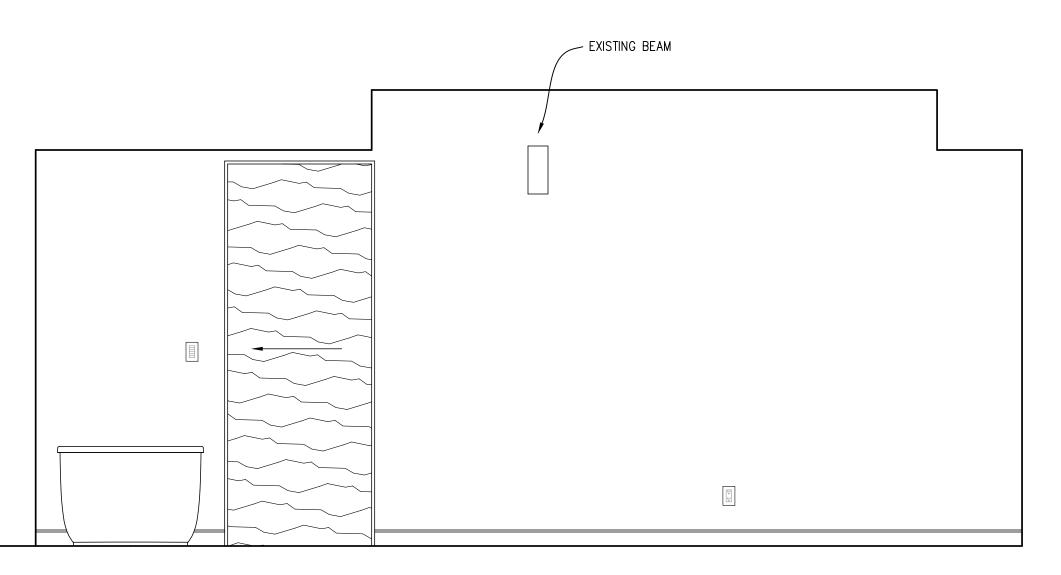
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DRAWERS

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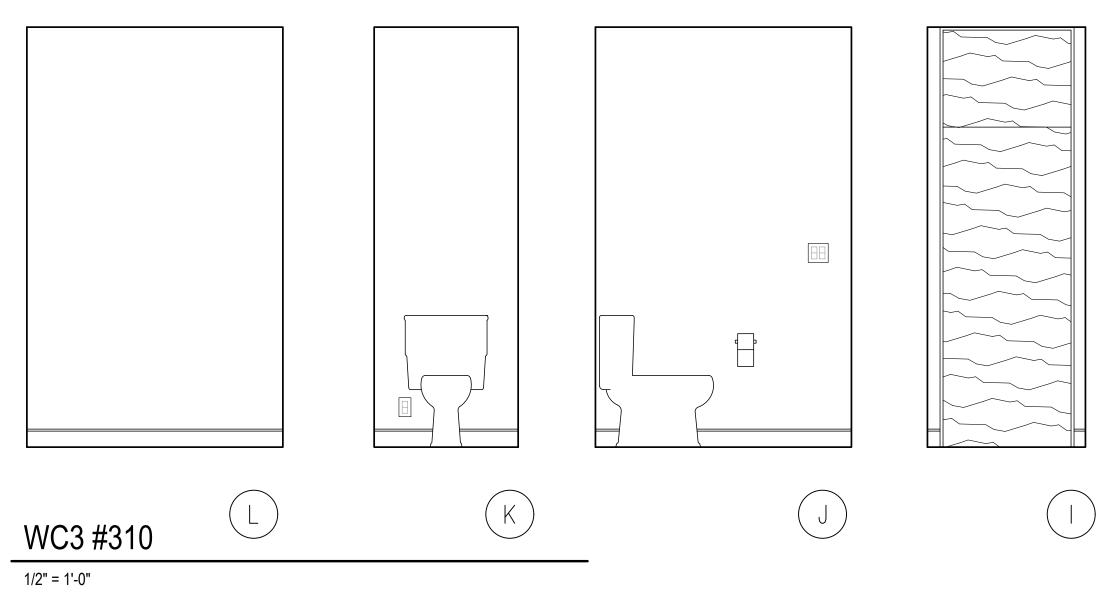






M.BATH #309

1/2" = 1'-0"







CHESMORE|BUCK a r c h i t e c t u r e

 $1 \setminus 10/16/23$ RESPONSE 9/28/23 PRICING SET No. Date

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INTERIOR ELEVATIONS

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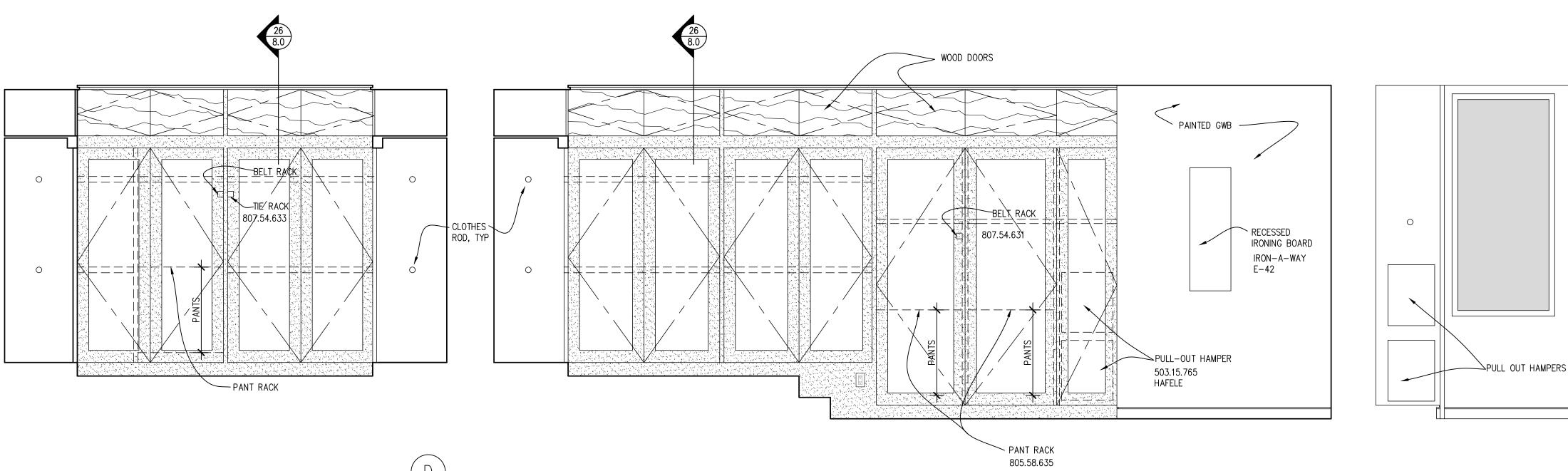
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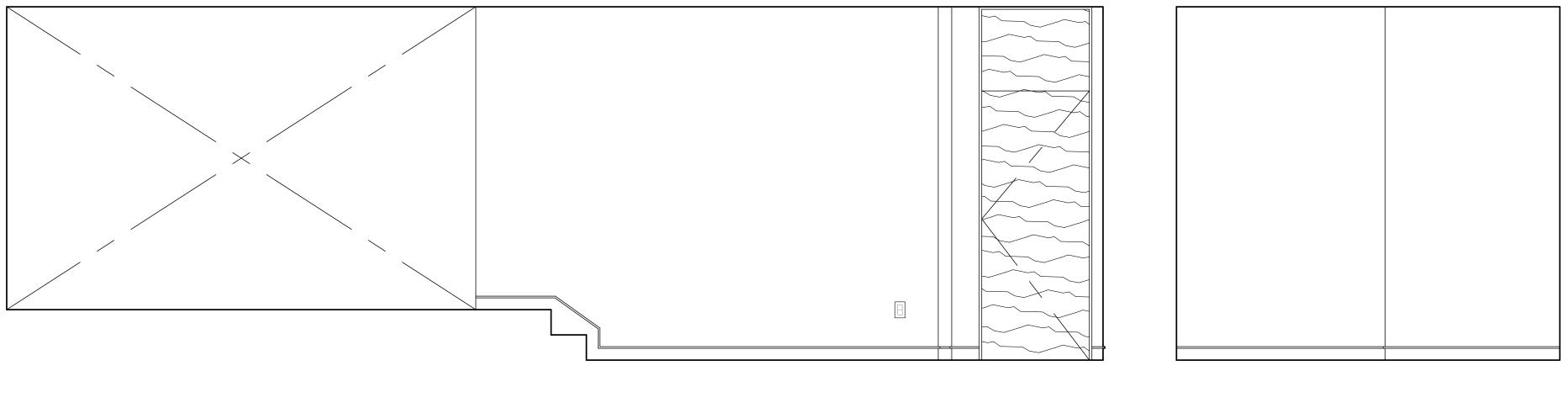
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M.CLOSET #314

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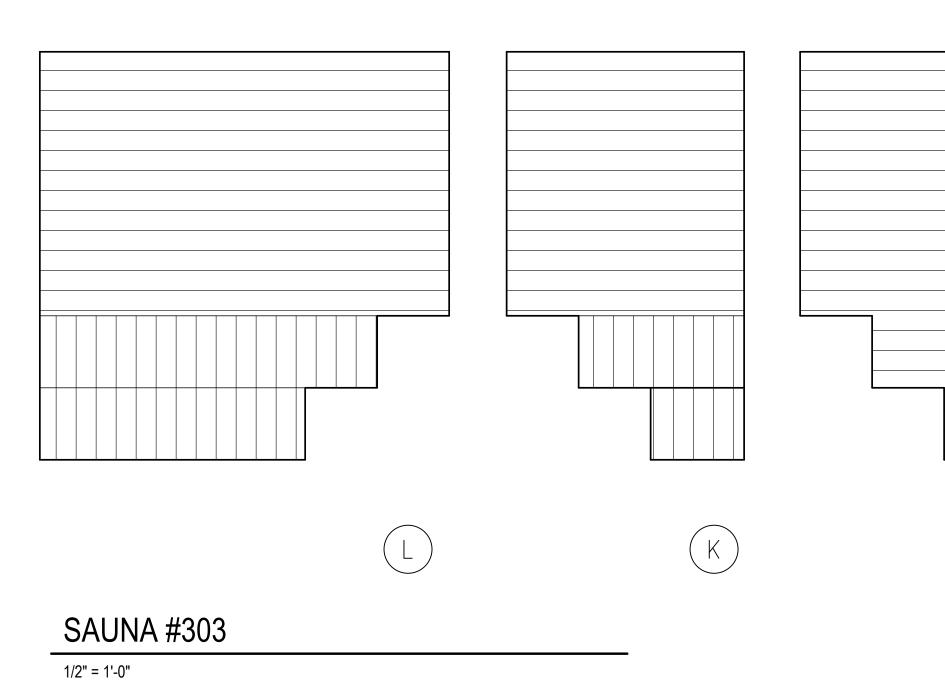
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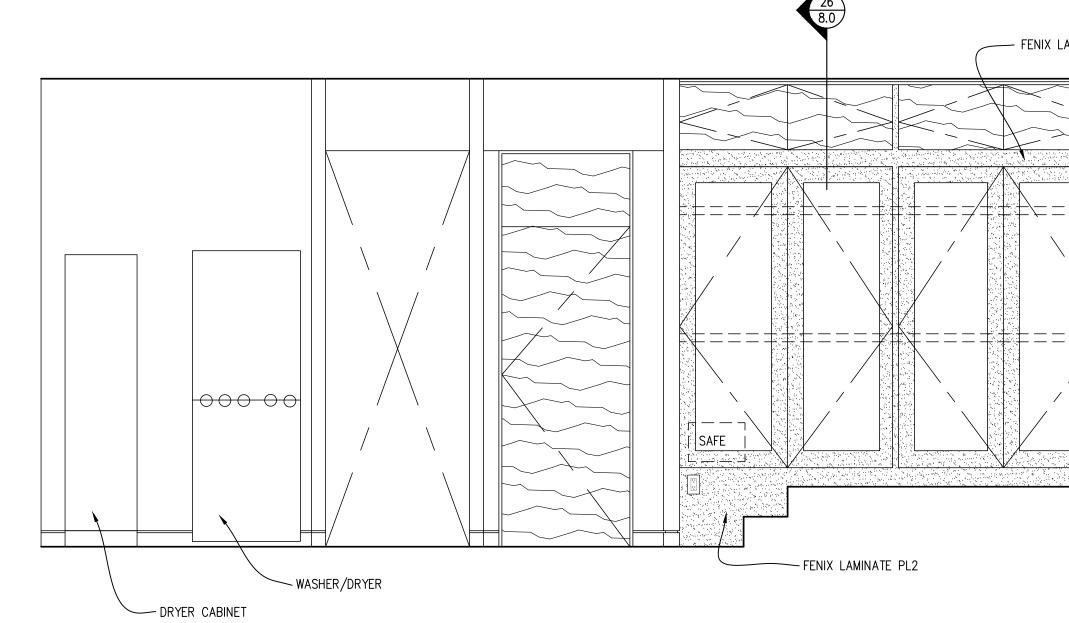
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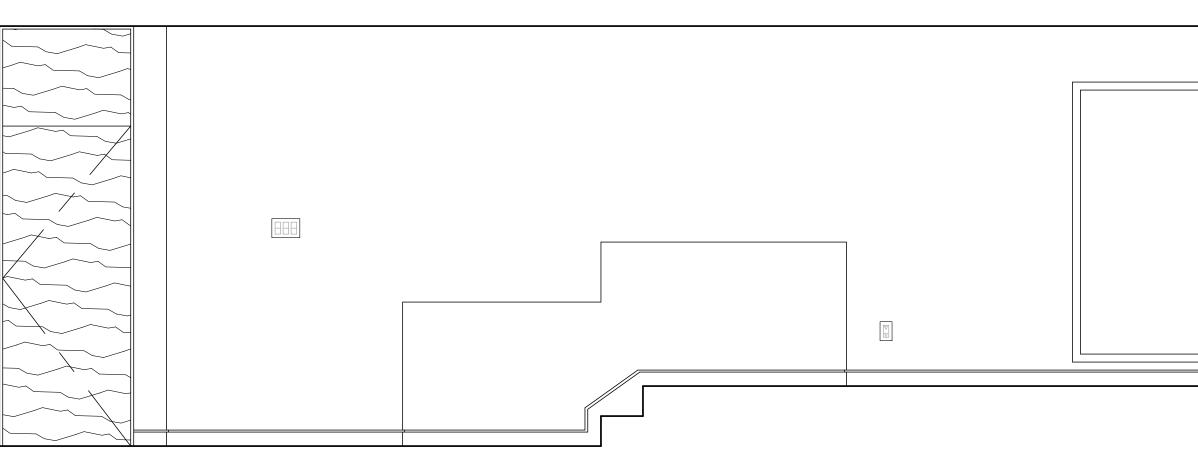


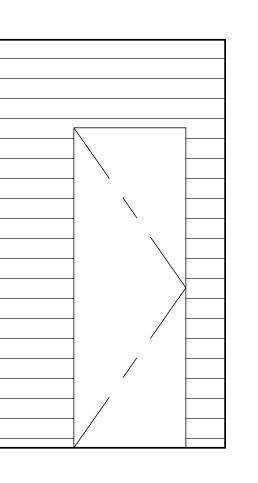


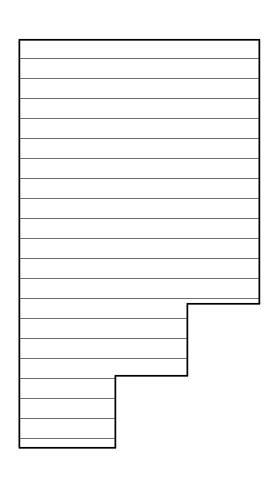


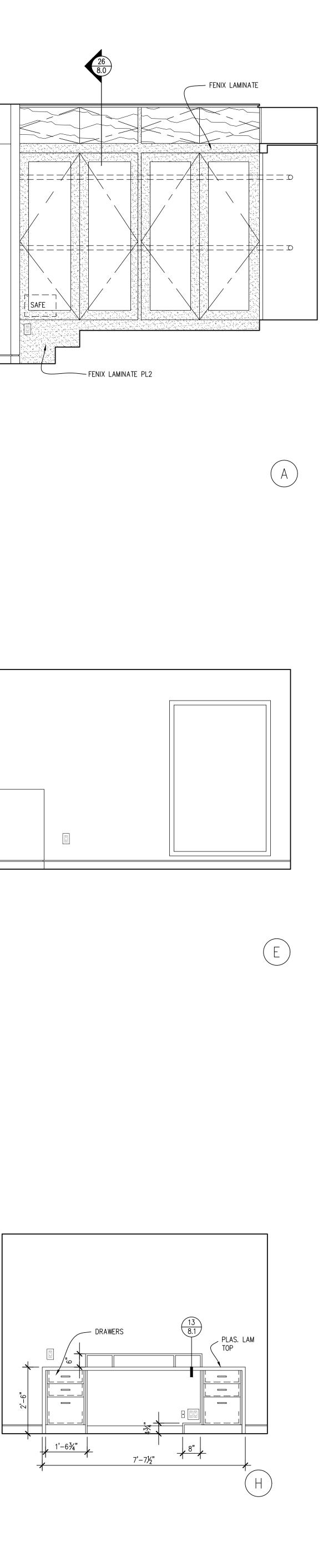


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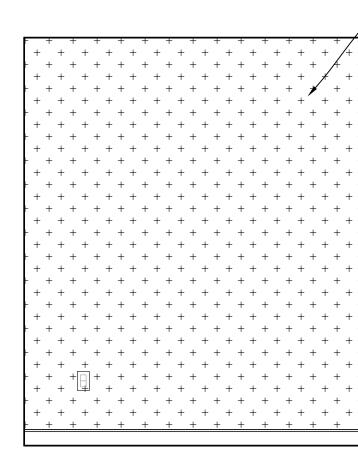


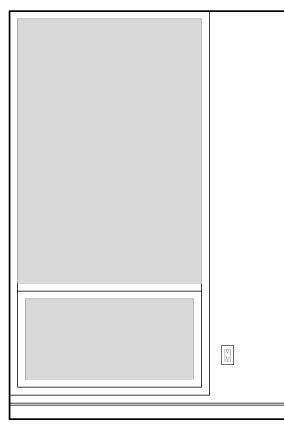




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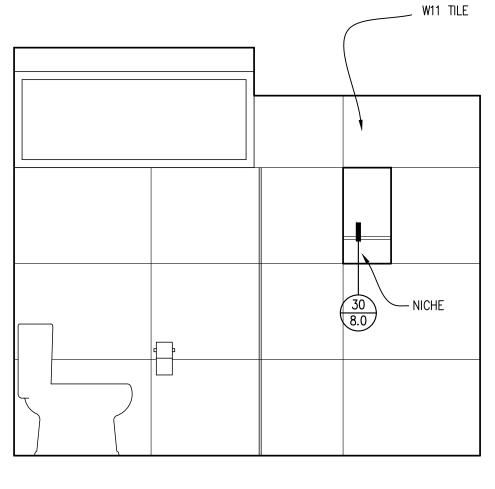


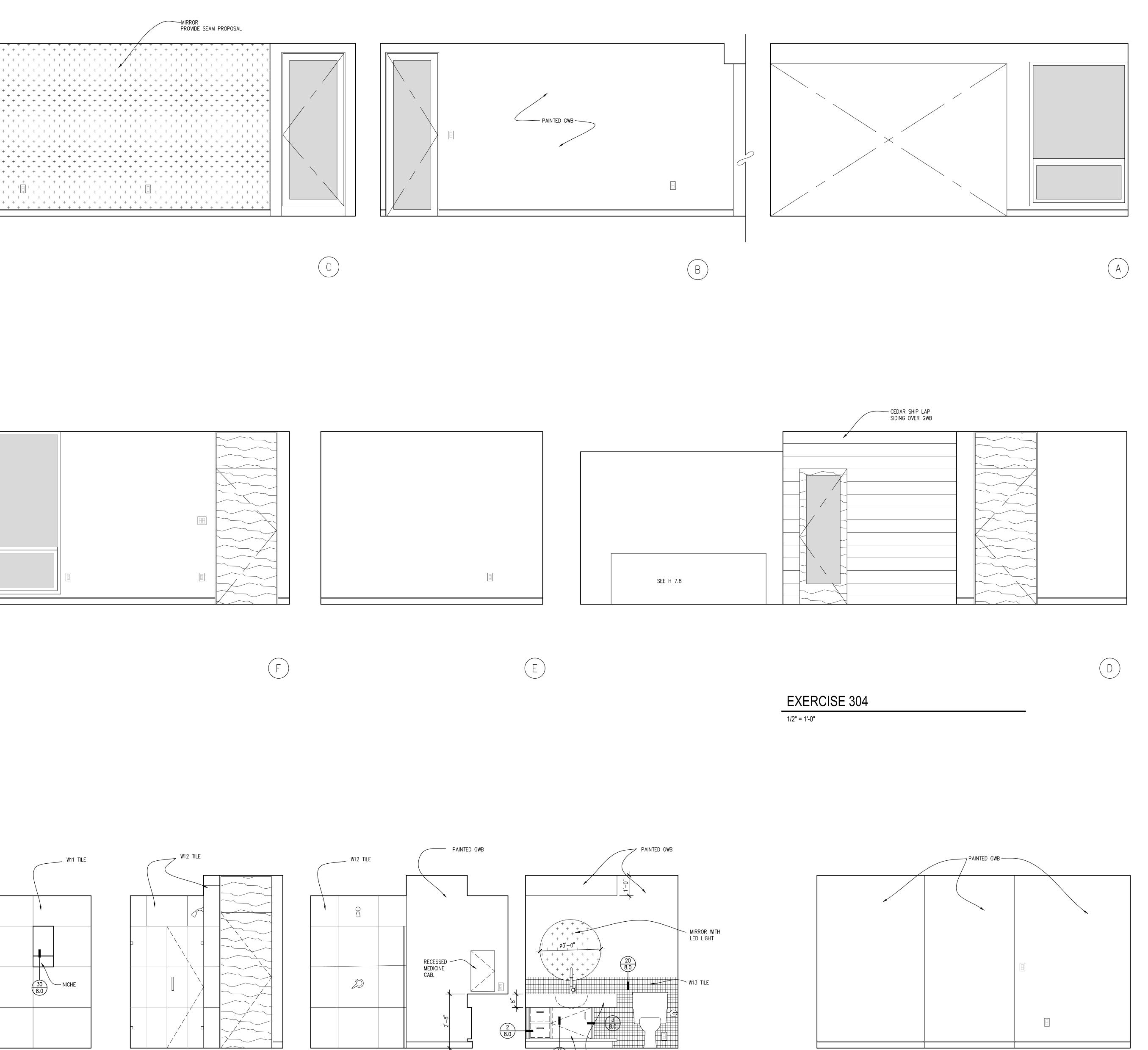


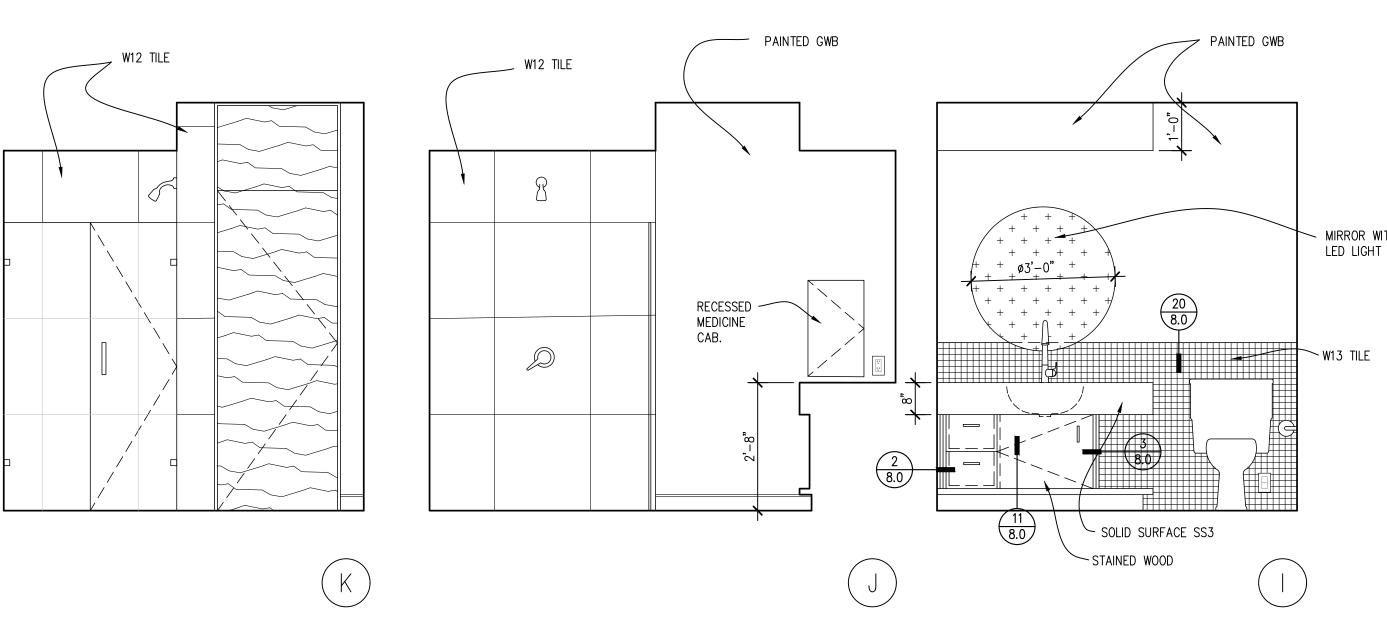


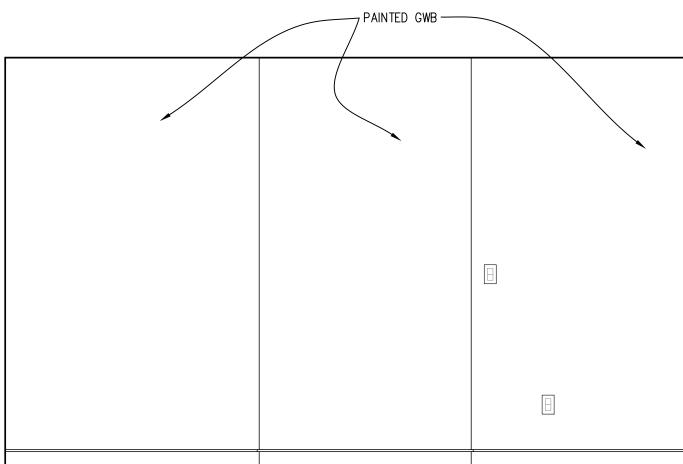
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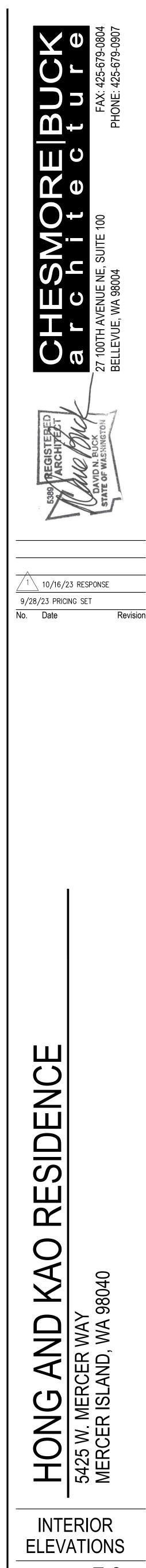




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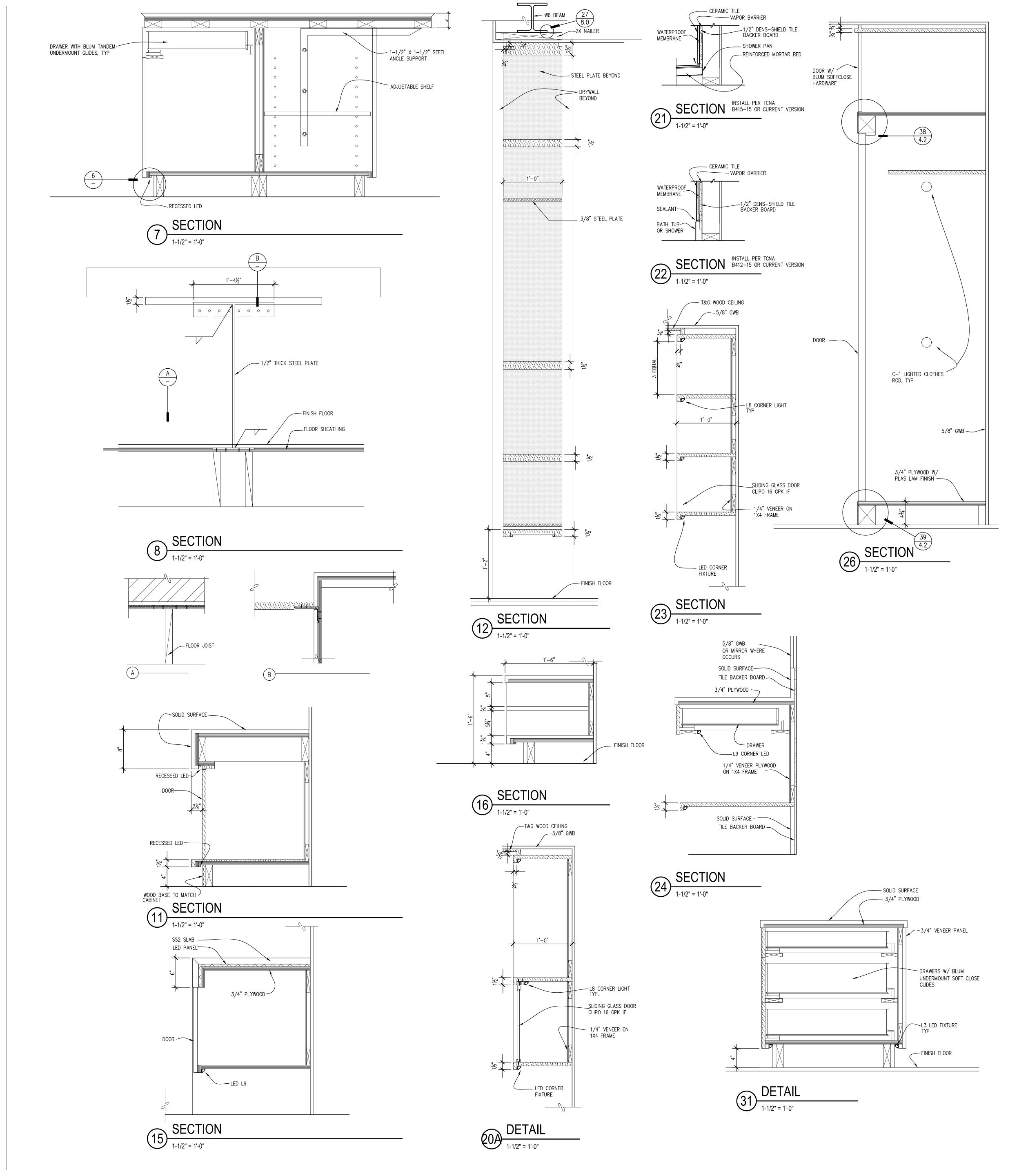
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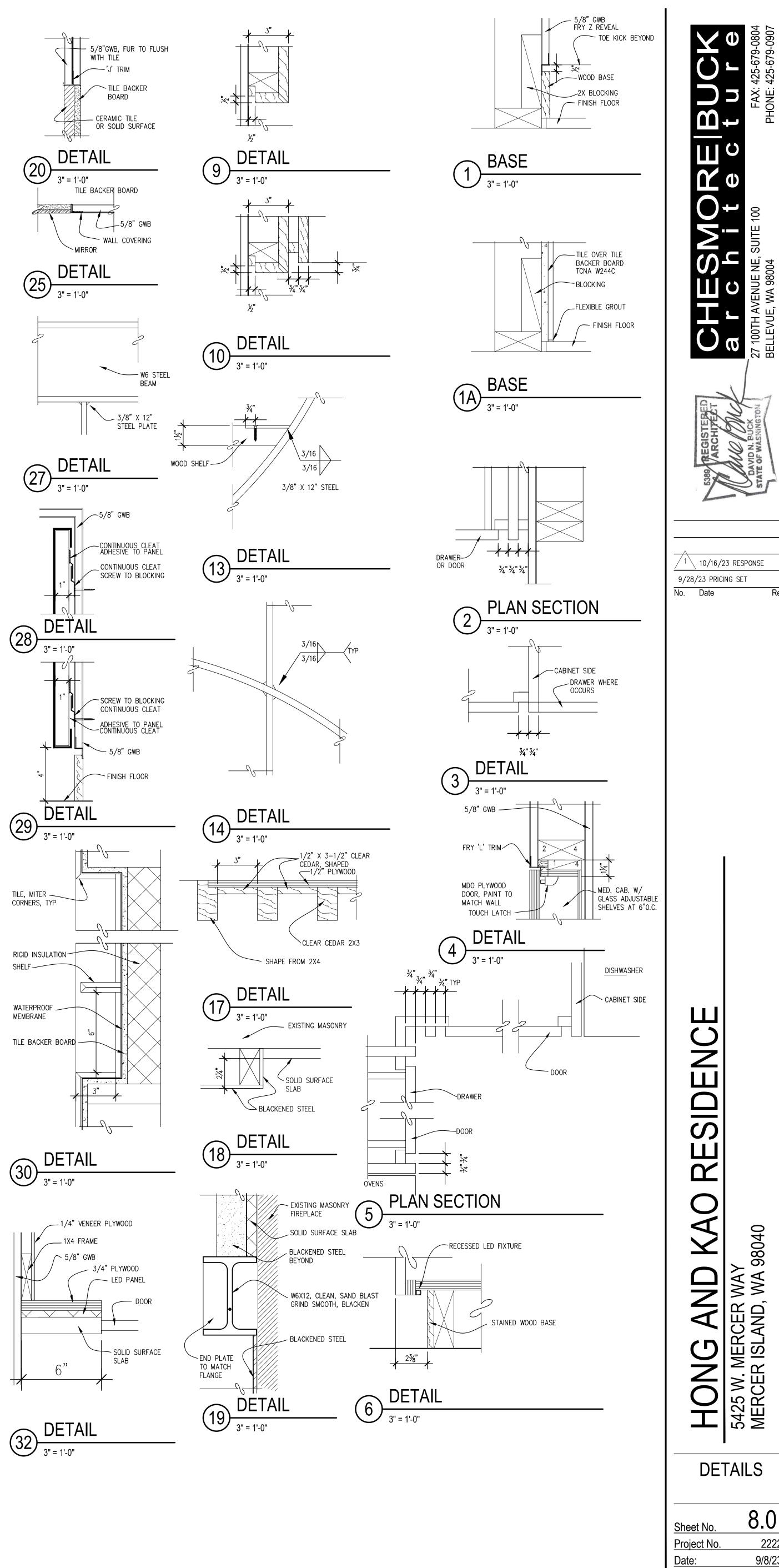
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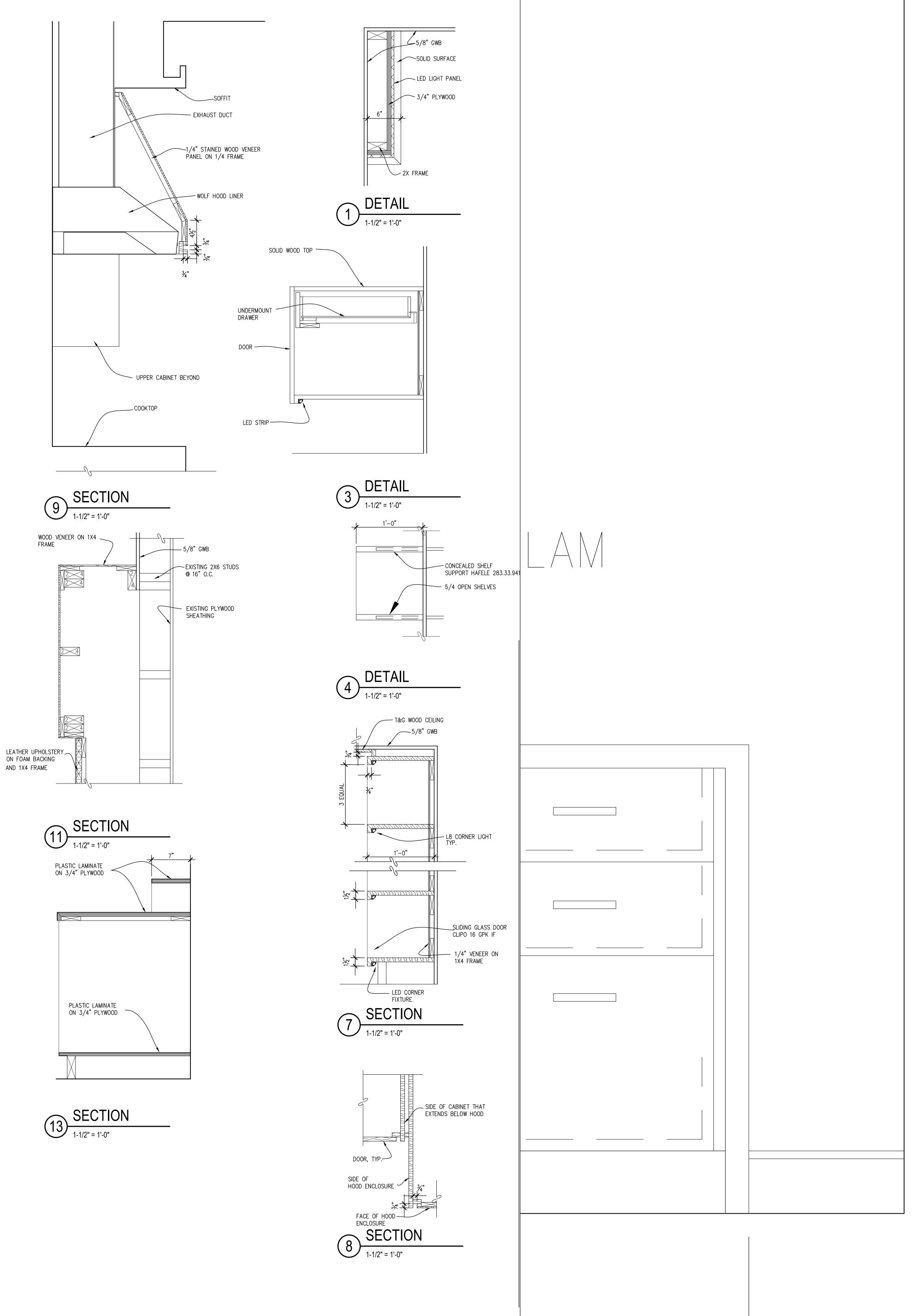
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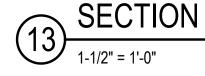
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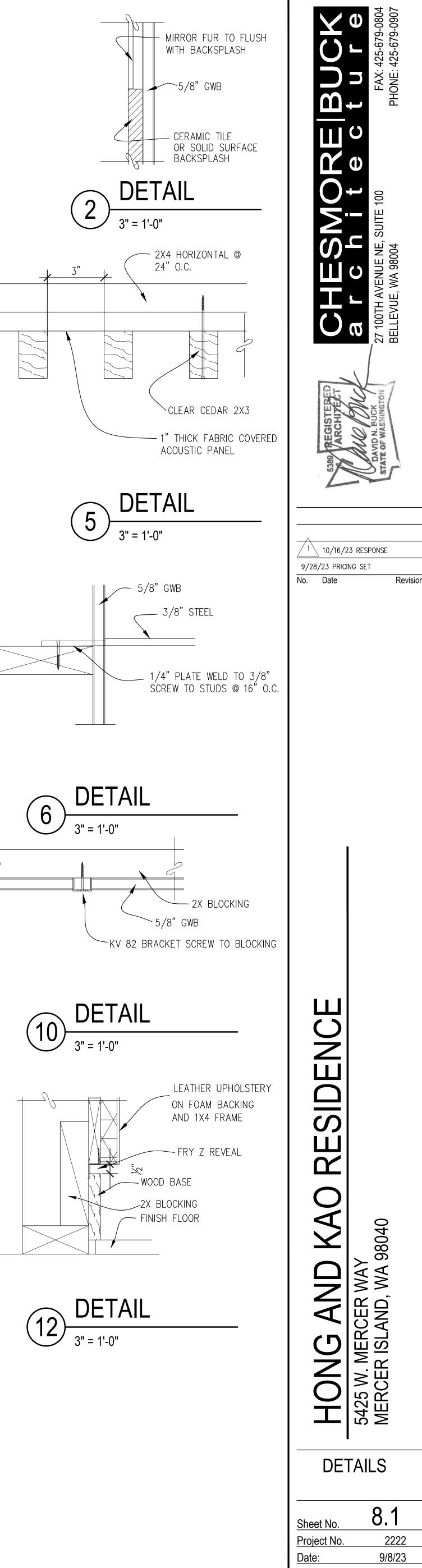


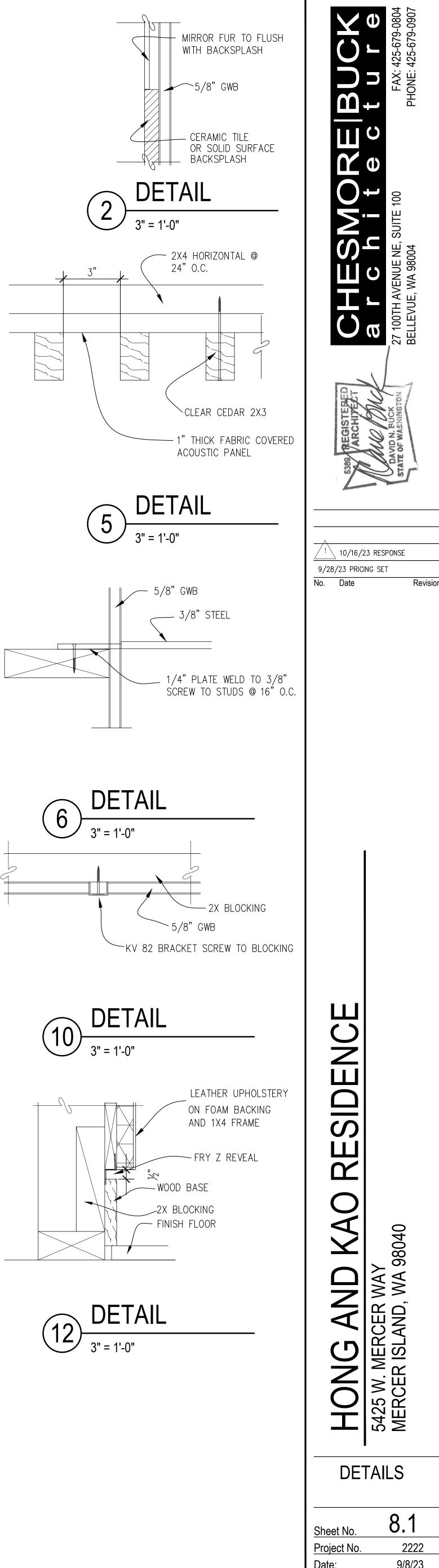


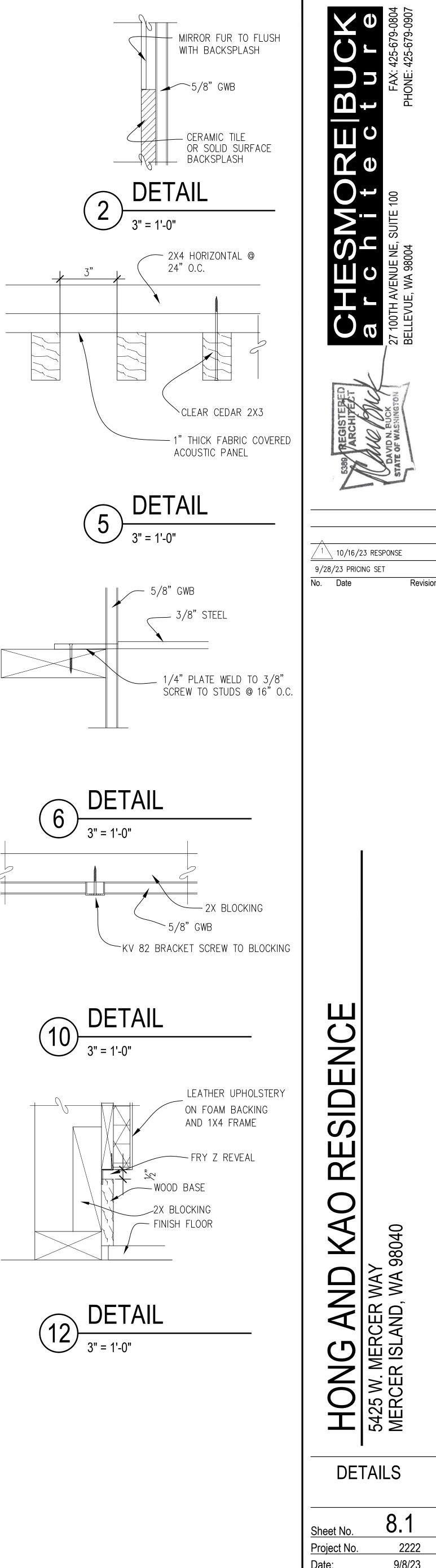
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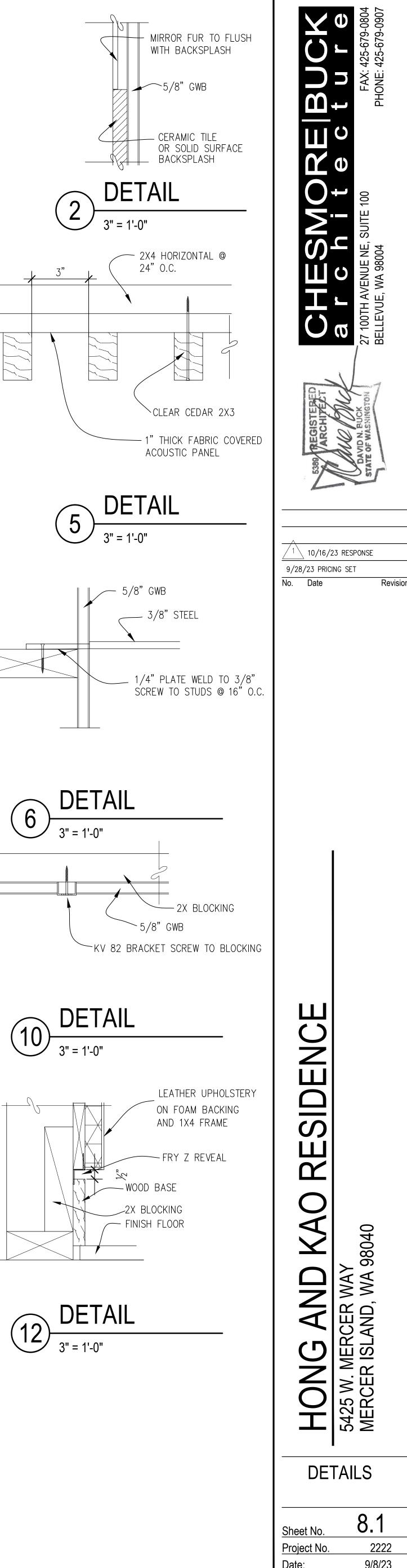


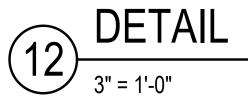












TPO MEMBRANE ROOFING

SECTION 07531 - TPO MEMBRANE ROOFING

PART 1 - GENERAL

- 1.1 SECTION REQUIREMENTS A. Submittals: Shop Drawings of tapered insulation.
- B. Exterior Fire-Test Exposure: ASTM E 108, Class [A] [B] [C].
- defects in materials or workmanship for period of [10] [15] years.

PART 2 - PRODUCTS

2.1 ROOFING MATERIALS

- A. TPO Sheet: 80 mils thick; color to be selected
- 1. Products: a. Carlisle Sure-Weld TPO or equivalent
- B. Auxiliary Materials: Recommended by roofing system manufacturer for intended use and as follows: 1. Sure-Weld reinforced flashing, low VOC adhesive, Pressure sensitive cover strip, TPO joint covers, Cut edge sealant and others as recommended by manufacturer.

2.2 BALLAST

A. Aggregate Ballast: Smooth, washed, black riverbed gravel or other acceptable smooth-faced stone, 3/4 to 1-1/2 inches. PART 3 - EXECUTION

3.1 INSTALLATION

- A. Install TPO sheet according to roofing system manufacturer's written instructions and as follows:
- B. 1. Sweep loose debris from the substrate.
- C. 2. Position Sure-Weld Membrane over acceptable substrate and fold membrane back so half the underside is exposed.
- D. 3. Apply the applicable Carlisle Bonding Adhesive to the exposed underside of the membrane and the corresponding substrate area with a plastic core medium nap paint roller at the published application rate on the applicable Product Data Sheet.
- E. 4. Allow adhesive to dry until tacky and roll coated membrane into coated substrate and avoid wrinkling.
- F. 5. Brush down the bonded section of membrane immediately with a soft bristle push broom.
- G. 6. Fold back the un-bonded half of the sheet and repeat the bonding procedure. H. 7. Install adjoining membrane sheets in the same manner, overlapping edges a minimum of 2" to provide for a minimum 1- 1/2" hot air weld. It is recommended that all splices be shingled to avoid bucking of water.
- I. 8. Hot air weld the membrane sheets a minimum of 1-1/2" with an Automatic Hot Air Welding Machine. J. 9. Membrane that has been exposed to the elements for approximately 7 days must be prepared with Weathered Membrane Cleaner. Wipe
- the surface where Weathered Membrane Cleaner has been applied with a clean, dry HP Splice Wipe or other white rag to remove cleaner residue prior to hot air welding

END OF SECTION 07531

SECTION 08211 - FLUSH WOOD DOORS

- PART 1 GENERAL
- 1.1 SECTION REQUIREMENTS
- A. Submittals: Samples for doors, shop drawings.
- B. Quality Standard: NWWDA I.S.1-A.

1.2 FLUSH WOOD DOORS

- A. Doors for Transparent Finish: **Premium** grade.
- 1. Faces: white oak, rift cut, horizontal grain.
- 2. Veneer Matching: **Book and balance** match.
- 3. Pair matching **and set matching**.
- Continuous matching for doors with transoms
- B. Doors for Opaque Finish: Custom grade.
- 1. Faces: Medium-density overlay.
- C. Interior Veneer-Faced Solid-Core Doors: Five-ply, structural composite lumber cores.
- D. Interior Solid-Core Doors with Hardboard Faces: Three-ply, particleboard cores.
- 1.3 FABRICATION AND FINISHING
- A. Factory fit doors to suit frame-opening sizes indicated and to comply with referenced quality standard. 1. Comply with NFPA 80 for fire-resistance-rated doors.
- B. Factory machine doors for hardware that is not surface applied.
- C. Cut and trim openings to comply with referenced standards.
- 1. Trim light openings with moldings indicated.
- 2. Factory install louvers in prepared openings.

PART 2 -EXECUTION

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1.1 INSTALLATION

A. Comply with WDMA's "How to Store, Handle, Finish, Install, and Maintain Wood Doors."

1. Install fire-rated doors to comply with NFPA 80. Align and fit doors in frames with uniform clearances and bevels. Machine doors for hardware. Repair, refinish, or replace factory-finished doors damaged during installation, as directed by Architect.

END OF SECTION 08211

DOOR HARDWARE 08710 - 1

SECTION 08710 - DOOR HARDWARE

PART 1 - GENERAL

- 1.1 SECTION REQUIREMENTS
- Allowances: Provice Hardware Allowance in Division 8 Section 8700 A. Submittals: Hardware Schedule.
- B. Deliver keys to Owner.
- C. For fire-rated openings provide hardware tested and listed by UL or FMG (NFPA 80). On exit devices provide UL or FMG label indicating
- "Fire Exit Hardware."

PART 2 - PRODUCTS

- 2.1 HARDWARE
- A. Manufacturers:
- 1. Baldwin
- B. Hinges:

- C. Locksets and Latchsets:
- 1. BHMA A156.13, Series 1000, Grade 3 for mortise locks and latches.
- 2. Lever handles on locksets and latchsets, Baldwin LO22 lever.

Provide wall stops or floor stops for doors without closers.

- D. Provide hardware finishes as follows:
- 3. Other Hardware: Matching finish of lockset/latchset.
- PART 3 EXECUTION
- 3.1 INSTALLATION
- A. Mount hardware in locations recommended by the Door and Hardware Institute, unless otherwise indicated.

- Two hinges for 1-3/8-inch- thick wood doors.
- 3. Pocket door pulls see schedule

- 1. Hinges: Matching finish of lockset/latchset.
- 2. Locksets, Latchsets, and Exit Devices: Brushed Nickel US15

- END OF SECTION 08710

C. Warranties: Manufacturer's standard form, without monetary limitation, signed by roofing manufacturer agreeing to repair leaks due to

D. Factory doors indicated for transparent finish with stain and manufacturer's standard finish comparable to AWI System TR-4, conversion

2. Three hinges for 1-3/4-inch- thick doors 90 inches or less in height; four hinges for doors more than 90 inches in height.

INTERIOR ARCHITECTURAL WOODWORK SECTION 06402 - INTERIOR ARCHITECTURAL WOODWORK

PART1- GENERAL

1.1 SECTION REQUIREMENTS

A. Submittals: Product Data for solid-surfacing materials, Shop Drawings and Samples showing the full range of colors, textures, and patterns available for each type of finish.

06402 - 1

- B. Quality Standard: Architectural Woodwork Institute's "Architectural Woodwork Quality Standards C. Environmental Limitations: Do not deliver or install woodwork until building is enclosed, wet work is completed, and HVAC system is operating.
- PART 2 PRODUCTS
- 2.1 MATERIALS A. Hardboard: AHA A135.4.
- B. Medium-Density Fiberboard: ANSI A208.2, Grade MD.
- C. Particleboard: not allowed
- D. Softwood Plywood: DOC PS 1.
- E. Hardwood Plywood and Face Veneers: HPVA HP-1.
- F. Solid-Surfacing Material:
- 1. Products: a. See finish schedule
- 2.2 CABINET HARDWARE AND ACCESSORY MATERIALS
- A. Hardware Standards: Comply with BHMA A156 series standards.
- B. Exposed Hardware Finishes: Comply with BHMA A156.18 for BHMA code number indicated.
- 1. Finish: Satin Chrome: BHMA 626 or BHMA 652 or Satin Stainless Steel: BHMA 630. C. Furring, Blocking, Shims, and Hanging Strips: **Softwood or hardwood** lumber, kiln dried to 15 percent moisture content.
- 2.3 INTERIOR WOODWORK
- A. Complete fabrication before shipping to Project site to maximum extent possible. Disassemble only as needed for shipping and installing. Where necessary for fitting at Project site, provide for scribing and trimming.
- B. Backout or groove backs of flat trim members, kerf backs of other wide, flat members, except for members with ends exposed in finished Work
- C. Interior Standing and Running Trim for Transparent Finish: Premium grade, made from white oak, rift sawn. D. Interior Standing and Running Trim for Opaque Finish: Premium grade, made from any closed-grain hardwood.
- E. Wood Cabinets (Casework) for Transparent Finish: **Premium** grade.
- 1. AWI Type of Cabinet Construction: **Reveal overlay, see details**.
- 2. Wood Species for Exposed Surfaces: White oak, rift sawn or cut.
- 3. Grain Matching: Run and match grain **horizontal** for drawer fronts, doors, and fixed panels.
- Matching of Veneer Leaves: Slip and balance match.
- 5. Semiexposed Surfaces Other Than Drawer Bodies: Same species and cut as exposed surfaces.
- 6. Drawer Sides and Backs: Solid hardwood, stained to match exposed surfaces.
- 7. Drawer Bottoms: Hardwood plywood.
- 2.4 SHOP FINISHING OF INTERIOR ARCHITECTURAL WOODWORK
- A. Finishes: Same grades as items to be finished.
- B. Finish architectural woodwork at the fabrication shop; defer only final touch up until after installation. 1. Apply one coat of sealer or primer to concealed surfaces of woodwork.
- 2. Apply a vinyl wash coat to woodwork made from closed-grain wood before staining and finishing.
- 3. After staining, if any, apply paste wood filler to open-grain woods and wipe off excess. Tint filler to match stained wood.
- C. Transparent Finish: AWI Finish System **TR-4**, conversion varnish.
- PART 3 EXECUTION
- 3.1 INSTALLATION
- A. Condition woodwork to prevailing conditions before installing.
- B. Install woodwork to comply with AWI Section 10 for grade specified. C. Install woodwork level, plumb, true, and straight. Shim as required with concealed shims. Install to a tolerance of 1/8 inch in 96 inches for level and plumb.
- D. Scribe and cut woodwork to fit adjoining work, seal cut surfaces, and repair damaged finish at cuts.
- E. Install trim with minimum number of joints possible, using full-length pieces to greatest extent possible. Stagger joints in adjacent and related members.
- F. Anchor countertops securely to base units. Seal space between backsplash and wall. G. Anchor paneling to supports with concealed panel-hanger clips and by blind nailing on back-up strips, splined-connection strips,
- and similar associated trim and framing. H. Stairwork and Rails: Cut carriages to accurately fit treads and risers and securely anchor to supporting substrates. Glue treads to
- risers, and glue and nail treads and risers to carriages. Glue and wedge treads and risers to housed stringers. Glue and dowel or pin balusters to treads and railings, and railings to newel posts.
- 3.2 CABINET HARDWARE AND ACCESSORY SCHEDULE
- A. Butt Hinges: 2-3/4-inch, 5-knuckle steel hinges made from 0.095-inch- thick metal; BHMA A156.9, B01361 for flush doors and BHMA A156.9, B01521 for overlay doors.
- B. Concealed (European-Type) Hinges: Clip top Blumotion BHMA A156.9, B01602.
- C. Pulls: TOPKNOB EUROPA TAB PULL BRUSHED SATIN NICKEL.
- D. Catches: Magnetic catches, BHMA A156.9, B03141.
- E. Adjustable Shelf Standards: BHMA A156.9, B04071; with shelf rests, BHMA A156.9, B04081.
- F. Drawer Slides: Blum Movento under-mounted, zinc-plated steel drawer slides with steel ball bearings, complying with BHMA A156.9, Grade 1 and rated for the following loads:
- 1. Box Drawer Slides: 75 lbf
- 2. File Drawer Slides: 150 lbf
- 3. Pencil Drawer Slides: 45 lbf
- G. Door Locks: BHMA A156.11, E07121
- H. Drawer Locks: BHMA A156.11, E07041.
- I. Grommets for Cable Passage through Countertops: 1-inch- OD brown, molded-plastic grommets with brown plastic cap.

END OF SECTION 06402

BUILDING INSULATION

SECTION 07210 - BUILDING INSULATION

- PART 1 GENERAL
- 1.1 SECTION REQUIREMENTS
- A. Submittals: Product Data. B. Surface-Burning Characteristics: ASTM E 84, and as follows:
- 1. Flame-Spread Index: 25 or less where exposed; otherwise, as indicated in Part 2 "Insulation Products" Article.
- 2. Smoked-Developed Index: 450 or less.
- PART 2 PRODUCTS
- 2.1 INSULATION PRODUCTS

2.2 ACCESSORIES

PART 3 - EXECUTION

voids with insulation.

3.1 INSTALLATION

END OF SECTION 07210

- Foamed-in-Place Insulation: closed cell spray applied polyurethane foam insulation.
- 1. Product: Icynene ProSeal LE, R-7.1 per inch

Vapor Retarder: Polyethylene, Reinforced polyethylene 6 mil thick.

on between attic spaces and vented eaves.

Locate seams at framing members, overlap, and seal with tape.

C. Fiberglas Insulation Kraft Faced Batt Insulation: ASTM C 665, Type II, Class C preformed formaldehyde free glass fiber batt type, Kraft paper faced one side.

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B. Acoustic Batt Insulation: ASTM C 665, Type I, unfaced with fibers manufactured from rock wool, with flame-spread index of 25 or less.

C. Eave Ventilation Troughs: Preformed, rigid fiberboard or plastic sheets designed to fit between roof framing members and to provide

A. Install insulation in areas and in thicknesses indicated or required to produce R-values indicated. Cut and fit tightly around obstructions and fill

B. Extend vapor retarder to extremities of areas to be protected from vapor transmission. Secure in place with adhesives or other anchorage.

UNIT MASONRY ASSEMBLIES

SECTION 04810 - UNIT MASONRY ASSEMBLIES

1.1 SECTION REQUIREMENTS

PART 1 - GENERAL

PART 2 - PRODUCTS

2.1 MASONRY UNITS

Products:

2.2 MORTAR AND GROUT

having jurisdiction.

1. Products:

PART 3 - EXECUTION

textures.

3.2 LINTELS

mortar.

3.4 CLEANING

END OF SECTION 04810

of structure above.

A. Submittals: Samples for face brick and colored mortar

B. Comply with ACI 530.1/ASCE 6/TMS 602.

C. Mockups: Construct a sample wall panel approximately 48 inches long by 48 inches high to demonstrate aesthetic effects and set quality standards for materials and execution.

04810 - 1

A. Face Brick: Grade SW, Type FBX.

a. Mutual Materials (Jackson Valencia 425-452-2430)

2. Size: Standard match existing.

3. Solid brick with exposed surfaces finished for ends of sills and caps. 4. Special shapes for applications where shapes produced by sawing would result in sawed surfaces being exposed to view.

A. Mortar: Ready-mixed mortar, ASTM C 1142, may be used at Contractor's option.

1. Do not use calcium chloride in mortar. 2. For masonry below grade or in contact with earth, use Type **M**.

For exterior, above-grade, load-bearing and non-load-bearing walls and parapet walls; for interior load-bearing walls; for interior

non-load-bearing partitions, and for other applications where another type is not indicated, use Type N. 2.3 REINFORCEMENT, TIES, AND ANCHORS

A. Veneer Anchors: Two-piece adjustable masonry veneer anchors that allow vertical or horizontal adjustment but resist tension and compression forces perpendicular to plane of wall, for attachment over sheathing to studs, and acceptable to authorities

a. see detail 9 on sheet s4.4

2.4 EMBEDDED FLASHING MATERIALS A. Sheet Metal Flashing: Stainless steel, 0.0156 inch thick or Copper, 10-oz./sq. ft. weight or 0.0135 inch thick for fully concealed flashing, 16-oz./sq. ft. weight or 0.0216 inch thick elsewhere.

2.5 MISCELLANEOUS MASONRY ACCESSORIES

A. Compressible Filler: Premolded strips complying with ASTM D 1056, Grade 2A1.

B. Preformed Control-Joint Gaskets: Designed to fit standard sash block and to maintain lateral stability in masonry wall; made from styrene-butadiene rubber or PVC. C. Weep Holes: [Round polyethylene tubing, 3/8-inch OD] [Cotton or polyester rope, 1/4 to 3/8 inch in diameter, 24 inches

3.1 INSTALLATION, GENERAL

A. Cut masonry units with saw. Install with cut surfaces and, where possible, cut edges concealed. B. Mix units for exposed unit masonry from several pallets or cubes as they are placed to produce uniform blend of colors and

Matching Existing Masonry: Match coursing, bonding, color, and texture of existing masonry.

C. Stopping and Resuming Work: Rack back units; do not tooth.

D. Build non-load-bearing interior partitions full height and install compressible filler in joint between top of partition and underside

E. Tool exposed joints slightly concave when thumbprint hard, unless otherwise indicated. F. Keep cavities clean of mortar droppings and other materials during construction. Strike joints facing cavities flush.

A. Install steel lintels where indicated.

3.3 FLASHING AND WEEP HOLES

A. Install embedded flashing and weep holes in masonry at shelf angles, lintels, ledges, other obstructions to the downward flow of

water in the wall, and where indicated. B. Place through-wall flashing on sloping bed of mortar and cover with mortar. Seal penetrations in flashing before covering with

1. Extend flashing 4 inches into masonry at each end and turn up 2 inches to form a pan.

C. Trim wicking material used in weep holes flush with outside face of wall after mortar has set.

A. Clean masonry as work progresses. Remove mortar fins and smears before tooling joints.

B. Final Cleaning: After mortar is thoroughly cured, remove large mortar particles, scrub, and rinse unit masonry. Wet wall surfaces with water before applying acidic cleaner, then remove cleaner promptly by rinsing thoroughly with clear water.

SECTION 01701 - EXECUTION AND CLOSEOUT REQUIREMENTS PART 1 - GENERAL

1.1 CLOSEOUT SUBMITTALS

EXECUTION AND CLOSEOUT REQUIREMENTS

A. Record Drawings: Maintain a set of the Contract Drawings as Record Drawings. Mark to show installation that varies from the Work originally shown. Operation and Maintenance Data: Organize data into three-ring binders with identification on front and spine of each binder and pocket folders for folded sheet information. . Include the following:

01701 - 1

- 1. Manufacturer's operation and maintenance brochures.
- 2. Emergency instructions
- 3. Spare parts list. 4. Wiring diagrams.
- 5. Copies of warranties.

PART 2 - PRODUCTS (Not Applicable)

PART 3 -EXECUTION

3.1 EXAMINATION AND PREPARATION

A. Examine substrates and conditions for compliance with manufacturer's written requirements including, but not limited to, surfaces that are sound, level, plumb, smooth, clean, and free of deleterious substances; substrates within installation tolerances; and application conditions within environmental limits. Proceed with installation only after unsatisfactory conditions have been corrected.

- B. Verify layout information shown on Drawings, in relation to property survey and existing benchmarks, before laying out the Work.
- C. Prepare substrates and adjoining surfaces according to manufacturer's written instructions, including, but not limited to, filler and primer application.
- D. Take field measurements as required to fit the Work properly. Where fabricated products are to be fitted to other construction, verify dimensions by field measurement before fabricating and, when possible, allow for fitting and trimming during installation.
- 3.2 CUTTING AND PATCHING
- A. Do not cut structural members[or operational elements] without prior written approval of Architect.
- B. For patching, provide materials whose installed performance will equal or surpass that of existing materials. For exposed surfaces, provide or finish materials to visually match existing adjacent surfaces to the fullest extent possible.

3.3 INSTALLATION

- A. Comply with manufacturer's written instructions for installation. Anchor each product securely in place, accurately located and aligned. Clean exposed surfaces and protect from damage. If applicable, prepare surfaces for field finishing.
- B. Clean Project site and work areas daily, including common areas.

3.4 FINAL CLEANING

- A. Clean each surface or item as follows before requesting inspection for certification of Substantial Completion:
- Remove labels that are not permanent.
- 2. Clean transparent materials, including mirrors. Remove excess glazing compounds. Replace chipped or broken glass. 3. Clean exposed finishes to a dust-free condition, free of stains, films, and foreign substances. Leave concrete floors broom clean.
- 4. Vacuum carpeted surfaces and wax resilient flooring.
- 5. Wipe surfaces of mechanical and electrical equipment. Remove excess lubrication. Clean plumbing fixtures. Clean light fixtures and lamps. 6. Clean the site. Sweep paved areas; remove stains, spills, and foreign deposits. Rake grounds to a smooth, even-textured surface.

3.5 CLOSEOUT PROCEDURES

A. Substantial Completion: Before requesting Substantial Completion inspection, complete the following:

- 1. Advise Owner of pending insurance changeover requirements.
- 2. Submit specific warranties, maintenance agreements, and similar documents.
- 3. Obtain and submit releases permitting Owner unrestricted use of the Work and access to services and utilities. Include occupancy permits, operating certificates, and similar releases.
- 4. Submit Record Drawings[and Specifications], operation and maintenance manuals,[property surveys,] and similar final record information. 5. Deliver tools, spare parts, extra materials, and similar items.
- 6. Changeover locks and transmit keys to Owner.
- 7. Complete startup testing of systems and instruction of operation and maintenance personnel.
- 8. Remove temporary facilities and controls.
- 9. Advise Owner of changeover information related to Owner's occupancy, operation, and maintenance.
- 10. Complete final cleaning requirements, including touchup painting.
- 11. Touch up and otherwise repair and restore marred exposed finishes to eliminate visual defects.
- B. On receipt of a request for inspection, Architect will proceed with inspection or advise Contractor of unfulfilled requirements. Architect will prepare the Certificate of Substantial Completion after inspection or advise Contractor of items that must be completed or corrected before the certificate will be issued.
- C. Request inspection for certification of Final Completion, once the following are complete:
- 1. Submit a copy of Substantial Completion inspection list stating that each item has been completed or otherwise resolved for acceptance.
- 2. Instruct Owner's personnel in operation, adjustment, and maintenance of products, equipment, and systems. D. Architect will reinspect the Work on receipt of notice that the Work has been completed.
- 1. On completion of reinspection, Architect will prepare a final Certificate for Payment. If the Work is incomplete, Architect will advise Contractor of the Work that is incomplete or obligations that have not yet been fulfilled.

3.6 DEMONSTRATION AND TRAINING

- A. Provide experienced instructors for each piece of equipment that requires operation and maintenance to provide instruction to Owner's personnel. Include a detailed review of the following:
- 1. Include instruction for system design and operational philosophy, review of documentation, operations, adjustments, troubleshooting, maintenance, and repair.

END OF SECTION 01700

SECTION 01732 - SELECTIVE DEMOLITION

PART 1 - GENERAL

- 1.1 SECTION REQUIREMENTS
- A. Unless otherwise indicated, demolished materials become Contractor's property. Remove from Project site.
- B. Items indicated to be removed and salvaged remain Owner's property. Remove, clean, and deliver to Owner's designated storage area.
- C. Comply with EPA regulations and disposal regulations of authorities having jurisdiction.
- D. Conduct demolition without disrupting Owner's use of the building.
- E. It is not expected that hazardous materials will be encountered in the Work. If materials suspected of containing hazardous materials are encountered, do not disturb; immediately notify Architect and Owner. Hazardous materials will be removed by Owner.

PART 2 -PRODUCTS (Not Applicable)

PART 3 -EXECUTION

END OF SECTION 01732

- 3.1 DEMOLITION A. Maintain and protect existing utilities to remain in service before proceeding with demolition.
- B. Locate, identify, shut off, disconnect, and cap off utility services to be demolished.
- C. Conduct demolition operations and remove debris to prevent injury to people and damage to adjacent buildings and site improvements.
- D. Provide and maintain shoring, bracing, or structural support to preserve building stability and prevent movement, settlement, or collapse.
- E. Protect building structure and interior from weather and water leakage and damage.
- F. Protect walls, ceilings, floors, and exposed finishes that are to remain.
- G. Neatly cut openings and holes plumb, square, and true to dimensions required. Use cutting methods least likely to damage construction to remain or adjoining construction.
- H. Promptly patch and repair holes and damaged surfaces of building caused by demolition. Restore exposed finishes of patched areas and extend finish restoration into remaining adjoining construction.
- I. Promptly remove demolished materials from Owner's property and legally dispose of them.



10/16/23 RESPONSE 9/28/23 PRICING SET No Date

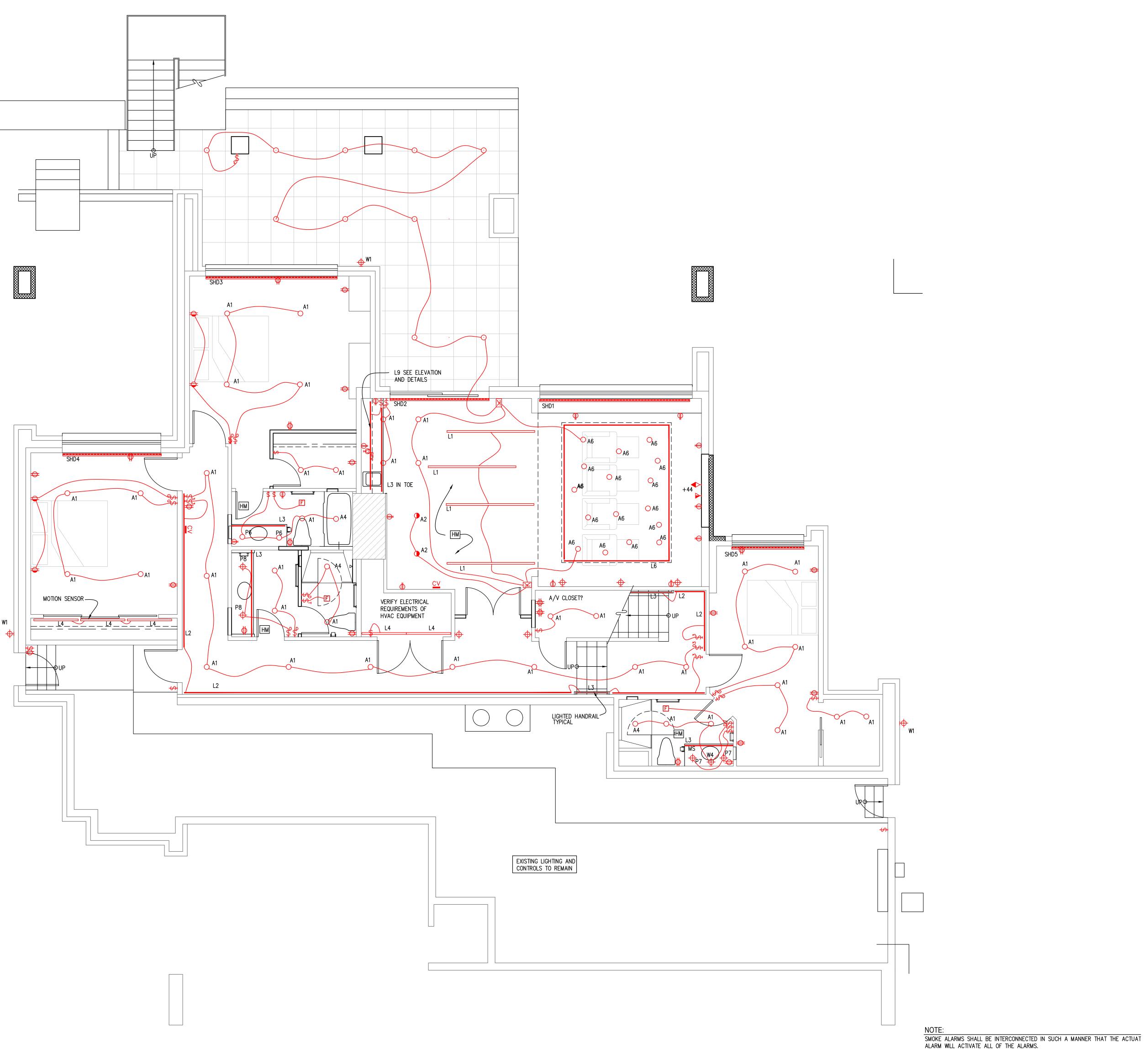


SPECIFICATION

Sheet No. Project No. Date:

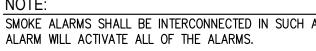
2222 9/8/23

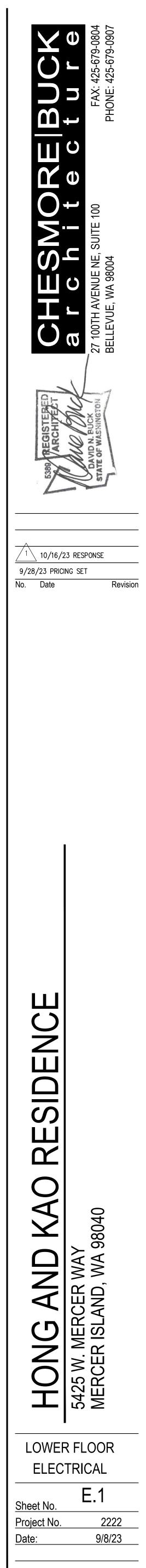
ELI	ECTRICAL S	YN	MBOLS
• ⊕	RECESSED LIGHT/ROUND TRIM RECESSED LIGHT/SQUARE TRIM WALL MOUNTED LIGHT SURFACE/PENDANT LIGHT WALLWASH LIGHT FLOOD LIGHT STRIP LIGHT STEP LIGHT	ᢡ	SWITCH 3-WAY SWITCH DIMMING SWITCH SWITCH W/ TIMER SWITCH W/ OCCUPANCY SENSOR 6-BUTTON KEYPAD, LUTRON SMART DIMMER SWITCH, LUTRON
Ø	CERAMIC SOCKET	⇔ ⇔	DUPLEX RECEPTACLE DUPLEX RECEPT./HALF-SWITCHED
© □ □ □ □ ① ① ① ① 〕	SMOKE DETECTOR (SD) CARBON MONOXIDE DETECTOR (C COMBO-SMOKE/CARBON MONOXIDE DETECTOR (S/CM) HEAT DETECTOR EXHAUST FAN (VENT TO EXTERIO CENTRAL VACUUM WALL PORT MOTION SENSOR DOORBELL THERMOSTAT GARAGE DOOR CONTROL PANEL	× ₩ Ø Ø Ø Ø 0 0	DUPLEX RECEPT. W/ DUAL USB-C
	CIRCUIT BREAKER PANEL METER	*►	SPEAKER OUTLET SOUND SPEAKER WINDOW SHADE

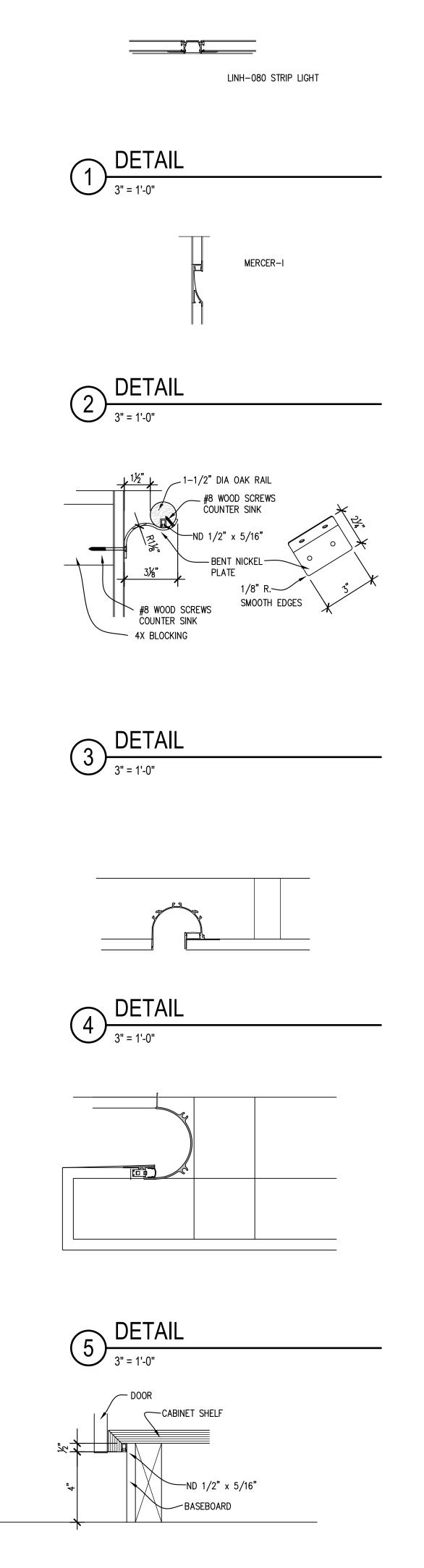


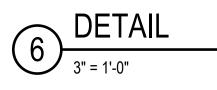
NORTH

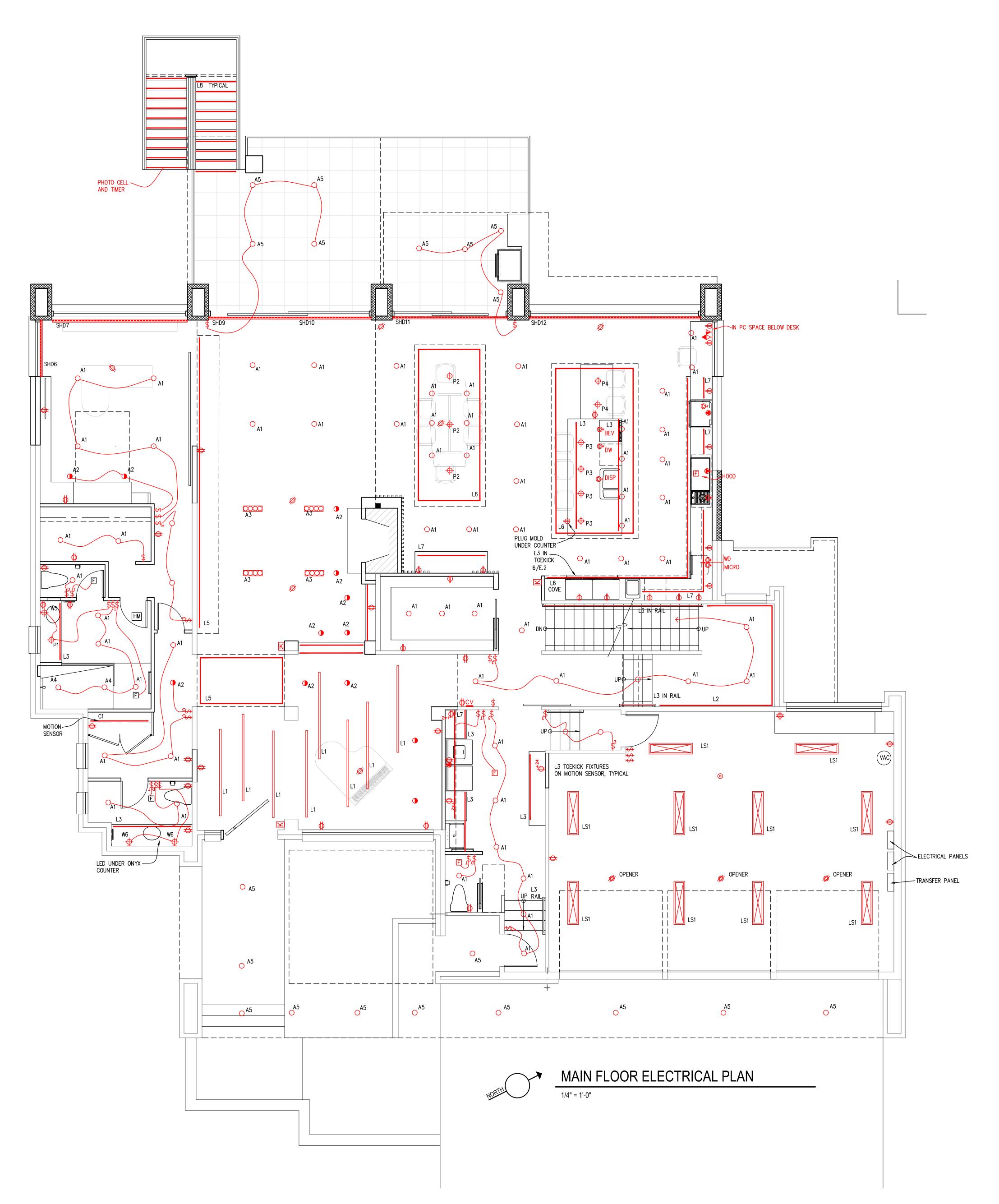
LOWER FLOOR ELECTRICAL PLAN 1/4" = 1'-0"

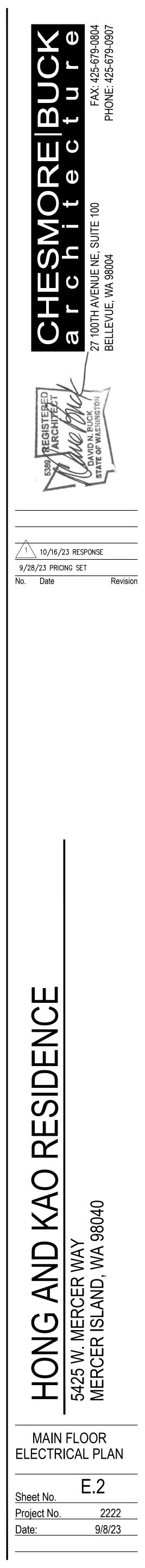


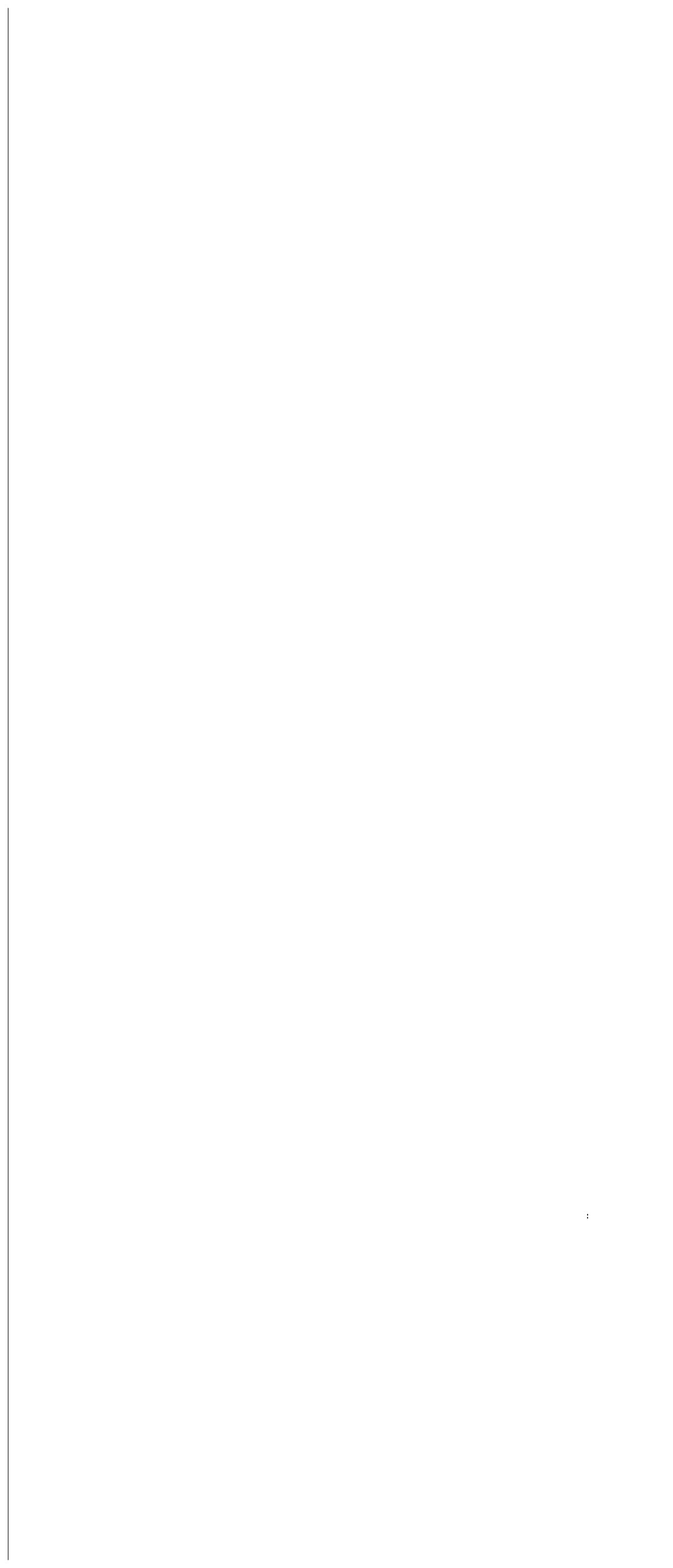


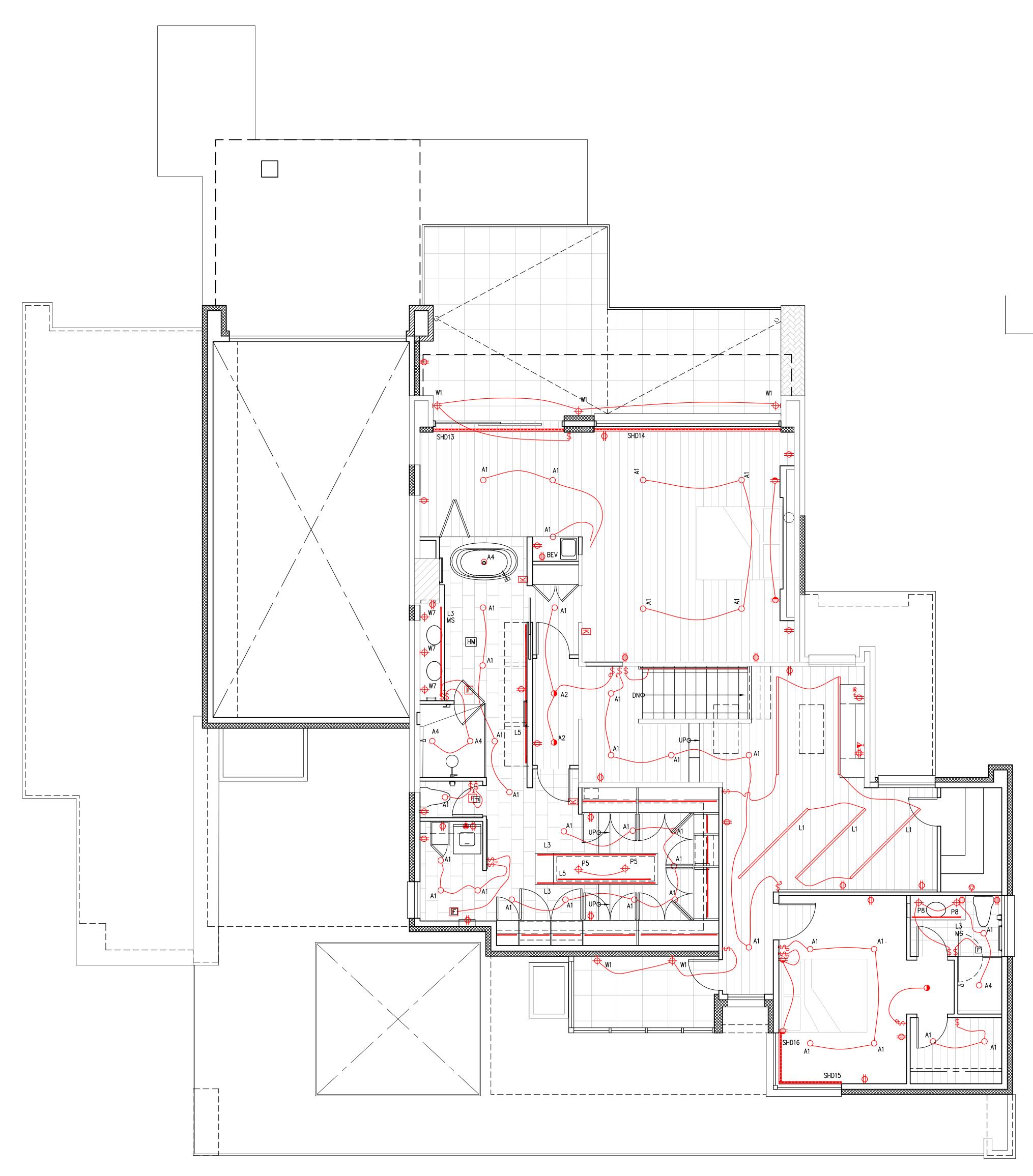


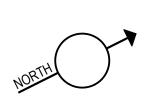




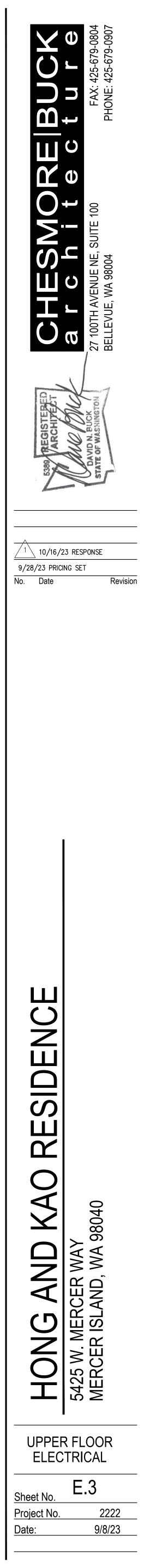








UPPER FLOOR ELECTRICAL PLAN 1/4" = 1'-0"



WIND	WINDOW SHADE SCHEDULE												
LOCATION	MARK	ELEV.	LOC.	OPERATION	TYPE	QTY	WIDTH	HEIGHT	SQ. FT.	FABRIC	HEMBAR	HOUSING	REMARKS
FAMILY	SHD1			MOTOR	A	2	6'-10"	8'-9"					DUAL 95% AND BLACKOUT
	SHD2			MOTOR	A	1	9'-0"	9'-3"					DUAL 95% AND BLACKOUT
BEDROOM2	SHD2			MOTOR	A	1	12'-1"	7'-10"					DUAL 95% AND BLACKOUT
DEDITOOME													
BEDROOM1	SHD4			MOTOR	A	1	9'-0"	6'-3"					DUAL 95% AND BLACKOUT
BEDROOM3	SHD5			MOTOR	A	1	6'-6"	5'-8"					DUAL 95% AND BLACKOUT
OFFICE	SHD6			MOTOR	A	1	5'-4"	7'-9"					DUAL 95% AND BLACKOUT
OTTICE	SHD7			MOTOR	A	1	12'-6"	7'-9"					DUAL 95% AND BLACKOUT
LIVING	SHD9			MOTOR	A	1	7'-6"	15'-6"					95%
LIVING	SHD10			MOTOR	A	1	7'-6"	15'-6"					95%
	SHD10			MOTOR	A	1	10'-8"	9'-6"					95%
DINING KITCHEN	SHD11			MOTOR	A	1	15'-10"	9'-6"					95%
	SHD12 SHD13			MOTOR	A	1	10'-8"	9-0 8'-2"					DUAL 95% AND BLACKOUT
M. BEDROOM				MOTOR	A	1		8'-2"					DUAL 95% AND BLACKOUT
	SHD14 SHD15			MOTOR		1	15'-3"	7'-0"					
BEDROOM4					A		5'-3" 4'-3"	7'-0"					DUAL 95% AND BLACKOUT
	SHD16			MOTOR	A		4 – 3	7 =0					DUAL 95% AND BLACKOUT
SHADE TYPES													1
\frown													GENERAL WINDOW SHADE NOTES:
Ввотт	OM-UP	(A TOP-DOV	VN									1. ALL SHADES TO BE LUTRON, SIVOIA QS, ROLLER 64 OR ROLLER 100 SERIES (AS DETERMINED BY INDIVIDUAL SHADE AREA)
│ <u></u> ★_ ┌───]	+											
		NLE											2. SHADE FABRIC TO BE LUTRON, BASKETWEAVE 90, 5% SHEAR, #SV24-90-5, CHARCOAL/CHESTNUT, UNO.
SCHEDULE	↑	SCHEDULE											3. ALL HEMBARS TO BE FULL WRAP STYLE W/ NO END CAPS
								Г					4. ALL SHADES TO BE INSTALLED IN LUTRON ALUMINUM SHADE POCKETS, UNO.
PER		PER							NOTE: FOR	R BOTTOM-UP MC RIZED SOLUTIONS	TORIZED SHADES	CONTACT:	5. ALL SHADES TO BE INSTALLED IN 'REGULAR ROLL' ORIENTATION, UNO., ('REVERSE ROLL' WHERE NOTED)
+-		↓	 						P: 1.866.4	46.6867			
PER S		-	PER SCHED						E: info@mo	otorizedsolutions.	com		6. SHADE DIMENSIONS INDICATED ARE NOMINAL, FIELD VERIFY PRIOR TO ORDERING

CIRC	UIT	SCHE	DULE											
LOCATION	MARK		REMARKS	FIXTURE QTY	LOCATION	MARK	DESCRIPTION	REMARKS	FIXTURE QTY	LOCATION	MARK	DESCRIPTION	REMARKS	FIXTURE
										SCHEDULE IS			LAN REFERENCE OI T ALL CIRCUITS REC	ז∟ז. ס'ר

TO COMPLETE ELECTRICAL SCOPE OF WORK

Ε	LECTRIC	CAL FIX	TUR	E S
MARK	DESCRIPTION	SIZE	TYPE	MANUF
L1	RECESSED LINEAR			NW
L2	RECESSED COVE			NW
L3	RAIL LIGHT			NW
L0 L4	CLOSET LIGHT			NO
L5	SKYLIGHT			NV NV
L6	COVE LIGHT			NWL
L0 L7	UNDERCABINET			NW
L8	NOSING			NWL
L9	CORNER			NWL
LS1	SURFACE			NO
A1	DOWNLIGHT			N
A2	WALL WASH			N
A3	MULTIHEAD			co
A4	SHOWER LIGHT			N
A5	EXTERIOR DOWNLIGHT			N
A6	PINHOLE DOWNLIGHT			NO
W1	WALL LIGHT			BEG
W2	SCONCE	TO BE SELECTED		
W3	NOT USED			
W4	MIRROR	MIRROR LIGHT		
W5	SCONCE	TO BE SELECTED		
W6	SCONCE	TO BE SELECTED		
W7	SCONCE	TO BE SELECTED		
P1	PENDANT	TO BE SELECTED		
P2	PENDANT	TO BE SELECTED		
P3	PENDANT	TO BE SELECTED		
P4	PENDANT	TO BE SELECTED		
P5	PENDANT	TO BE SELECTED		
P6	PENDANT			HUBBERT
P7	PENDANT	TO BE SELECTED		
P8	PENDANT	TO BE SELECTED		
F	FAN			PAN
C-1	LIGHTED WARDROBE TUBE			HAF
НМ	HEAT MATT			SCHLU

SCHEDULE LAMP FINISH / TRIM MODEL NO. REMARKS WATTS LUMENS TEMP. NWLED LINH-080 NWLED DETAIL 2/E.2 LINF12-023-S0-30K-VARIES DETAIL 3/E.2 NWLED LINF12-ND-S0-30K-VARIES WHITE NLSTR-4L1334W NORA LENGTH VARIES NWLED LINF12-018-WD-30K-WLED 24W LINF12NI-F-SO-30K NWLED LINF12-NT-F-MB-30K IWLED LINF12/24-S-F-S-30K LINF12/24-C-o-MB-30K IWLED NLSTR-4L1334W NORA NHSIC-485LE3LT NLCBS-4W51-85-30-MPW NORA -14W NIO-4RC-30X-MPW NORA NHRIOIC-48 LAM4B4-08-R25-97-30 _ COOPER MATTE BLACK NL-427W-20W/LED NSEIC-407AT/20 NORA NORA NHSIC-485LE3LT NLCBS-4W52-85-30-BB NHIOICD-16LE3 NIOB-1RPH-CDX-MPW NORA 33817-K3 BLACK -RTONFORGE UME 2-LIGHT ANASONIC FV-0511VFC1 N/A _ 3000K PROVIDE LED STRIP LINR12-ST NWLED 830.28.710 TUBE, 833.74.781 LENS VERIFY LENGTH **\FELE** UTER DITRAHEAT

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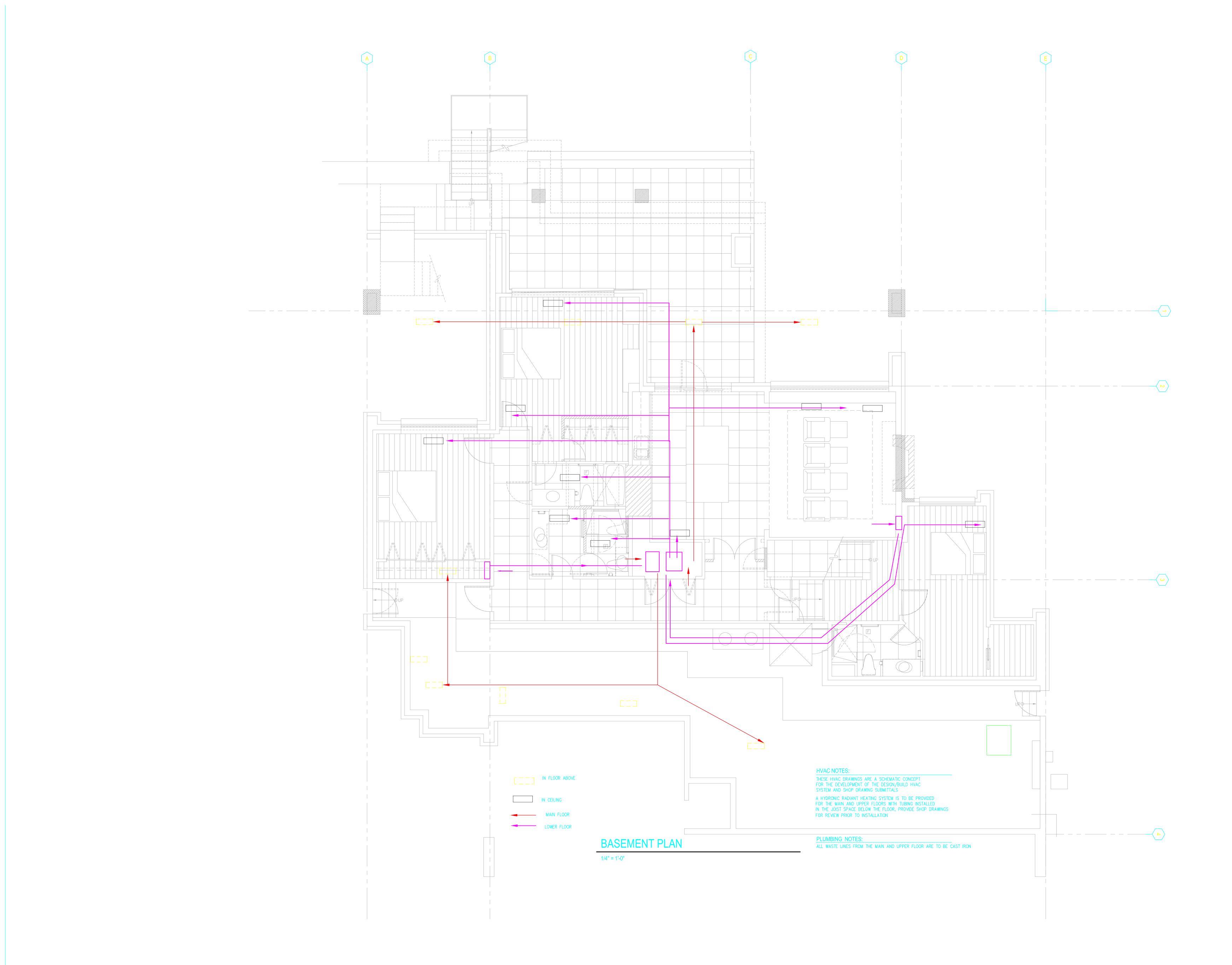
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Revision

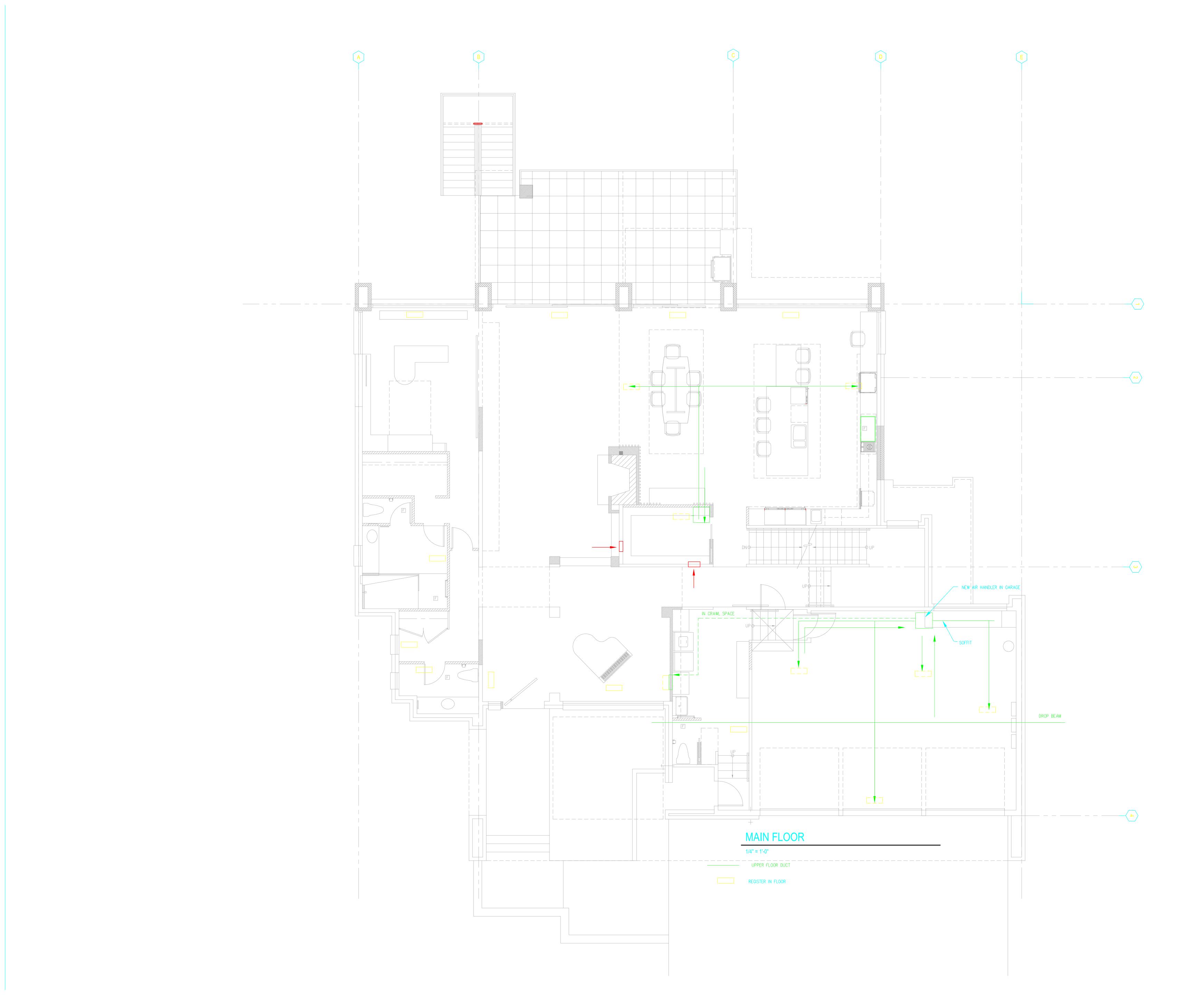


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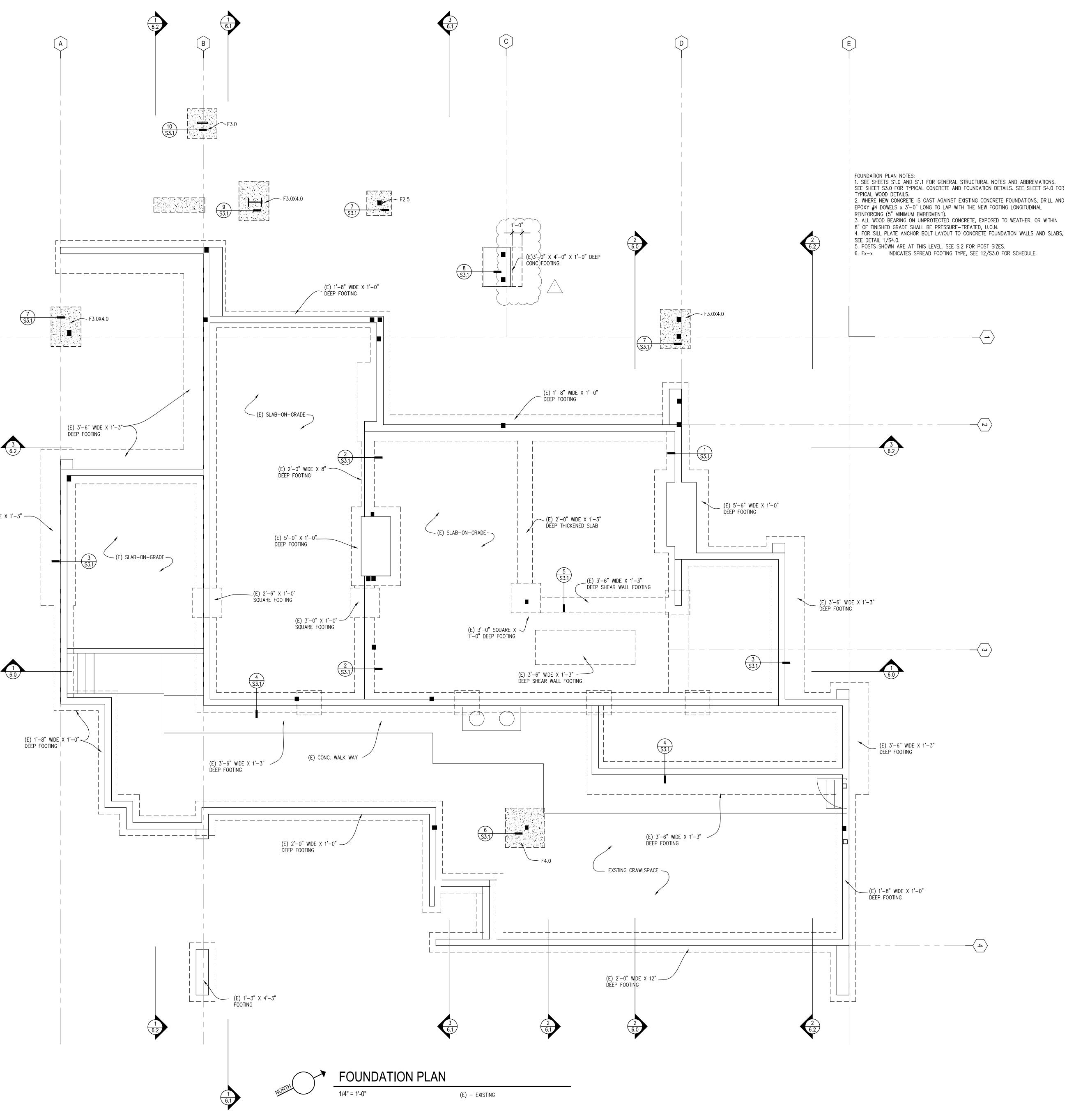
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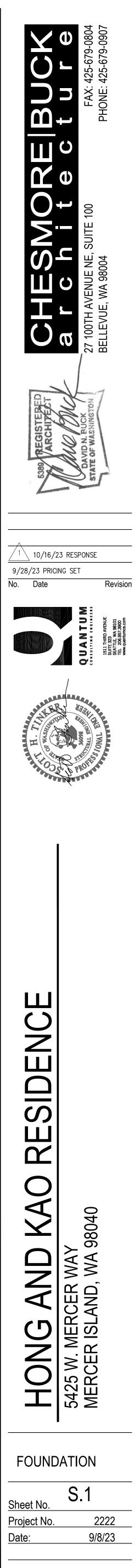


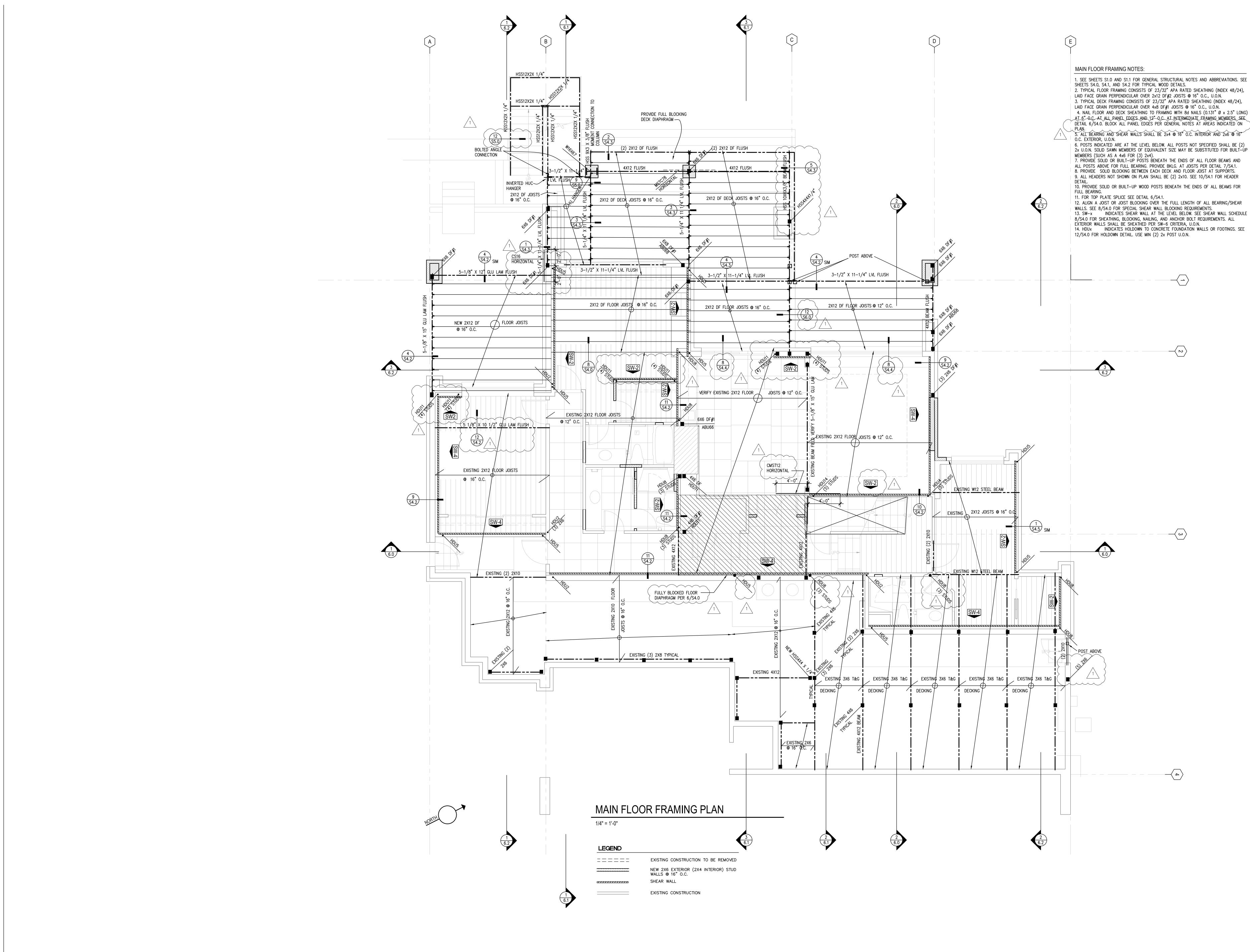


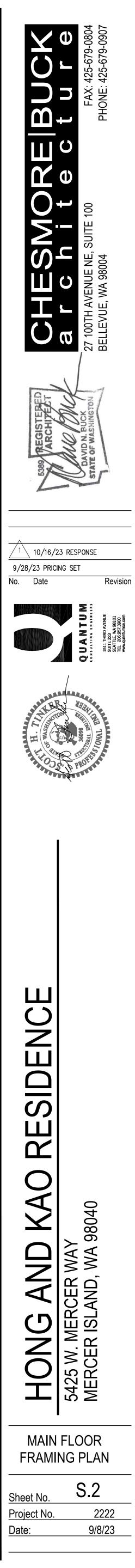
(E) 3'-6" WIDE X 1'-3"

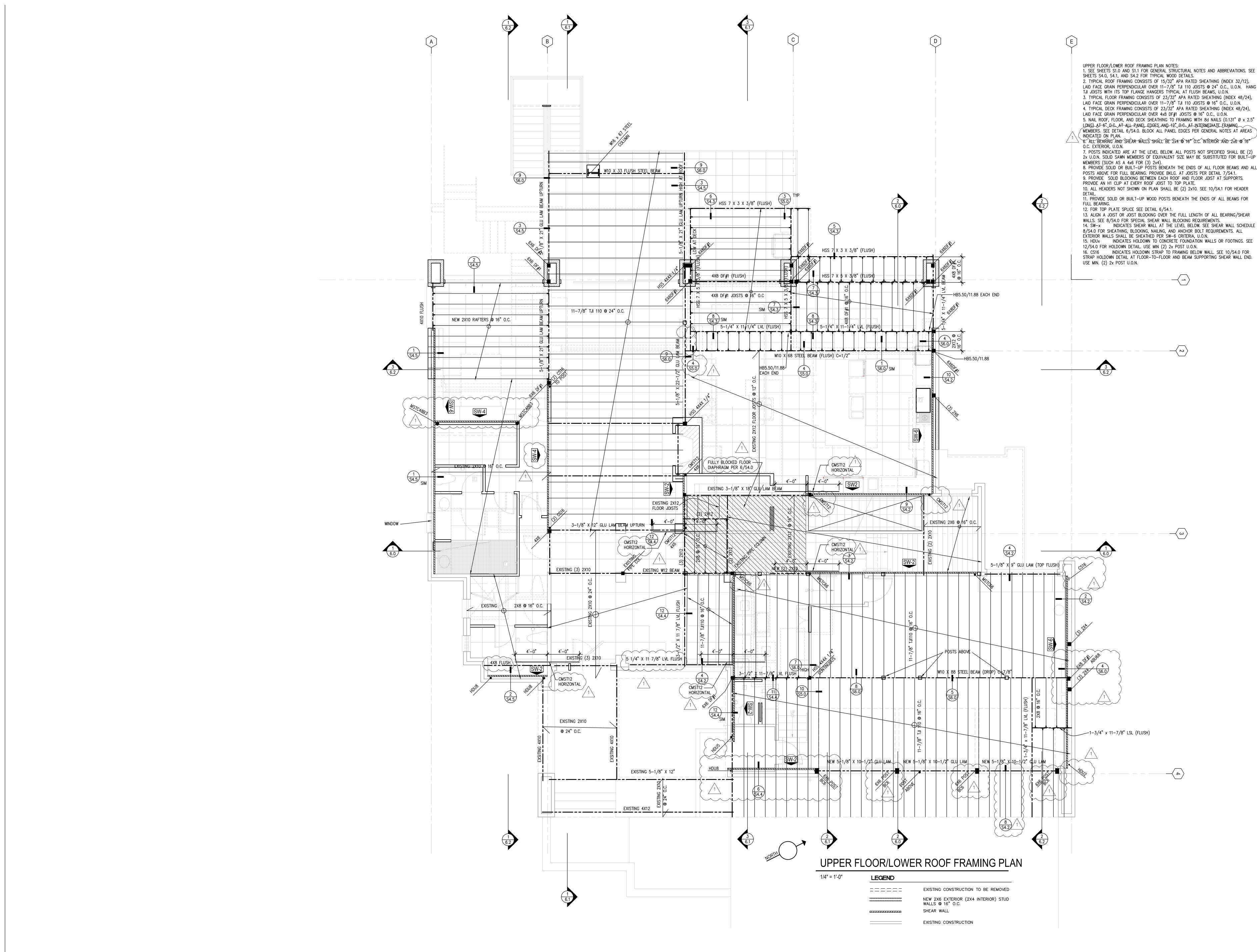
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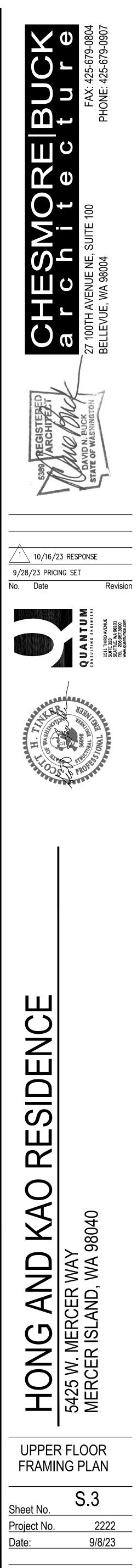


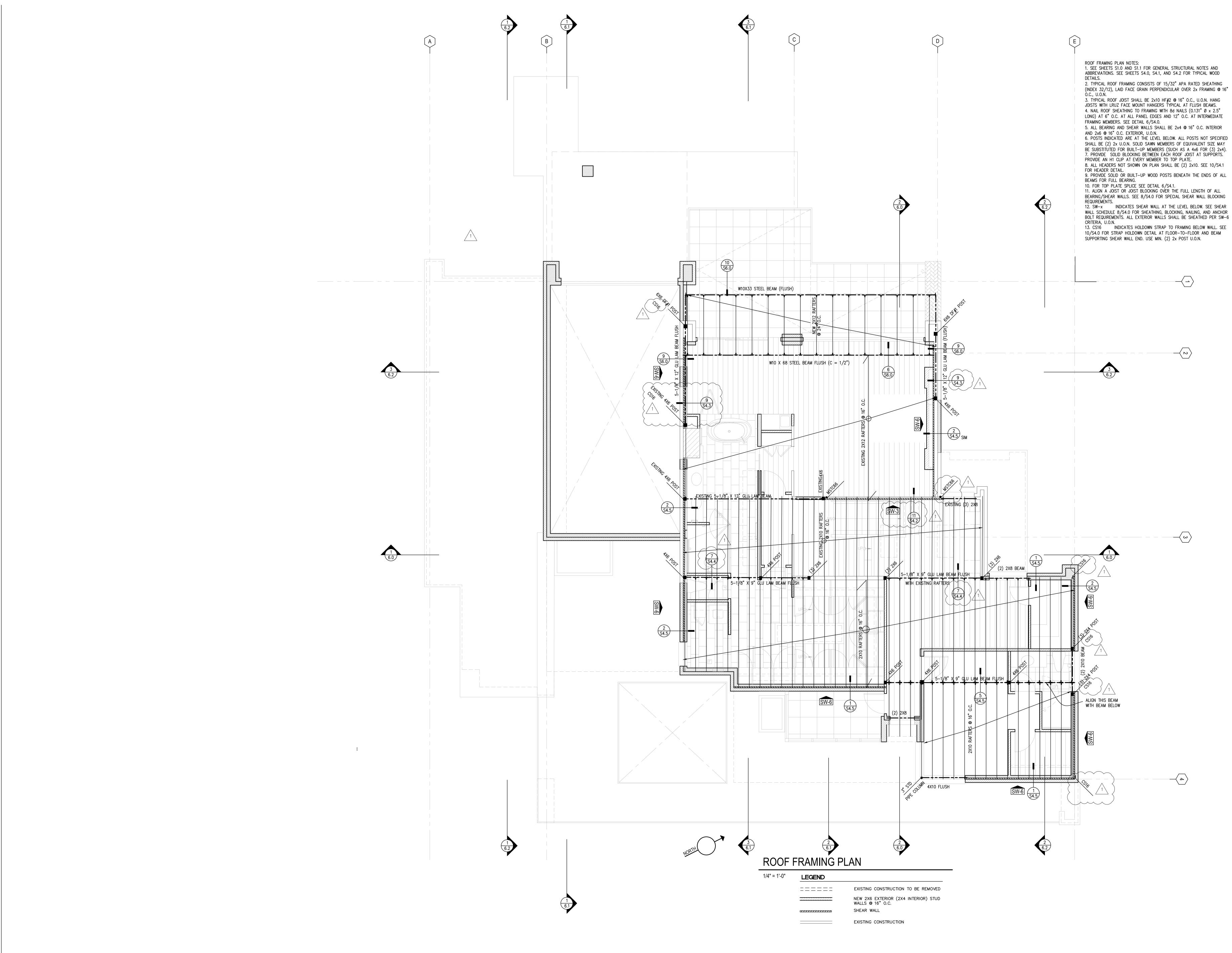


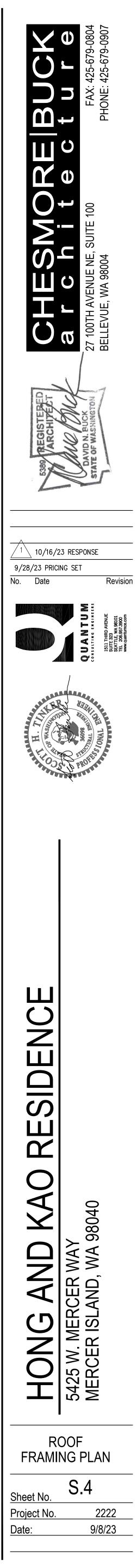












	CRITERIA		
١.	ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS,		THE FOL STAIRS,
2.	AND THE 2018 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC). DESIGN LOADING CRITERIA	15	51 AIRS,
	ROOF SNOW LOAD25 PSFROOF RAIN ON SNOW LOAD5 PSFROOF DEAD LOAD ALLOWANCE FOR PV PANELS5 PSFFLOOR LIVE LOAD40 PSFFLOOR LIVE LOAD (EXTERIOR DECKS AND BALCONIES)60 PSFFLOOR LIVE LOAD (PARKING GARAGE)50 PSFGUARDRAILS/BALCONY RAILS200 LBS		HIGH-ST GROUTE SECTION OWNER. DIRECTL MATERI ARCHITE
	WIND :ANALYSIS PROCEDURE: ASCE 7-16 CHAPTER 27 "PART I - BUILDINGS OF ALL HEIGHTS" RISK CATEGORY II 97 MPH EXPOSURE "C" TOPOGRAPHIC FACTOR Kzt = 1.0MAIN HOUSE WIND BASE SHEAR, NORTH/SOUTH VW = 32.6 K MAIN HOUSE WIND BASE SHEAR, NORTH/SOUTH VW = 38.9 K DADU WIND BASE SHEAR, NORTH/SOUTH VW = 11.6 K DADU WIND BASE SHEAR, EAST/WEST VW = 10.9 K	16	 FOUNDA REQUIRE DIRECTE COMPAC DEPTHS, ELEVAT LAB AN WALLS , BACKFII
	EARTHQUAKE : ANALYSIS PROCEDURE: IBC "EQUIVALENT LATERAL FORCE PROCEDURE" SEISMIC DESIGN CATEGORY (SDC) = D RISK CATEGORY = II SEISMIC SITE CLASS = D IMPORTANCE FACTOR Ic = 1.0 MAPPED MCE Ss = 1.45; S ₁ = 0.51 DESIGN ACCELERATION Sds = 0.91; Sd ₁ = 0.61 SEISMIC RESISTING SYSTEM: WOOD PANEL BEARING SHEAR WALL, R = 6.5 SEISMIC RESISTING SYSTEM: WOOD PANEL BEARING SHEAR WALL, R = 6.5 SEISMIC RESISTING SYSTEM: WOOD PANEL BEARING SHEAR WALL, R = 6.5 SEISMIC RESISTING SYSTEM: WOOD PANEL BEARING SHEAR VALL, R = 6.5 SEISMIC RESISTING SYSTEM: WOOD PANEL BEARING SHEAR VS = 0.9149 MAIN HOUSE SEISMIC BASE SHEAR VS = 0.82 K		DRAINA <u>THE STR</u> ALLOWA LATERA SEISMIC PASSIVI SOIL CO PILE CA <u>GEOTEC</u>
З.	DADU SEISMIC BASE SHEAR VS = 10.8 K LATERAL LOADS ARE TRANSFERRED BY THE ROOF AND FLOOR DIAPHRAGMS TO THE SHEAR WALLS. FORCES ARE BASED ON THE TRIBUTARY AREA FOR EACH SHEAR WALL AND ARE CARRIED BY THE SHEAR WALLS TO THE FOUNDATION.	דו	. <u>PIPE PIL</u> PIPE DI COMPRE COMPRE
4.	STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS FOR COMPATIBILITY AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.	18	D. <u>PIPE PIL</u> TO CON LEAST : MIS-LOC
	CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED.		GEOTEC
6.	CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.		
٦.	<u>CONTRACTOR</u> SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THEIR WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES OF THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.	 9	. <u>DEMOLI</u> INSTALL SEQUENO WHERE ALLOWE DEMOLI
8.	<u>CONTRACTOR-INITIATED</u> CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.	20	O. <u>ALL EXT</u> SCRAPE ANY LO MASONE
٩.	<u>DRAWINGS</u> INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER. WHERE INFORMATION ON THE DRAWINGS IS IN CONFLICT WITH THE SPECIFICATIONS, THE MORE STRINGENT SHALL APPLY, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER. DO NOT SCALE THE DRAWINGS.		NOT WE, FIRE ES THE CON I. <u>CHECK 1</u> STAINS, MEMBER
10.	ALL STRUCTURAL SYSTEMS WHICH ARE COMPOSED OF FIELD ERECTED COMPONENTS SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.		
11.	SHOP DRAWINGS STRUCTURAL STEEL AND GLUED LAMINATED MEMBERS SHALL BE SUBMITTED TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION OF THESE ITEMS.	2:	2. <u>CONCRE</u> CONSTR STRENG
	SHOP DRAWING REVIEW: DIMENSIONS AND QUANTITIES ARE NOT REVIEWED BY THE ENGINEER OF RECORD, AND THEREFORE MUST BE VERIFIED BY THE CONTRACTOR. CONTRACTOR SHALL REVIEW AND STAMP DRAWINGS PRIOR TO REVIEW BY ENGINEER OF RECORD. CONTRACTOR SHALL REVIEW DRAWINGS FOR CONFORMANCE WITH THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND OPERATIONS OF CONSTRUCTION, AND ALL SAFETY PRECAUTIONS AND PROGRAMS INCIDENTAL THERETO. A MINIMUM OF TWO WEEKS SHALL BE ALLOWED FOR REVIEW.		WEATHE ACCORI DURABII CEMENT ADDITIC SLABS AGGREG
	<u>SHOP DRAWING SUBMITTALS</u> PROCESSED BY THE ENGINEER ARE NOT CHANGE ORDERS. THE PURPOSE OF SHOP DRAWING SUBMITTALS BY THE CONTRACTOR IS TO DEMONSTRATE TO THE ENGINEER THAT THE CONTRACTOR UNDERSTANDS THE DESIGN CONCEPT, BY INDICATING WHICH MATERIAL IS INTENDED TO BE FURNISHED AND INSTALLED AND BY DETAILING THE INTENDED FABRICATION AND INSTALLATION METHODS. IF DEVIATIONS, DISCREPANCIES, OR CONFLICTS BETWEEN SHOP DRAWING SUBMITTALS AND THE CONTRACT DOCUMENTS ARE DISCOVERED EITHER PRIOR TO OR AFTER SHOP DRAWING SUBMITTALS ARE PROCESSED BY THE ENGINEER, THE DESIGN DRAWINGS AND SPECIFICATIONS SHALL CONTROL AND SHALL BE FOLLOWED.		THE MIN SUBMITT PLACING AMOUNT AS THE WITH AC
14.	DEFERRED SUBMITTALS OF DESIGN BUILD COMPONENTS SHALL BEAR THE STAMP AND SIGNATURE OF A STATE OF WASHINGTON REGISTERED PROFESSIONAL ENGINEER AND SHALL BE APPROVED BY THE COMPONENT DESIGNER PRIOR TO CURSORY REVIEW BY THE ENGINEER OF RECORD FOR LOADS IMPOSED ON THE BASIC STRUCTURE. THE COMPONENT DESIGNER IS RESPONSIBLE FOR CODE CONFORMANCE AND ALL NECESSARY CONNECTIONS NOT SPECIFICALLY CALLED OUT ON ARCHITECTURAL OR STRUCTURAL DRAWINGS. DEFERRED SUBMITTALS SHALL INDICATE MAGNITUDE AND DIRECTION OF ALL LOADS IMPOSED ON BASIC STRUCTURE AND SHALL INCLUDE DESIGN CALCULATIONS WITH THE ENGINEER'S STAMP.		ASH PEI REQUIRE REVIEW CONFOR PERFOR

GENERAL STRUCTURAL NOTES

(The following apply unless shown otherwise on the plans)

LLOWING COMPONENTS SHALL BE DEFERRED SUBMITTALS FOR THIS PROJECT: RAILINGS.

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INSPECTION: CONCRETE, STRUCTURAL STEEL FABRICATION AND ERECTION (INCLUDING FIELD WELDING AND RENGTH FIELD BOLTING, EXPANSION BOLTS AND THREADED EXPANSION INSERTS, SCREW ANCHORS, EPOXY ED INSTALLATIONS, AND DRIVEN PILE INSTALLATION SHALL BE SUPERVISED IN ACCORDANCE WITH IBC NS 1704 & 1705 AND THE PROJECT SPECIFICATIONS BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE THE TESTING AGENCY SHALL SEND COPIES OF ALL STRUCTURAL TESTING AND INSPECTION REPORTS 'LY TO THE OWNER, ARCHITECT, STRUCTURAL ENGINEER, CONTRACTOR AND BUILDING OFFICIAL. ANY IALS WHICH FAIL TO MEET PROJECT SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ECT

GEOTECHNICAL

ATION NOTES: SUBGRADE PREPARATION INCLUDING DRAINAGE, EXCAVATION, COMPACTION, AND FILLING EMENTS, SHALL CONFORM STRICTLY WITH RECOMMENDATIONS GIVEN IN THE GEOTECHNICAL REPORT OR AS ED BY THE GEOTECHNICAL ENGINEER. FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH (CONTROLLED, CTED STRUCTURAL FILL OR BOTH) AT LEAST 18" BELOW LOWEST ADJACENT FINISHED GRADE. FOOTING D/ELEVATIONS SHOWN ON PLANS (OR IN DETAILS) ARE MINIMUM AND FOR GUIDANCE ONLY; THE ACTUAL IONS OF FOOTINGS MUST BE ESTABLISHED BY THE CONTRACTOR IN THE FIELD WORKING WITH THE TESTING ND GEOTECHNICAL ENGINEER. UNLESS OTHERWISE NOTED, FOOTINGS SHALL BE CENTERED UNDER COLUMNS OR ABOVE.

ILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING GRANULAR FILL AND PROVIDE FOR SUBSURFACE GE AS NOTED IN THE GEOTECHNICAL REPORT.

SUCTURAL DESIGN IS BASED ON THE FOLLOWING VALUES FROM THE REFERENCED GEOTECHNICAL REPORT:

OWABLE SOIL BEARING PRESSURE	2,000 PSF
ERAL EARTH PRESSURE (RESTRAINED/UNRESTRAINED)	55 PCF/35 PCF
MIC SURCHARGE PRESSURE (RESTRAINED/UNRESTRAINED)	8H PSF/5H PSF
SIVE SOIL PRESSURE	350 PCF
COEFFICIENT OF FRICTION	0.35
CAPACITY (3 INCH)	12 KIPS

HNICAL REPORT REFERENCE: #G-5881 BY GEO GROUP NORTHWEST, INC. DATED MAY 20, 2023.

<u>.ES</u> SHALL BE GALVANIZED SCHEDULE-40 (STD) ASTM A53 (TYPE E OR S, GRADE A OR B) 3 INCH NOMINAL RIVEN TO REFUSAL PER THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER. THE ALLOWABLE AXIAL ESSION CAPACITY SHALL BE 12 KIPS. SECTIONS OF PIPE SHALL BE CONNECTED TOGETHER WITH ESSION FITTED SLEEVE COUPLERS.

ING INSPECTION SHALL BE CONTINUOUSLY PERFORMED BY THE GEOTECHNICAL ENGINEER DURING PLACEMENT. FIRM THAT THE PILES ARE INSTALLED IN ACCORDANCE WITH THE PLANS AND GEOTECHNICAL REPORT. AT 3% OF THE 3 INCH PILES SHALL BE LOAD TESTED IN ACCORDANCE WITH ASTM DI143. MAXIMUM PILE CATION SHALL BE 2" LATERALLY. ACTUAL PILE LENGTH SHALL BE DETERMINED IN THE FIELD BY THE HNICAL ENGINEER. THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL ADJACENT UNDERGROUND S PRIOR TO DRIVING PILES.

RENOVATION

TION: VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION. SHORING SHALL BE ED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED AND IN A MANNER SUITABLE TO THE WORK ICES. EXISTING REINFORCING SHALL BE SAVED WHERE AND AS NOTED ON THE PLANS. SAW CUTTING, IF AND USED, SHALL NOT OUT EXISTING REINFORCING THAT IS TO BE SAVED. DEMOLITION DEBRIS SHALL NOT BE ED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING TION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 40 PSF.

TERIOR WALLS SHALL BE INSPECTED AND REPAIRED AS FOLLOWS:

ALL LOOSE AND WEAKENED MORTAR OUT TO FULL DEPTH OF THE DETERIORATION; REMOVE AND REPLACE DOSE MASONRY UNITS; CHECK FOR LOOSE FACING BRICK VENEERS; TUCK POINT ALL JOINTS SOLID. ALL RY RESTORATION AND REPAIR SHALL BE PERFORMED IN SUCH A MANNER THAT THE EXISTING STRUCTURE IS AKENED OR LEFT UNSUPPORTED DURING THE PROCESS OF THE WORK. ALL EXTERIOR APPENDAGES SUCH AS SCAPES, CORNICES AND EYEBROWS SHALL BE INSPECTED FOR STRUCTURAL INTEGRITY AND THE CONDITION OF NNECTIONS TO THE STRUCTURE. NOTIFY THE STRUCTURAL ENGINEER AS TO THE FINDINGS OF THIS INSPECTION.

FOR DRYROT AT ALL EXTERIOR WALLS, EXISTING TOILET ROOM FLOORS AND WALLS, AREAS SHOWING WATER AND ALL WOOD MEMBERS IN BASEMENT AND CRAWL SPACES. ALL ROT SHALL BE REMOVED AND DAMAGED RS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE STRUCTURAL ENGINEER OR ARCHITECT.

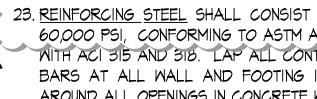
CONCRETE



ETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH ACI 301. RUCTION TOLERANCES SHALL NOT EXCEED THOSE LISTED IN ACTIVI. CONCRETE SHALL ATTAIN A 28-DAY 5TH OF I'C = 2.500 PSP AT THE HOUSE. AND 4.000 PSI AT THE DADU. ALL CONCRETE EXPOSED TO THE ER AND ALL GARAGE SLABS-ON-GRADE SHALL ATTAIN A 28-DAY STRENGTH F'C OF 3,000 PSI IN DANCE WITH IBC SECTION 1904.1. AND ACI 318 TABLE 19.3.2.1 THIS INCREASE IN REQUIRED STRENGTH IS FOR LITY ONLY (SPECIAL INSPECTION IS NOT REQUIRED). MIX SHALL CONTAIN NOT LESS THAN 5-1/2 SACKS OF PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS (BEFORE THE ON OF ADMIXTURES). THE WATER/CEMENT RATIO SHALL NOT EXCEED 0.55 FOR FOOTINGS AND 0.45 FOR ALL AND EXPOSED CONCRETE UNLESS OTHERWISE NOTED. EXCEPT FOR FOOTINGS AND SLAB ON GRADE, GATE SIZE SHALL NOT EXCEED 3/4".

NIMUM AMOUNT OF CEMENT AND THE MAXIMUM SLUMP MAY BE CHANGED IF A CONCRETE PERFORMANCE MIX IS TED TO THE STRUCTURAL ENGINEER AND THE BUILDING DEPARTMENT FOR APPROVAL TWO WEEKS PRIOR TO NG ANY CONCRETE. (THE W/C RATIO LIMITS STILL APPLY). THE PERFORMANCE MIX SHALL INCLUDE THE ITS OF CEMENT, CEMENTITIOUS MATERIAL, FINE AND COARSE AGGREGATE, WATER AND ADMIXTURES AS WELL WATER CEMENT RATIO, SLUMP, CONCRETE YIELD AND SUBSTANTIATING STRENGTH DATA IN ACCORDANCE CI 301, CHEMICAL ADMIXTURES AND FLY ASH SHALL CONFORM TO ASTM C494 AND C618 RESPECTIVELY. FLY RCENTAGE OF TOTAL CEMENTITIOUS MATERIAL SHALL NOT EXCEED 20%. THE USE OF A PERFORMANCE MIX ES BATCH PLANT INSPECTION, THE COST OF WHICH SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER. OF MIX SUBMITTALS BY THE ENGINEER OF RECORD INDICATES ONLY THAT INFORMATION PRESENTED RMS GENERALLY TO CONTRACT DOCUMENTS. CONTRACTOR MAINTAINS FULL RESPONSIBILITY FOR SPECIFIED MANCE.

ALL CONCRETE WITH SURFACES EXPOSED TO STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-14 TABLE 19.3.3.1. ALL CONCRETE TO RECEIVE A STEEL TROWELED FINISH SHALL NOT BE AIR-ENTRAINED.



OF 8" AT SIDES AND ENDS.

NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER. NO REINFORCING BARS SHALL BE "WET-SET" INTO THE CONCRETE. PROVIDE A 20' LONG REBAR GROUND (UFER GROUND) PER ELECTRICIAN.

FOOTINGS AND OTHER UNFORMED SURF FORMED SURFACES EXPOSED TO EAR SLABS AND WALLS (INTERIOR FACE)

CONCRETE WALL REINFORCING - PROVIDE THE FOLLOWING UNLESS DETAILED OTHERWISE:

MALL THICKNESS	VERTICAL BARS	HORIZONTAL BARS
6" WALLS	#4 @ 18" (I CURTAIN)	#4 @ 12" (I CURTAIN)
8" WALLS 10" WALLS	#4 @ 16" (1 CURTAIN) #4 @ 18" (2 CURTAIN)	#4 @ 10" (1 CURTAIN) #4 @ 16" (2 CURTAIN)

25. NON-SHRINK GROUT SHALL BE NON-METALLIC CONFORMING TO ASTM CIIOT AND BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. GROUT STRENGTH SHALL BE AT LEAST EQUAL TO THE MATERIAL ON WHICH IT IS PLACED (5000 PSI MINIMUM).

- REQUIRED FOR ALL EXPANSION BOLT INSTALLATION.
- SCREW ANCHOR INSTALLATION.

ALLOWABLE APPLICATION	ALLOWABLE FASTENER TYPE	SHEAR CAPACITY (LBS) TEN	NSION CAPACITY (LBS)
2X TREATED LUMBER TO CONCRETE (2000 PSI MIN.)	X-CP 72 P8 523 w/ 1.33" EMBED	250	175
2X LUMBER TO	X-U 52 MX PLUS	250	175

V LUMULK IG STRUCTURAL STEEL R-23 WASHERS (3/16" MIN., 36 OR 50 KSI)

30. MASONRY VENEER SHALL HAVE WI.7 (9 GAUGE) WIRE JOINT REINFORCEMENT SPACED AT 16" O.C. VERTICALLY AND SHALL BE ANCHORED TO BACKING WALLS PER IBC SECTION 1404.6 WITH SHEET METAL ANCHORS, WIRE ANCHORS OR ADJUSTABLE ANCHORS. MECHANICALLY CONNECT THE ANCHORS TO THE JOINT REINFORCEMENT WITH CLIPS OR HOOKS THAT WILL ENGAGE OR ENCLOSE THE WIRE. THE WIRE SHALL BE CONTINUOUS WITH BUTT SPLICES BETWEEN ANCHORS PERMITTED.

SHEET METAL ANCHORS (NON-CORRUGATED) SHALL BE AT LEAST 7/8" WIDE, 0.03" THICK, COMPLY WITH TMS 402/602 REQUIREMENTS AND BE SPACED AT 16" O.C. VERTICALLY AND A MAX. OF 24" O.C. HORIZONTALLY.

THE MAXIMUM HEIGHT OF CONTINUOUS BRICK VENEER FROM A CONCRETE FOUNDATION SHALL BE 30 FEET. PROVIDE VERTICAL EXPANSION JOINTS IN CONTINUOUS VENEER @ 25' O.C. MAX. TYPICAL U.O.N. LINTEL ANGLES OVER OPENINGS 6'-O" WIDE OR LESS SHALL BE L4" X 4" X 1/4" HOT DIP GALVANIZED, U.N.O. AND SHALL BEAR ON A MINIMUM OF 4" OF MASONRY EACH END.

23. REINFORCING STEEL SHALL CONSIST OF #4 BARS, GRADE 40, fy = 40,000 PSI AND #5 BARS, GRADE 60, fy = 60,000 PSI, CONFORMING TO ASTM A615 AND SHALL BE DETAILED (INCLUDING HOOKS AND BENDS) IN ACCORDANCE WITH ACT 315 AND 318. LAP ALL CONTINUOUS REINFORCEMENT 48 BAR DIAMETERS, 2'-0" MINIMUM. PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS, LAP 2'-O" MINIMUM. PROVIDE (2) #4 MIN. U.N.O. TRIM BARS AROUND ALL OPENINGS IN CONCRETE WALLS OR SLABS EXTENDING 2'-O" PAST CORNERS, TYPICAL

WELDED WIRE FABRIC SHALL CONFORM TO ASTM A1064. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM

24. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

FACES CAST AGAINST EARTH	З"
TH (i.e. WALLS BELOW GROUND) OR WEATHER	2"

ANCHORAGE

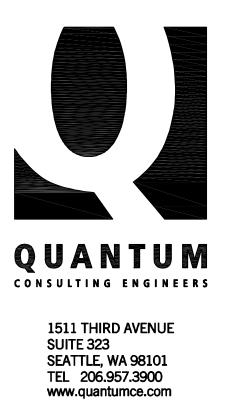
26. EXPANSION BOLTS INTO CONCRETE SHALL BE "STRONG-BOLT 2 WEDGE ANCHOR", AS MANUFACTURED BY SIMPSON STRONG-TIE ANCHOR SYSTEMS. INSTALL IN STRICT ACCORDANCE WITH I.C.C. REPORT NO. ESR-3037 INCLUDING STANDARD EMBEDMENT REQUIREMENTS U.O.N. PROPOSED SUBSTITUTIONS SHALL BE SUBMITTED FOR REVIEW WITH I.C.C. OR JAPMO UES REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES. SPECIAL INSPECTION IS

27. SCREW ANCHORS INTO CONCRETE SHALL BE "TITEN HD", AS MANUFACTURED BY SIMPSON STRONG-TIE ANCHOR SYSTEMS. INSTALL IN STRICT ACCORDANCE WITH I.C.C. REPORT NO. ESR-2713 INCLUDING STANDARD EMBEDMENT REQUIREMENTS U.O.N. PROPOSED SUBSTITUTIONS SHALL BE SUBMITTED FOR REVIEW WITH I.C.C. OR IAPMO UES REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES. SPECIAL INSPECTION IS REQUIRED FOR ALL

28. DRIVE PINS, SHOT PINS AND OTHER POWDER-ACTUATED FASTENERS SHALL BE LOW VELOCITY TYPE FASTENERS AS MANUFACTURED BY HILTI CORPORATION. WHEN CALLED FOR IN THE DRAWINGS. PROVIDE THE APPROPRIATE FASTENER AS NOTED IN THE TABLE BELOW FOR EACH GIVEN APPLICATION. INSTALL IN STRICT ACCORDANCE WITH I.C.C. REPORTS NO. ESR-2269 FOR THE X-U FASTENERS AND ESR-2379 FOR THE X-CP FASTENERS. MINIMUM EMBEDMENT IN CONCRETE SHALL BE I" UNLESS OTHERWISE NOTED. MAINTAIN AT LEAST 3" TO NEAREST CONCRETE EDGE AND 4" CENTER TO CENTER SPACING. PROPOSED SUBSTITUTIONS SHALL BE SUBMITTED FOR REVIEW WITH I.C.C. OR JAPMO VES REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES.

29. EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) INTO CONCRETE SHALL BE INSTALLED USING "SET-3G" ADHESIVE ANCHOR AS MANUFACTURED BY SIMPSON STRONG-TIE ANCHOR SYSTEMS. INSTALL IN STRICT ACCORDANCE WITH I.C.C. REPORT NO. ESR-4057, INCLUDING STANDARD EMBEDMENT REQUIREMENTS U.O.N. PROPOSED SUBSTITUTIONS SHALL BE SUBMITTED FOR REVIEW WITH I.C.C. OR IAPMO UES REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES. SPECIAL INSPECTION OF INSTALLATION IS REQUIRED.

MASONRY



SEAL:

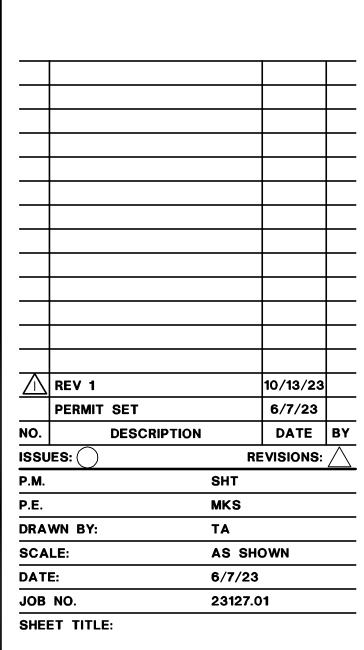


PROJECT:

HONG AND KAO RESIDENCE

5425 W. MERCER WAY MERCER ISLAND, WA 98040

APPROVAL:



GENERAL STRUCTURAL **NOTES**

SHEET NO.

S1.0

. <u>STRUCTURAL STEEL DESIGN, FABRICATION, AND ERECTION</u> SHALL BE BASED ON THE LATEST EDITIONS OF THE A.I.S.C. SPECIFICATIONS AND CODES:	RIM JO AT SH
A. AISC - STEEL CONSTRUCTION MANUAL, 15 TH EDITION	AT 5n
B. AISC 303-16 - CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES. C. 2014 RCSC SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH STRENGTH BOLTS.	BEAM
2. <u>STRUCTURAL STEEL</u> , WIDE FLANGE (W AND WT) SHAPES SHALL CONFORM TO ASTM A992, Fy = 50 KSI; ALL OTHER ROLLED SHAPES SHALL CONFORM TO ASTM A36, Fy = 36 KSI. STEEL PLATE SHALL CONFORM TO ASTM A36, Fy = 36	DESIG
KSI. STEEL PIPE SHALL CONFORM TO ASTM A53, TYPE E OR S, GRADE B, Fy = 35 KSI. STRUCTURAL TUBING ŠHALL CONFORM TO ASTM A500, GRADE C, Fy = 50 KSI. CONNECTION BOLTS SHALL CONFORM TO ASTM A307. ANCHOR BOLTS SHALL CONFORM TO ASTM FI554 GRADE 36, Fy = 36 KSI.	ALTER STRUC
. <u>ARCHITECTURALLY EXPOSED STRUCTURAL STEEL</u> SHALL CONFORM TO SECTION IO OF THE AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES.	42. <u>WOOD</u> CORP ARCH
ALL A325 CONNECTION BOLTS SHALL BE INSTALLED TO THE SNUG-TIGHT CONDITION PER RCSC SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH STRENGTH BOLTS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. ALL NUTS SHALL CONFORM TO ASTM A563. ALL WASHERS SHALL CONFORM TO ASTM F436 OR ASTM F959 TYPE 325. ALL BOLT HOLES SHALL BE STANDARD SIZE UNLESS OTHERWISE NOTED.	FOR CAPA PROV 43. <u>WOOD</u>
. <u>ALL A307 CONNECTION BOLTS</u> SHALL BE PROVIDED WITH LOCK WASHERS UNDER NUTS OR SELF-LOCKING NUTS. ALL BOLT HOLES SHALL BE STANDARD SIZE UNLESS OTHERWISE NOTED.	FOR REQU
2. <u>ALL WELDING</u> SHALL BE IN CONFORMANCE WITH A.I.S.C. AND A.W.S. STANDARDS AND SHALL BE PERFORMED BY W.A.B.O. CERTIFIED WELDERS USING ETO XX ELECTRODES. ONLY PREQUALIFIED WELDS (AS DEFINED BY A.W.S.) SHALL BE USED. WELDING OF GRADE 60 REINFORCING BARS (IF REQUIRED) SHALL BE PERFORMED USING LOW HYDROGEN ELECTRODES. WELDING OF GRADE 40 REINFORCING BARS (IF REQUIRED) SHALL BE PERFORMED USING ETOXX ELECTRODES. WELDING WITHIN 4" OF COLD BENDS IN REINFORCING STEEL IS NOT PERMITTED. SEE REINFORCING NOTE FOR MATERIAL REQUIREMENTS OF WELDED BARS. ALL WELDING SHALL BE PERFORMED BY WELDERS WITH AWS / W.A.B.O. CERTIFICATION WITH THE MATERIAL AND METHOD REQUIRED.	UNLESS PERPE JOINTS FLOOF OTHER PANEL WITH 8
SHOP DRAWINGS SHALL SHOW ALL WELDING WITH AWS A2.4 SYMBOLS. WELDS SHOWN ON DRAWINGS ARE MINIMUM SIZES. INCREASE WELD SIZE TO AWS MINIMUM SIZES BASED ON PLATE THICKNESS. MINIMUM WELDING SHALL BE 3/16-INCH. THE WELDS SHOWN ARE FOR THE FINAL CONNECTIONS. FIELD WELD ARROWS ARE SHOWN WHERE A FIELD WELD IS REQUIRED BY THE STRUCTURAL DESIGN; THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING IF A WELD SHOULD BE SHOP OR FIELD WELDED IN ORDER TO FACILITATE THE STRUCTURAL STEEL DELIVERY AND ERECTION.	44. <u>ALL</u> UNPRO TREA ASSO EQUAL COAT
NELDING OF LATERAL FORCE RESISTING MEMBERS SHALL BE PERFORMED IN ACCORDANCE WITH A WELDING PROCEDURE SPECIFICATION (WPS) AS REQUIRED IN AWS DI.I AND APPROVED BY THE STRUCTURAL ENGINEER BEFORE WORK BEGINS. THE WPS VARIABLES SHALL BE WITHIN THE PARAMETERS ESTABLISHED BY THE FILLER METAL MANUFACTURER. WELDING ELECTRODES SHALL BE ETOTG-K2 OR ETOT6 WITH A MINIMUM SPECIFIED CHARPY V-NOTCH (CVN) OF 20 ft-lbs AT -20 DEGREES FAHRENHEIT AND 40 ft-lbs AT 70 DEGREES FAHRENHEIT. REMOVE BOTTOM FLANGE WELD TAB AT MOMENT FRAME CONNECTIONS AND REINFORCE WITH 5/16''' FILLET WELD IN CONFORMANCE WITH FEMA-353 RECOMMENDATIONS. WELD ACCESS HOLE DETAILING AT MOMENT FRAME CONNECTIONS SHALL CONFORM WITH FEMA-350 AND FEMA-353 RECOMMENDATIONS.	2 LAY ETC., 7 45. <u>TIMBE</u> SPECI PROV SHALL FASTE MANUF THE N WASH
<u>MOOD</u>	OTHER (MINIM
	46. <u>MOOD</u>
B. <u>FRAMING LUMBER:</u> SHALL BE KILN DRIED OR MC-19 (MOISTURE CONTENT LESS THAN 19%), AND GRADED AND MARKED IN CONFORMANCE WITH W.C.L.I.B. STANDARD NO. 17 GRADING RULES FOR WEST COAST LUMBER. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:	
IN CONFORMANCE WITH W.C.L.I.B. STANDARD NO. 17 GRADING RULES FOR WEST COAST LUMBER. FURNISH TO THE	A. <u>Þ</u>
IN CONFORMANCE WITH W.C.L.I.B. STANDARD NO. 17 GRADING RULES FOR WEST COAST LUMBER. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:	Ī
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IN CONFORMANCE WITH W.C.L.I.B. STANDARD NO. IT GRADING RULES FOR WEST COAST LUMBER. FURNISH TO THE FOLLOWING MINIMUM STANDARDS: JOISTS (2X, 3X, AND 4X MEMBERS) DOUGLAS FIR OR HEM-FIR NO. 2 BEAMS AND STRINGERS (INCLUDING 6 X AND LARGER MEMBERS)	A. <u>N</u> <u>L</u> "e "f "f
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IN CONFORMANCE WITH W.C.L.I.B. STANDARD NO. 17 GRADING RULES FOR WEST COAST LUMBER. FURNISH TO THE FOLLOWING MINIMUM STANDARDS: JOISTS (2X, 3X, AND 4X MEMBERS) DOUGLAS FIR OR HEM-FIR NO. 2 BEAMS AND STRINGERS (INCLUDING 6 X AND LARGER MEMBERS) DOUGLAS FIR OR HEM-FIR NO. 1 POSTS AND TIMBERS DOUGLAS FIR OR HEM-FIR NO. 2 STUDS, PLATES & MISCELLANEOUS LIGHT FRAMING (AS NOTED ON PLANS / DETAILS) DOUGLAS FIR OR HEM-FIR NO. 2 R. GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ASTM D3737 AND ANSI AIGO.1 STANDARDS. EACH MEMBER SHALL BE FABRICATED IN CONFORMANCE WITH ASTM D3737 AND ANSI AIGO.1 STANDARDS. EACH MEMBER SHALL BE FABRICATED IN CONFORMANCE MIST BE MADE AVAILABLE TO BUILDING INSPECTORS. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V4, Fb = 2,400 PSI, Fv = 240 PSI, E = 1,800 KSI. ALL CANTILEVERED OR CONTINUOUS BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V9, Fb = 2,400 PSI, Fv = 240 PSI, E = 1,800 KSI. CAMBER ALL SIMPLE SPAN GLULAM BEAMS TO 5,000' RADIUS UNLESS SHOWN OTHERVISE ON THE PLANS. ALL GLUE LAMINATED COLUMNS MINIMUM DEPTH). CONTRACTOR SHALL VERIFY AVAILABILITY OF THE 9LANS. ALL GLUE LAMINATED COLUMNS SHALL BE DOUGLAS FIR COMBINATION 2, Fc = 1,900 PSI, Fby = 1,800 PSI, Fbx = 1,700 PSI, E = 1,700 KSI (4 LAMS MINIMUM DEPTH). CONTRACTOR SHALL VERIFY AVAILABILITY OF THE 9LANS. ALL GLUE LAMINATED COLUMNS MINIMUM DEPTH). CONTRACTOR SHALL VERIFY AVAILABILITY OF THE 9LANS. ALL GLUE LAMINATED COLUMNS AND ADJUST THE CONNECTOR SIZES IF NEEDED FOR LARGER MEMBER SIZES. 20. LAMINATED VENEER LUMBER (LVL) SHALL BE DESIGNED AND MANUFACTURED PER ASTM D5456. EACH PIECE SHALL BEAR A STAMP OR STAMPS NOTING THE NAME AND PLANT NUMBER OF THE MANUFACTURER, THE GRA	ι ι ι ι ι ι ι ι ι ι ι ι ι ι
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GENERAL STRUCTURAL NOTES

(The following apply unless shown otherwise on the plans)

STS AND BLOCKING (1-1/4" MINIMUM THICKNESS AT NON-SHEAR WALLS; SEE SCHEDULE FOR MINIMUM THICKNESS AR WALLS):

 $Fb = 1700 PSI, E = 1.3 \times 10^6 PSI, Fv = 400 PSI$

AND HEADERS:

 $Fb = 2325 PSI, E = 1.55 \times 10^6 PSI, Fv = 310 PSI$

SHOWN ON PLANS IS BASED ON MATERIALS MANUFACTURED BY THE WEYERHAEUSER CORPORATION.

ATE MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND URAL ENGINEER.

I-JOIST DESIGN SHOWN ON PLANS IS BASED ON JOISTS MANUFACTURED BY THE WEYERHAEUSER RATION. ALTERNATE I-JOIST MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ECT AND STRUCTURAL ENGINEER. ALTERNATE JOIST HANGERS AND OTHER HARDWARE MAY BE SUBSTITUTED EMS SHOWN PROVIDED THEY HAVE I.C.C. OR IAPMO UES APPROVAL FOR EQUAL OR GREATER LOAD TIES. ALL JOIST HANGERS AND OTHER HARDWARE SHALL BE COMPATIBLE IN SIZE WITH WOOD JOIST DED. GLUE FLOOR JOISTS TO SHEATHING AS REQUIRED BY THE JOIST MANUFACTURER.

SHEATHING SHALL BE APA RATED, EXTERIOR GLUE; EXPOSURE I, IN CONFORMANCE WITH THE REQUIREMENTS IEIR TYPE IN DOC PS-1 OR PS-2. SEE PLANS FOR THICKNESS, PANEL IDENTIFICATION INDEX AND NAILING EMENTS.

OTHERWISE NOTED ON THE PLANS, ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH FACE GRAIN IDICULAR TO SUPPORTS. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED TONGUE-AND-GROOVE OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH (2) IOd-F NAILS AT EACH END, UNLESS NISE NOTED. AT BLOCKED FLOOR AND ROOF DIAPHRAGMS PROVIDE FLAT 2X BLOCKING AT ALL UNFRAMED EDGES AND NAIL WITH EDGE NAILING SPACED PER PLANS. WHERE NOT NOTED OTHERWISE, NAIL PANEL EDGES I NAILS @ 6" O.C. EDGES, 12" O.C. IN THE FIELD.

DOD EXPOSED TO WEATHER, OR BEARING ON UNPROTECTED CONCRETE BELOW GRADE, OR BEARING ON ECTED CONCRETE LESS THAN 8" FROM EXPOSED EARTH SHALL BE PRESSURE-TREATED, U.O.N. PRESSURE MENT SHALL BE WITH AN APPROVED PRESERVATIVE CONFORMING TO AMERICAN WOOD PRESERVERS IATION UI AND M4 AND SHALL BE BRANDED WITH A QUALITY CONTROL AGENCY MARK BY THE AWPA OR ALL METAL HARDWARE IN CONTACT WITH TREATED WOOD SHALL BE PROTECTED WITH A GI85 GALVANIZED G (ZMAX) OR BETTER. ALL NAILS IN TREATED WOOD SHALL BE HOT-DIP GALVANIZED OR BETTER. PROVIDE RS OF 30# ASPHALT IMPREGNATED BUILDING PAPER BETWEEN NON-PRESSURE-TREATED LEDGERS, BLOCKING, ND CONCRETE.

CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS ED IN THEIR CATALOG NO. C-C-2021. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, ED THEY HAVE I.C.C. OR IAPMO UES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. CONNECTORS 3E SIZED TO MATCH THE SIZE OF THE FRAMING MEMBERS BEING CONNECTED. PROVIDE NUMBER AND SIZE OF ERS AS SPECIFIED BY MANUFACTURER. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE CTURER'S RECOMMENDATIONS. WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF LS OR BOLTS IN EACH MEMBER. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE RS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD. UNLESS NOTED IISE, ALL NAILS SHALL BE COMMON. ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE 4) AS MEMBERS CONNECTED. ALL BOLTS TIGHTENED TO SNUG TIGHT.

ASTENERS:

IL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

DRAWING ID	NAIL NAME	NAIL DIAMETER	<u>NAIL LENGTH</u>
"6d"	6d Common	0.113"	2"
"8d Box"	8d Box	0.113"	2-1/2"
"8d"	8d Common	0.131"	2-1/2"
" <i>0</i> d-F"	10d Framer	0.131"	3"
" <i>O</i> d"	10d Shear	0.148"	2-1/4"
"l6d"	16d Sinker	0.148"	3-1/4"

NTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE CTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL.

ILS - SHEATHING FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO DUNTERSINKING PERMITTED.

REWS SHALL BE WOOD SCREWS OF THE DIAMETER AND LENGTH NOTED ON THE DRAWINGS. SDS FASTENERS RE SIMPSON STRONG DRIVE SCREWS.

T <u>DIPPED GALVANIZED NAILS, BOLTS AND METAL PLATES</u> - ALL NAILS, BOLTS AND METAL PLATES IN DNTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED.

FRAMING NOTES: THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:

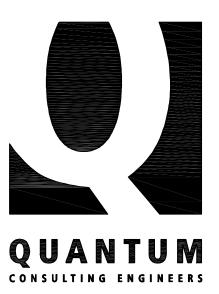
. WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF BC. MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO IBC TABLE 2304.10.1. COORDINATE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS. PROVIDE SHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD. TIGHTEN BOLTS ND LAG SCREWS SNUGLY AGAINST WOOD FRAMING AFTER WOOD HAS REACHED SPECIFIED MOISTURE CONTENT.

ALL FRAMING: ALL BEARING AND SHEAR WALLS SHOWN AND NOT OTHERWISE NOTED SHALL BE 2 × 4 STUDS @ ' O.C. AT INTERIOR WALLS AND 2 x 6 @ 16" O.C. AT EXTERIOR WALLS. TWO STUDS MINIMUM SHALL BE ROVIDED AT THE END OF ALL BEARING AND SHEAR WALLS AND AT EACH SIDE OF ALL OPENINGS. SOLID OCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW.

ALL BEARING STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH 16d NAILS AT 8" O.C. STAGGERED OR BOLTED TO CONCRETE WITH 5/8" DIAMETER ANCHOR BOLTS WITH 3"X3"X1/4" PLATE WASHERS @ 4'-0" O.C., UNLESS INDICATED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH IOD-F NAILS @ 8" O.C. STAGGERED. REFER TO THE PLANS AND SHEAR WALL SCHEDULE FOR REQUIRED SHEATHING AND NAILING. WHEN NOT OTHERWISE NOTED, PROVIDE GYPSUM WALLBOARD ON INTERIOR SURFACES ATTACHED TO ALL STUDS, TOP AND BOTTOM PLATES AND BLOCKING WITH SCREWS AT 8" O.C. USE 1-1/4 " W #6 SCREWS FOR 1/2" GWB AND 5/8" GWB WHERE OCCURS. VERIFY THE FIRE ASSEMBLY REQUIREMENTS WHERE APPLICABLE WITH THE ARCHITECT

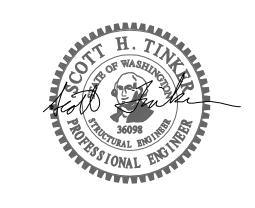
C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS. NAIL ALL MULTI-JOIST BEAMS TOGETHER WITH IOd-F NAILS @ 8" O.C. STAGGERED UNLESS OTHERWISE NOTED.

D. POSITIVE CONNECTIONS: PROVIDE THE FOLLOWING SIMPSON CONNECTORS AT TYPICAL FRAMING UNLESS OTHERWISE NOTED ON PLAN OR DETAIL. PROVIDE CCQ/ECCQ CAPS AND PBS BASES AT POSTS. PROVIDE BC BASE WHERE POST BEARS ON WOOD FRAMING BELOW. PROVIDE LUS SERIES HANGERS FOR 2X FLOOR AND ROOF JOISTS. CONNECTORS SHALL BE SIZED TO MATCH THE SIZE OF THE FRAMING MEMBERS BEING CONNECTED.



1511 THIRD AVENUE SUITE 323 SEATTLE, WA 98101 TEL 206.957.3900 www.guantumce.com

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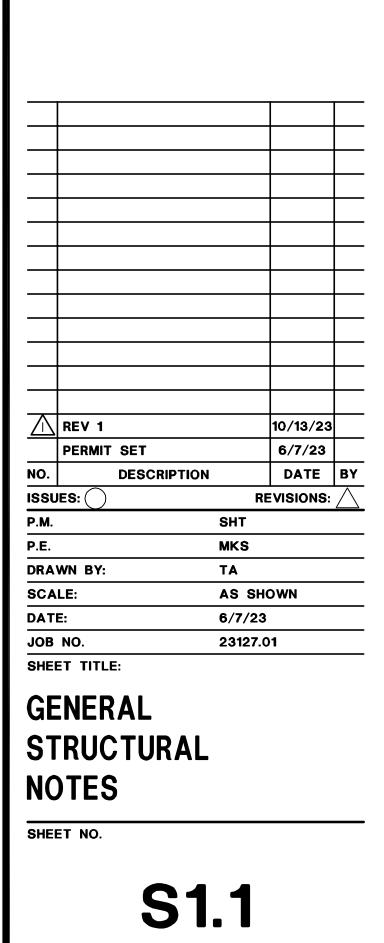


PROJECT:

HONG AND KAO RESIDENCE

5425 W. MERCER WAY MERCER ISLAND. WA 98040

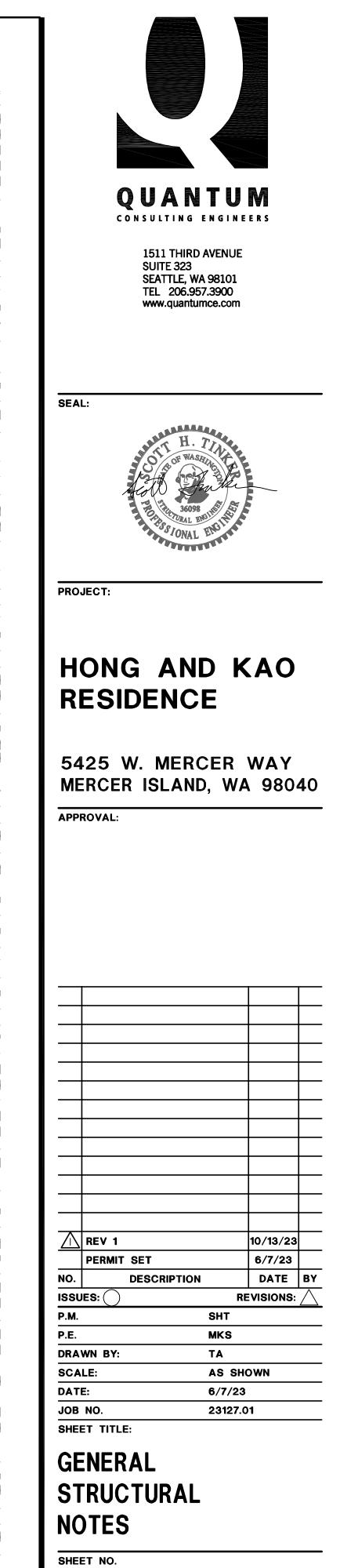
APPROVAL:



GENERAL STRUCTURAL NOTES

(The following apply unless shown otherwise on the plans)

#... (A) A.B. ADD'L ALT. APPROX. ARCH. A.S.D. (B) B/ BF BLKG. BLDG. BM. BOT. BRG. BTWN. CL or E С CIP C.J. CJP CLG. CLR. CMU COL. CONC. CONN. CONST. CONT. CSK. DBA DBL. DEG. DF DIA. DIAG. DIAPH. DIM. DN. DO DTL. DTP DWG. (E) E. EA. E.F. EL. ELEV. EMBED. ENGR. EQ. E.M. EXP. EXT. FDN. FIN. FLR. FRP F.S. FT. FTG. GA. GALV. GL GNB HDG HDR. HF HGR. HORIZ. HSS HT. I.D. I.F. IN. INFO. INT. JT. Κ KSF KSI



S1.2

Angle Pound Live Load Long Leg Horizontal Long Leg Vertical Longitudinal Lightweight Maximum Mechanical Mezzanine Moment Frame Manufacturer Minimum Miscellaneous Mark New North Near Side Nominal Not to Scale On Center Outside Diameter Outside Face Overhang Opening Opposite Powder Actuated Fastener Precast Permanent Perpendicular Partial Joint Penetration Plate Pounds per linear Foot Plywood Prefabricated Pounds per Square Foot Pounds per Square Inch Post-Tensioning Pressure-Treated Radius Reference Reinforce or Reinforcement Required Révise Rough Opening South Schedule Section Sheet Similar Slab On Grade Specification Square Square Feet Square Inch(es) Spruce-Pine-Fir Stainless Steel Standard Stiffener Steel Structural Substitute Symmetrical Top of Top and Bottom Tongue & Groove Temporary Through Top of Concrete Top of Steel Top of Wall Transverse Tube Steel Typical Unless Otherwise Noted Vertical Verify in Field West With Welded Headed Stud Without Work Point Welded Threaded Stud Welded Wire Fabric Cross Section Extra Strong Double Extra Strong

ABBREVIATIONS At L Penny (Nails) Diameter Degrees LB. LL LLH Pounds LLV LONGIT. LT. WT. Above Anchor Bolt MAX. MECH. Additional MEZZ. Alternate MF Approximate Architect MFR. Allowable Stress Design MIN. MISC. Below MK. (N) N. N.S. NOM. NTS 0.C. 0.D. 0.F. О.Н. OPNG. OPP. PAF PC PERM. PERP. PJP PL or PL PLF PLYWD PREFAB. PSF PSI P.T. or PT P/T RAD. REF. REINF. REQD. REV. R.O. S. SCH. or SCHED. SECT. SHT. SIM. SOG SPEC. SQ. SQ. FT. SQ. IN. SPF S.S. STD. STIFF. STL. STR. SUB. SYM. Τ/ Т₿В T\$G TEMP. THRU T.O.C. T.O.S. T.O.W. TRANS. TS TYP. U.O.N. VERT. VIF Μ. W/ or w/ W.H.S. W/O W.P. W.T.S. MMF X SECT. X-STR

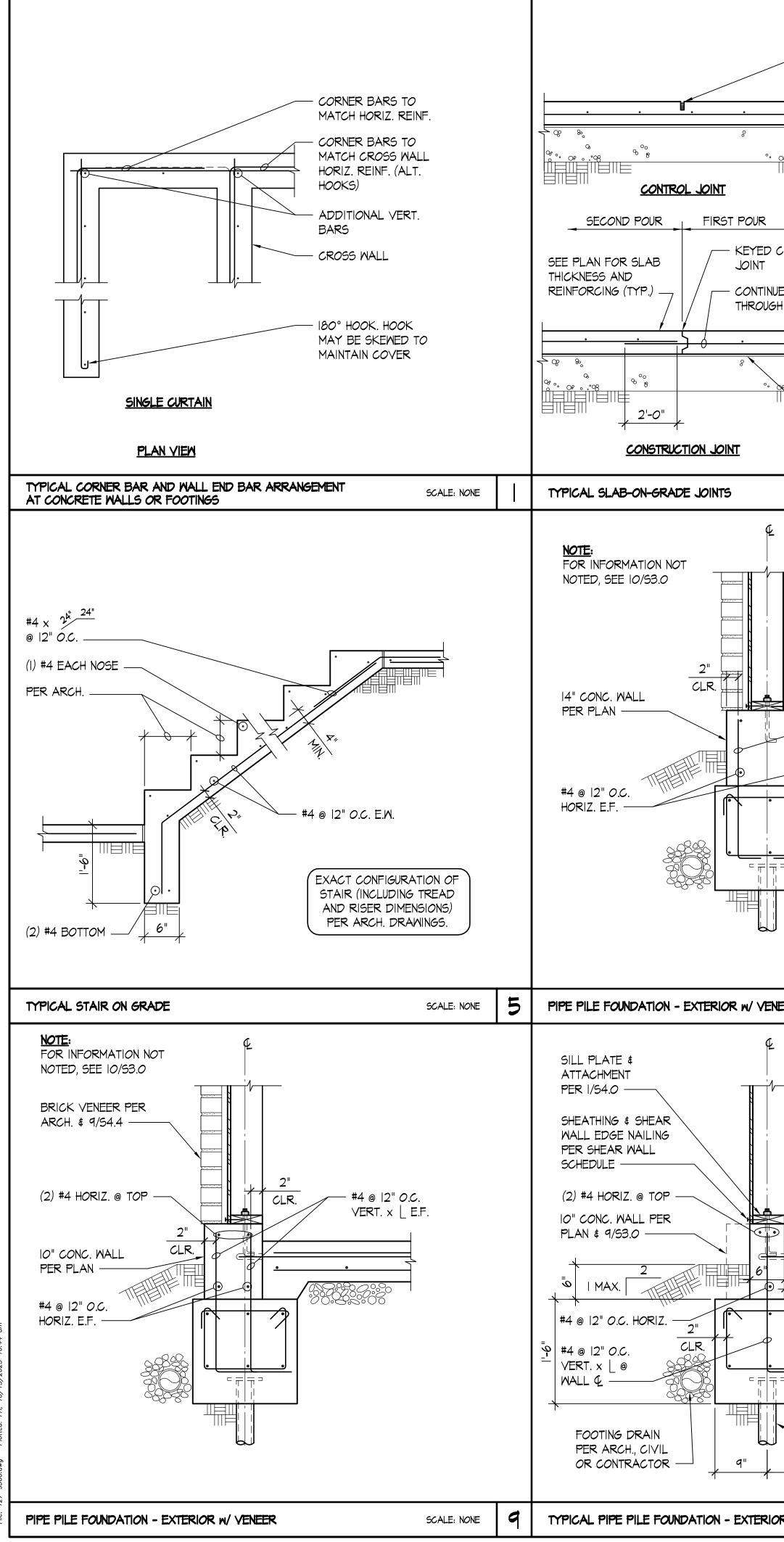
Number

Bottom of Braced Frame Blocking Building Beam Bottom Bearing Between Centerline Camber Cast In Place Construction Joint or Control Joint Complete Joint Penetration Ceilinq Clear Concrete Masonry Unit Column Concrete Connections Construction Continuous Countersink Deformed Bar Anchor Double Degree Doug Fir-Larch Diameter Diagonal Diaphragm Dimension Down Ditto Detail Double Top Plate . Drawing Existing East Each Each Face Elevation Elevator Embedment Length Engineer Equal Each Way Expansion Exterior Foundation Finish Floor Fiber Reinforced Polymer Far Side Foot or Feet Footing Gauge Galvanized Glue Laminated Gypsum Wall Board Hot Dipped Galvanized Header Hem Fir Hanger Horizontal Hollow Structural Section Height Inside Diameter Inside Face Inch

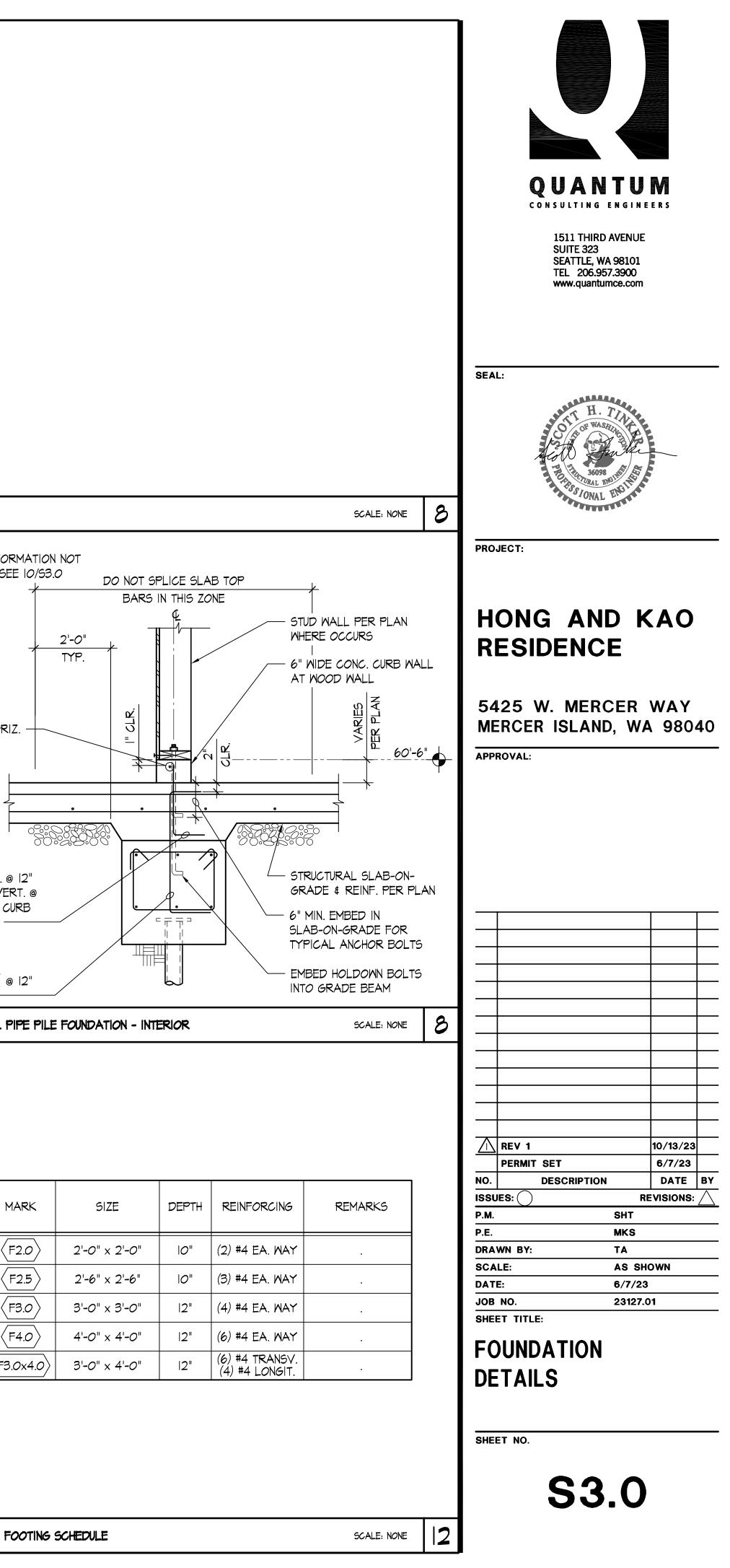
> Information Interior Joint

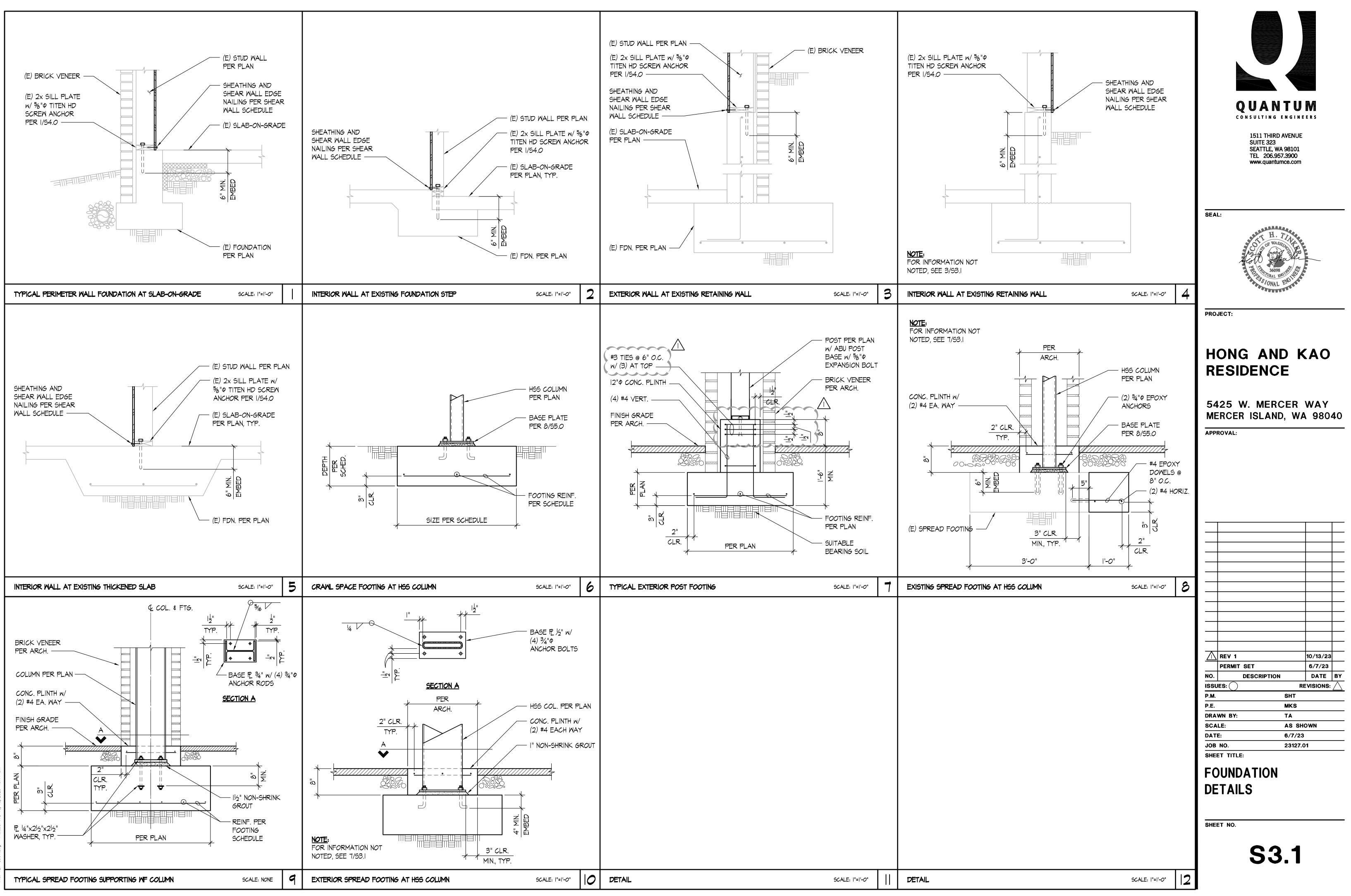
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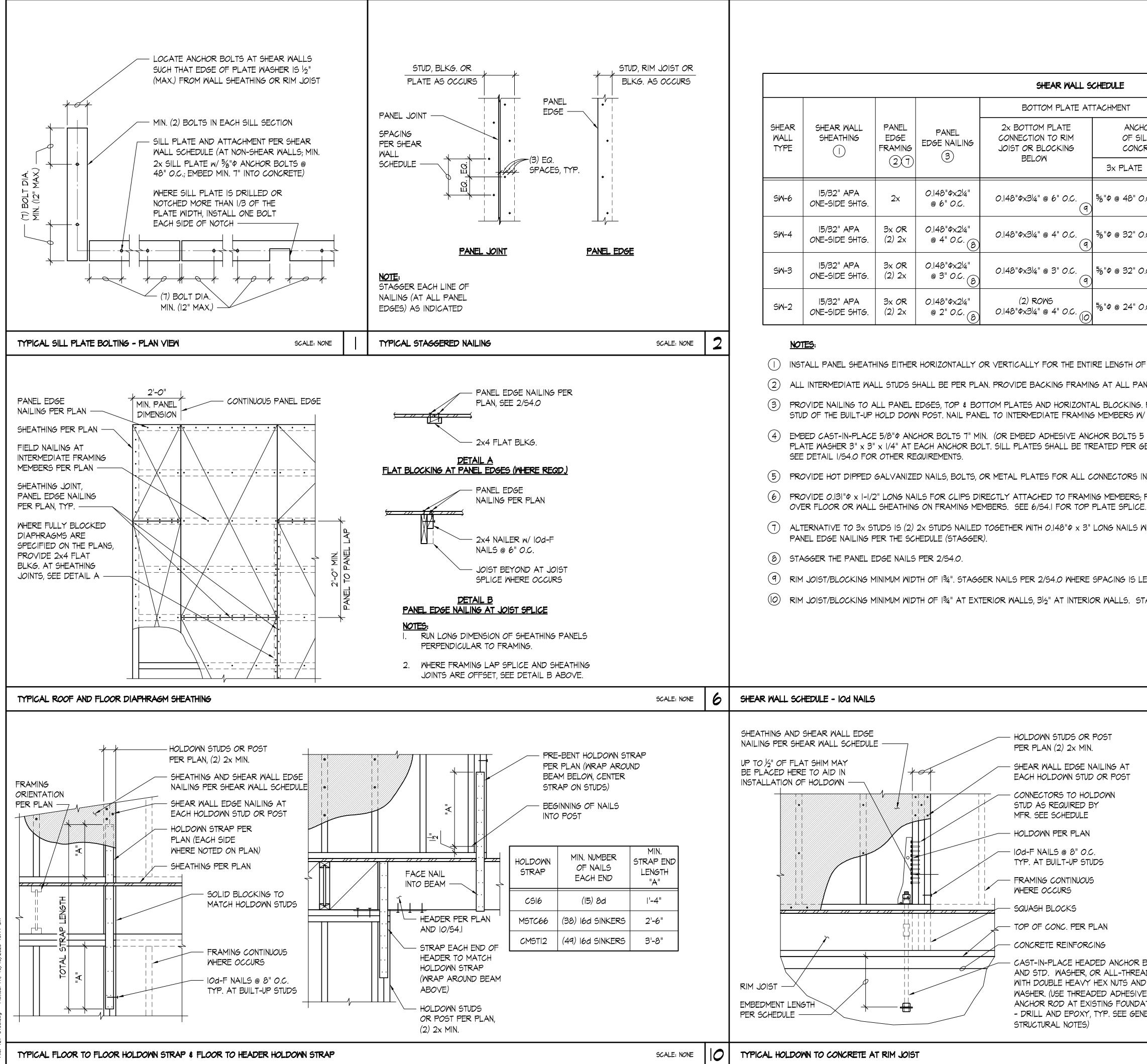
Kips Kips per Square Foot Kips per Square Inch



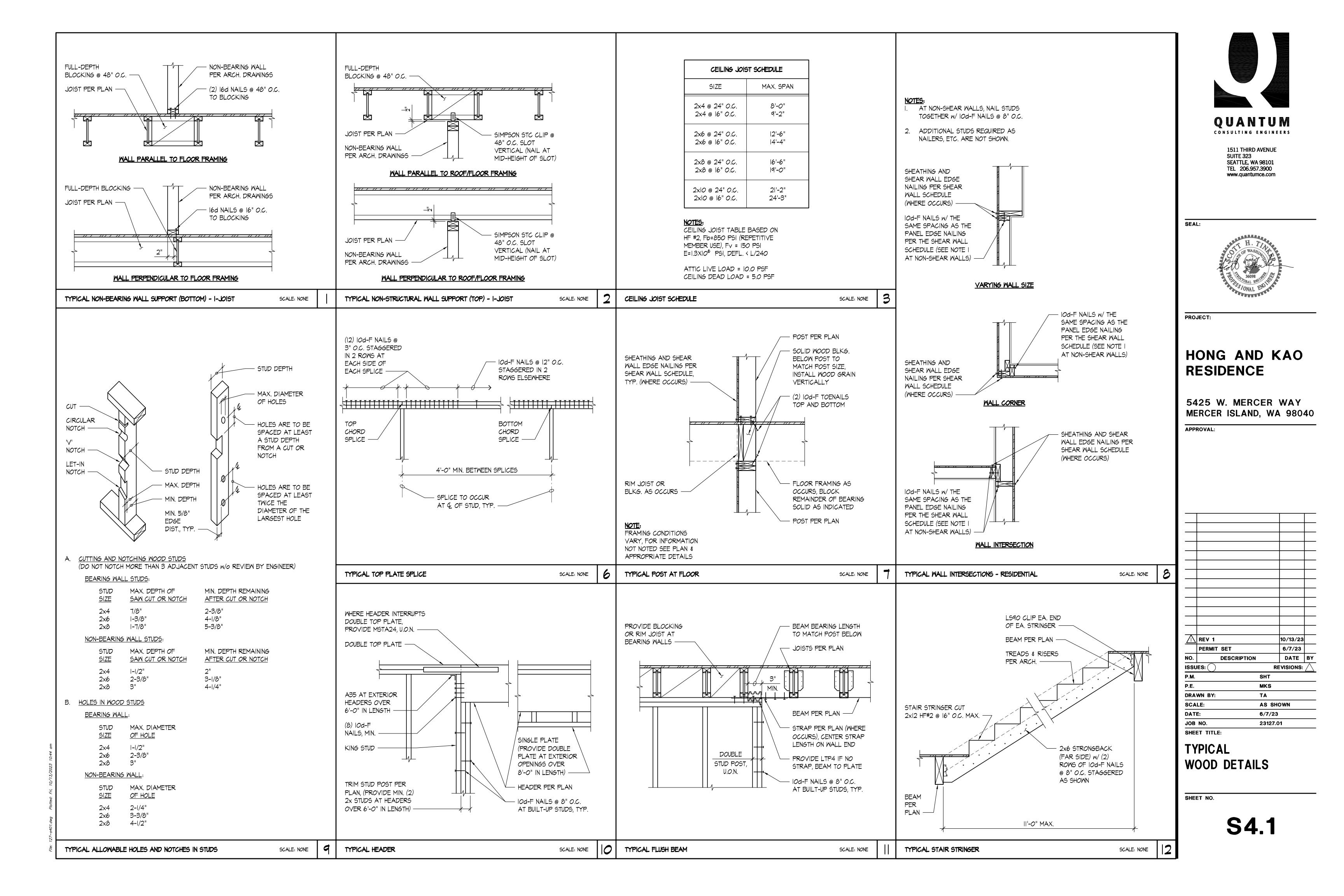
SLAP-ON-GRADE INTO GRAVIL SLAP-ON-GRADE INTO GRAVIL SCIENCE AND REALS, IN ACUT AND STREE REAL OF LOSS TO SHORT STEED IS MAXIMUM UNIT SPACING SHALL INT ENCED IS INTO THE SLAP-ON-GRADE SHORT THE SLAP ON SHORT SHORT THE SLAP ON SHORT THE SLAP ON SHORT SHORT THE SLAP ON SHORT THE SLAP ON SHORT SHORT THE SLAP ON SHORT SHORT THE SLAP ON SHORT THE SLAP ON SHORT SHORT THE SLAP O						
ER BOTH SIDES SCALE KARE Ø DETAIL SCALE KARE 7 TYPICAL F STUD HALL PER PLAN INSIDE FACE OF 2x8 STUDS (WHERE COCURS) MOTE- FOR INFORMATION NOT NOTED, SEE IO/53.0 NOTE- FOR INFORMATION NOT NOTED, SEE IO/53.0 NOTE- FOR REPAR CREMENTATION NOT NOTED, SEE IO/53.0 NOTE- FOR REPAR CREMENTATION NOT NOTED, SEE IO/53.0 Image: Structural SLAB-ON-GRADE 4 REINE, PER PLAN (60-3) TO 60-07) FINISH GRADE FER ARCH STRUCTURAL SLAB-ON-GRADE 4 REINE, PER PLAN Image: Structural SLAB-ON-GRADE 4 REINE, PER PLAN (60-3) TO 60-07) Image: Structural SLAB-ON-GRADE FER ARCH STRUCTURAL SLAB-ON-GRADE 4 REINE, PER PLAN Image: Structural SLAB-ON-GRADE 4 REINE, PER PLAN (60-3) TO 60-07) Image: Structural SLAB-ON-GRADE FER ARCH Image: Structural SLAB-ON-GRADE FER ARCH Image: Structural SLAB-ON-GRADE FER ARCH Image: Structural SLAB-ON-GRADE FER ARCH Image: Structural SLAB-ON-GRADE FER ARCH Image: Structural SLAB-ON-GRADE FER ARCH Image: Structural SLAB-ON-GRADE FER ARCH Image: Structural SLAB-ON-GRADE FER ARCH Image: Structural SLAB-ON-GRADE FER ARCH Image: Structural SLAB-ON-GRADE FER ARCH Image: Structural SLAB-ON-GRADE FER ARCH Image: Structural SLAB-ON-GRADE FER ARCH Image: Structural SLAB-ON-GRADE FER ARCH Image: Structural SLAB-ON-GRADE FER ARCH Image: Structural SLAB-ON-GRADE FER ARCH Image: Structural SLAB-ON-GRADE FER ARCH Image: Structural SLAB-ON-GRADE FER ARCH Image: Structural SLAB-ON-GRADE FER ARCH<	MASTIC JOINT STRIP. (JOINT MAY BE SAW-CUT AT CONTRACTOR'S OPTION.)	2	SLAB-ON-GRADE STEP HEIGHT S 4" SLAB-ON-GRADE STEP HEIGHT S 4" SLAB-ON-GRADE		3	NOTE: FOR INFOR NOTED, SE #4 HORI #4 HORI #4 x L @ O.C. VEI & OF C WALL -
STUD WALL PER PLAN INSIDE FACE OF 2x8 STUD6 (NEEKE OCCURS) #4 x 30' EPOXY DOWELS # 24' OC. 4' EMBED STRUCTURAL SLAB-ON-GRADE # FOR REBAR ORIENTATION FOR	ER BOTH SIDES SCALE: NONE	6	DETAIL	SCALE: NONE	7	
	INSIDE FACE OF 2x8 STUDS (WHERE OCCURS) #4 x 30" EPOXY DOWELS @ 24" O.C., 4" EMBED STRUCTURAL SLAB-ON-GRADA REINF. PER PLAN (SEE PLAN FOR REBAR ORIENTATION) WARIES PER PLAN (60'-6" VARIES PER PLAN (60'-3" TC 60'-0") S1' 60'-0" S1' 51'-5" S1' 51'-5' S1'		FOR INFORMATION NOT NOTED, SEE 10/53.0	O.C.		(1)

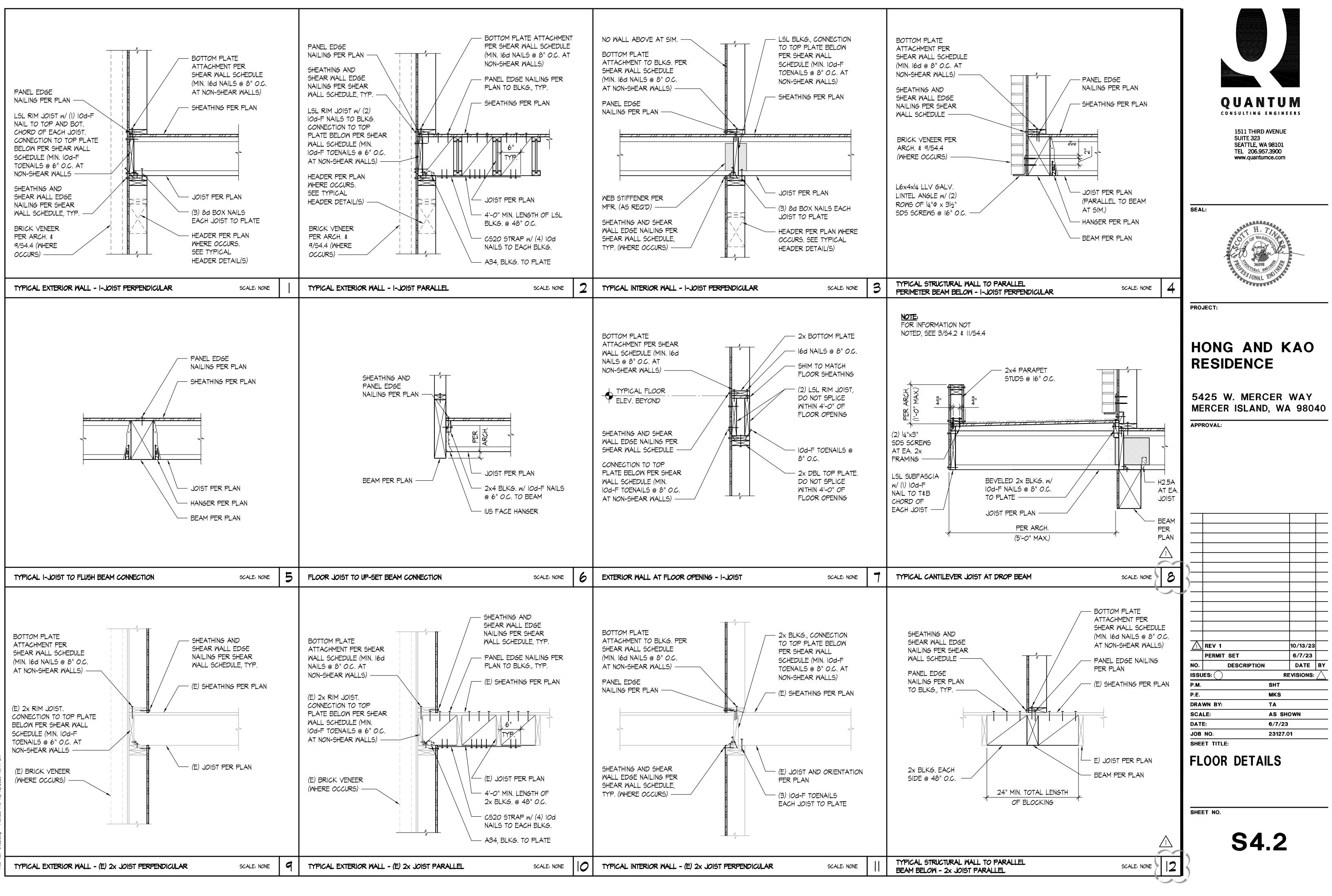


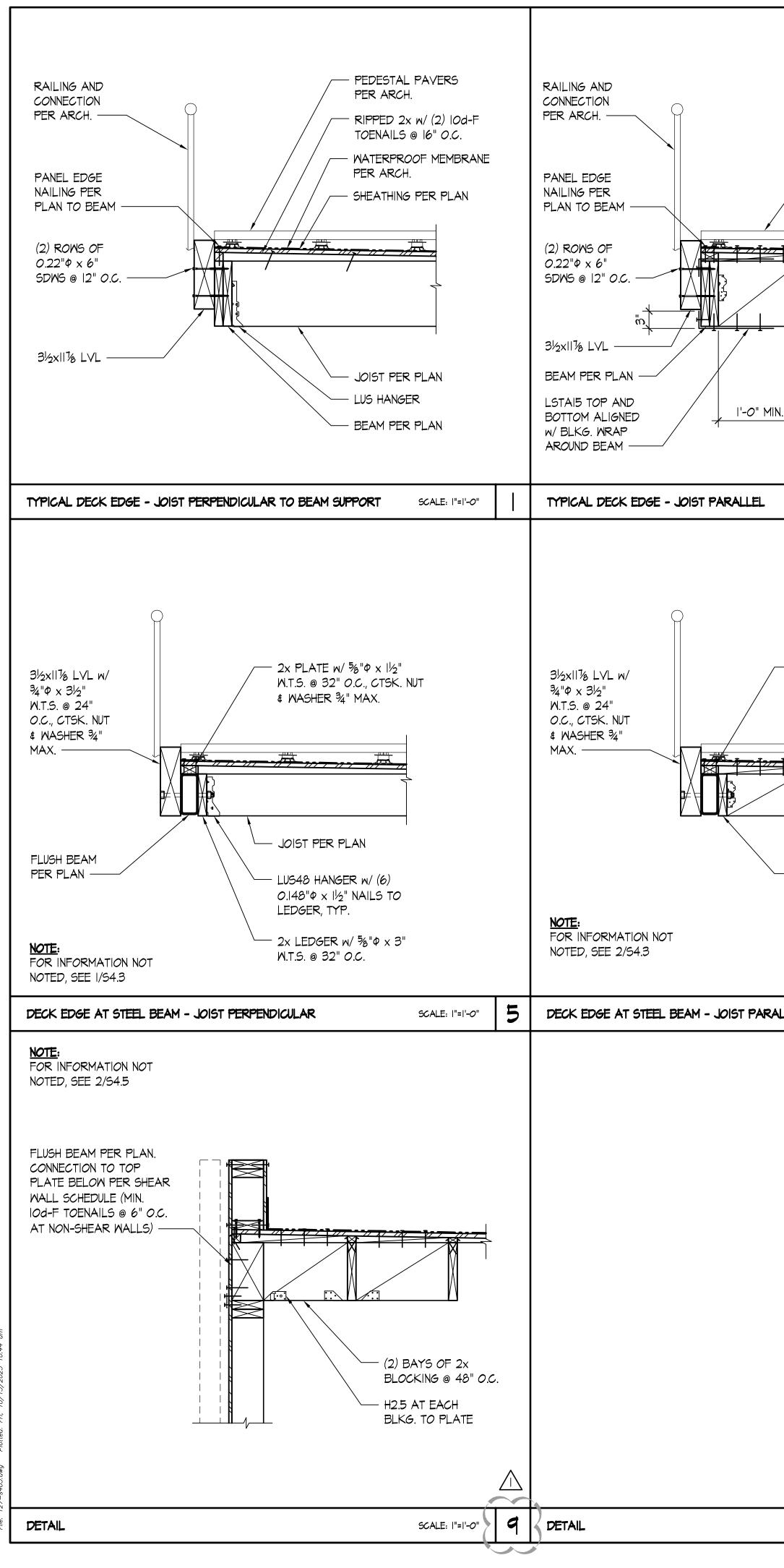




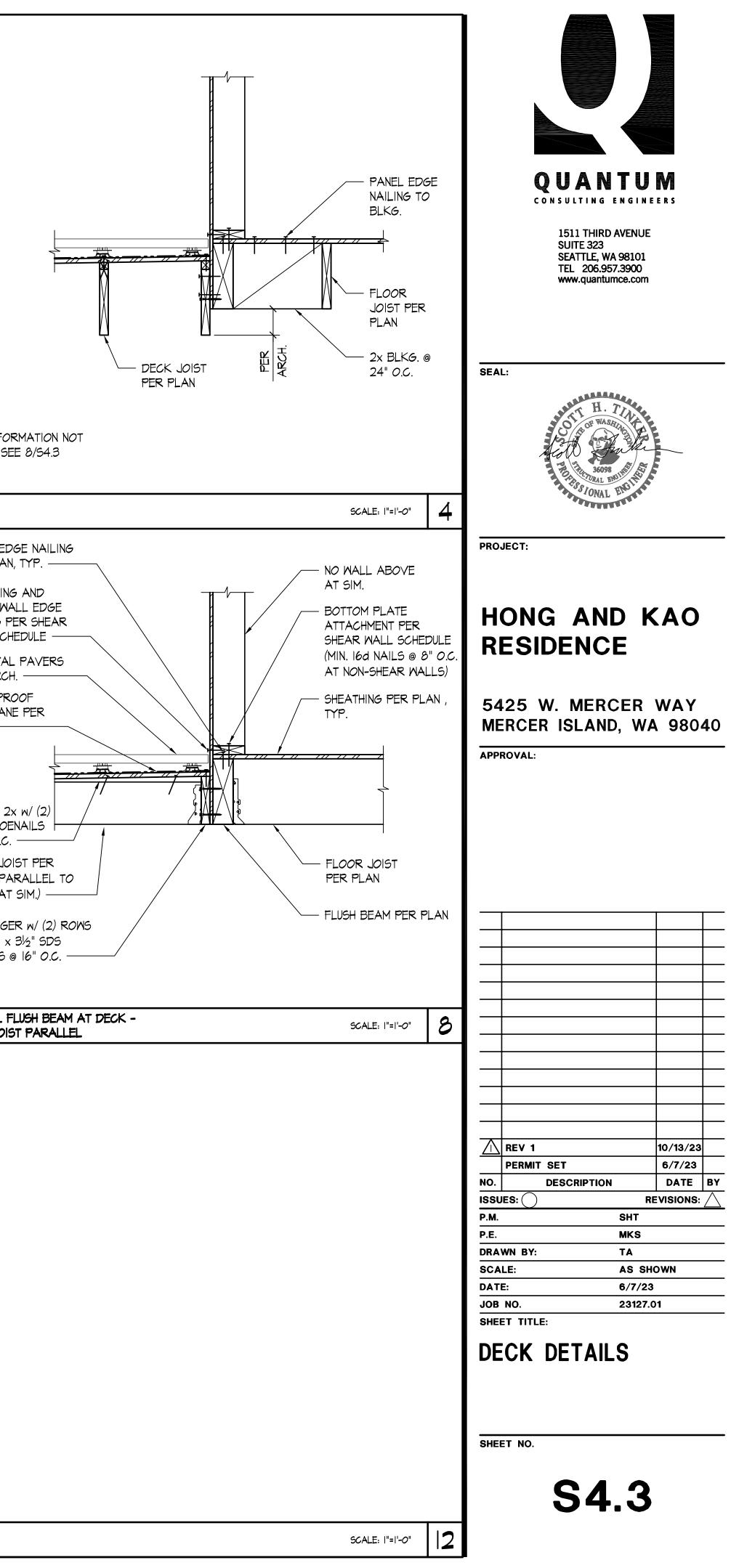
				SHEAR WALL S	CHEDULE									
				BOTTOM PLATE AT			TOP	PLATE ATTACHME	<u>ا</u>					
SHEAR WALL TYPE	SHEAR WALL SHEATHING	PANEL EDGE FRAMING	PANEL EDGE NAILING	2x BOTTOM PLATE CONNECTION TO RIM JOIST OR BLOCKING	ANCHOR BOL OF SILL PLAT CONCRETE BE	ге то		M JOIST OR BLOCH			CONSU	ANTU LTING ENGIN 1 THIRD AVENU	IEERS	
		27	3	BELOW		2x PLATE	INTERIOR	NALL EXTER	RIOR WALL		SE/	TE 323 .TTLE, WA 98101 . 206.957.3900		
SM-6	15/32" APA ONE-SIDE SHTG.	2x	O. 48"⊄x2 4" ⊚ 6" O.C.	0. 48"\$x3½" @ 6" 0.C.	5%"⊄ @ 48" O.C. 5%"(Ф @ 48" O.C.	A35 @ 6"	O.C. LTP4	@ 16" O.C.			w.quantumce.con	n	
SW-4	15/32" APA ONE-SIDE SHTG.	3x OR (2) 2x	0.148"\$x2 ¹ 4" @ 4" 0.C. 8	0. 48"\$x3½" @ 4" O.C.	₅%"¢ @ 32" O.C. ₅%"«	¢ @ 24" O.C.	A35 @ 2"	O.C. LTP4	@ 2" O.C.		SEAL:			-
SM-3	15/32" APA ONE-SIDE SHTG.	3x OR (2) 2x	0. 48"¢x2¼" @ 3" 0.C. ⑧	0.148"\$x314" @ 3" O.C.	5⁄8"⊄ @ 32" 0.C. 5⁄8"⊄	Ф @ 24" O.C.	A35 @ 8"	0.C. LTP4	@ &" O.C.		ore and a second s	H. TINA		
SM-2	15/32" APA ONE-SIDE SHTG.	3x OR (2) 2x	0.148"¢x2¼" ⊚ 2" 0.C. 8	(2) ROWS 0. 48"\$x3!4" @ 4" 0.C.	疹"Ф @ 24" O.C. 疹"	'Φ @ 6" Ο.C.	A35 @ 6"	O.C. LTP4	@ 8" O.C.		Acol	36098 INT		
 STL (4) EME PLA SEE (5) PRO OVI (6) PRO OVI (7) AL⁻ PAI (8) STA (9) RIM (10) RIM 	ID OF THE BUILT-UP BED CAST-IN-PLACE ATE WASHER 3" x 3' E DETAIL I/S4.0 FOR OVIDE HOT DIPPED OVIDE 0.131"\$\$ x 1-1/2 ER FLOOR OR WALL TERNATIVE TO 3x 5' NEL EDGE NAILING F AGGER THE PANEL E 1 JOIST/BLOCKING N 1 JOIST/BLOCKING N	HOLD DOW E 5/8"¢ ANG " × 1/4" AT R OTHER RE GALVANIZE 2" LONG NA L ONG NA L ONG NA 2" LONG NA COMPER THE SC EDGE NAILS 1NIMUM WID 1NIMUM WID	IN POST. NAIL PANE CHOR BOLTS 7" MIN EACH ANCHOR BOL EQUIREMENTS. ED NAILS, BOLTS, C AILS FOR CLIPS DIF G ON FRAMING MEN 2x STUDS NAILED CHEDULE (STAGGER 5 PER 2/S4.0. 20TH OF 134". STAGG	TOM PLATES AND HORIZONT. EL TO INTERMEDIATE FRAMING N. (OR EMBED ADHESIVE ANG T. SILL PLATES SHALL BE TR OR METAL PLATES FOR ALL O RECTLY ATTACHED TO FRAMI MBERS. SEE 6/54.1 FOR TOP TOGETHER WITH 0.148"Φ x 3"). ER NAILS PER 2/54.0 WHERE ERIOR WALLS, 3½" AT INTERIO	S MEMBERS W/ 0.148" CHOR BOLTS 5 1/2" IN REATED PER GENERAL CONNECTORS IN CONTA NG MEMBERS; PROVID PLATE SPLICE. LONG NAILS WITH THE SPACING IS LESS THA	Φ x 2-1/4" @ 12" (E) CONCRETE; 9 - NOTES, AND SH ACT WITH PRESS DE O.131"Φ x 2-1/2 E SAME SPACING	O.C. BEE STRUCT HALL BE 2x BURE TREAT 2" LONG NA 5 AS THE	URAL NOTES). PRO OR 3x PER THE SO ED MEMBERS. ILS FOR CLIPS INS	DVIDE CHEDULE. TALLED		HONG RESIDE	NCE MERCER	WAY	
(MALL 50	HEDULE - IOd NAILS	2							SCALE: NON	⊧ 8				- -
	SHEAR WALL EDGE EAR WALL SCHEDUL			HOLDOWN STUDS OR PER PLAN (2) 2x MIN										- -
ACED HER	AT SHIM MAY E TO AID IN F HOLDOWN			SHEAR WALL EDGE N EACH HOLDOWN STUE CONNECTORS TO HOL STUD AS REQUIRED E	D OR POST _DOWN	HOLDOWN	ANCHOR BOLT Ø	ANCHOR BOLT IN CONCRETE EMBED LENGTH	CONNECTORS TO HOLDOWN STUDS		REV 1 PERMIT SET	RIPTION	10/13/23 6/7/23 DATE BY	- - -
				MFR. SEE SCHEDULE HOLDOWN PER PLAN		HDU2	5⁄8"Φ	13"	(6) ¼"x2½" SD	5	ISSUES: O	SHT		7
				í └ IOd-F NAILS @ 8" 0.0	.	HDU4	5%"Φ	13"	(10) ¼"x2½" SD		P.E. DRAWN BY:	MKS TA		-
				TYP. AT BUILT-UP STU		HDU5 HDU8	5⁄8"Φ 7⁄8"Φ	13" 18"	(14) ¼"x2½" SD (20) ¼"x2½" SD		SCALE: DATE:	AS S 6/7/2	HOWN 23	_
				WHERE OCCURS	-	HDUII	"Φ	20"	(30) ¼"x2½" SD		JOB NO. SHEET TITLE:	23127	7.01	- -
				SQUASH BLOCKS TOP OF CONC. PER F CONCRETE REINFORC CAST-IN-PLACE HEAT	LING	OR METAL F	PLATES FO	SALVANIZED NAILS ALL CONNECTOR RE TREATED MEME	5 IN		TYPICAL WOOD DE	TAILS		
DIST -	STH		0	AND STD. WASHER, O WITH DOUBLE HEAVY WASHER. (USE THREA ANCHOR ROD AT EX - DRILL AND EPOXY, STRUCTURAL NOTES)	OR ALL-THREAD HEX NUTS AND STD. DED ADHESIVE ISTING FOUNDATION						SHEET NO.	54. C		-
AL HOLDO	WN TO CONCRETE A	T RIM JOIS	5T						SCALE: NON	⊫ 2		, -T. V		
									_		-			

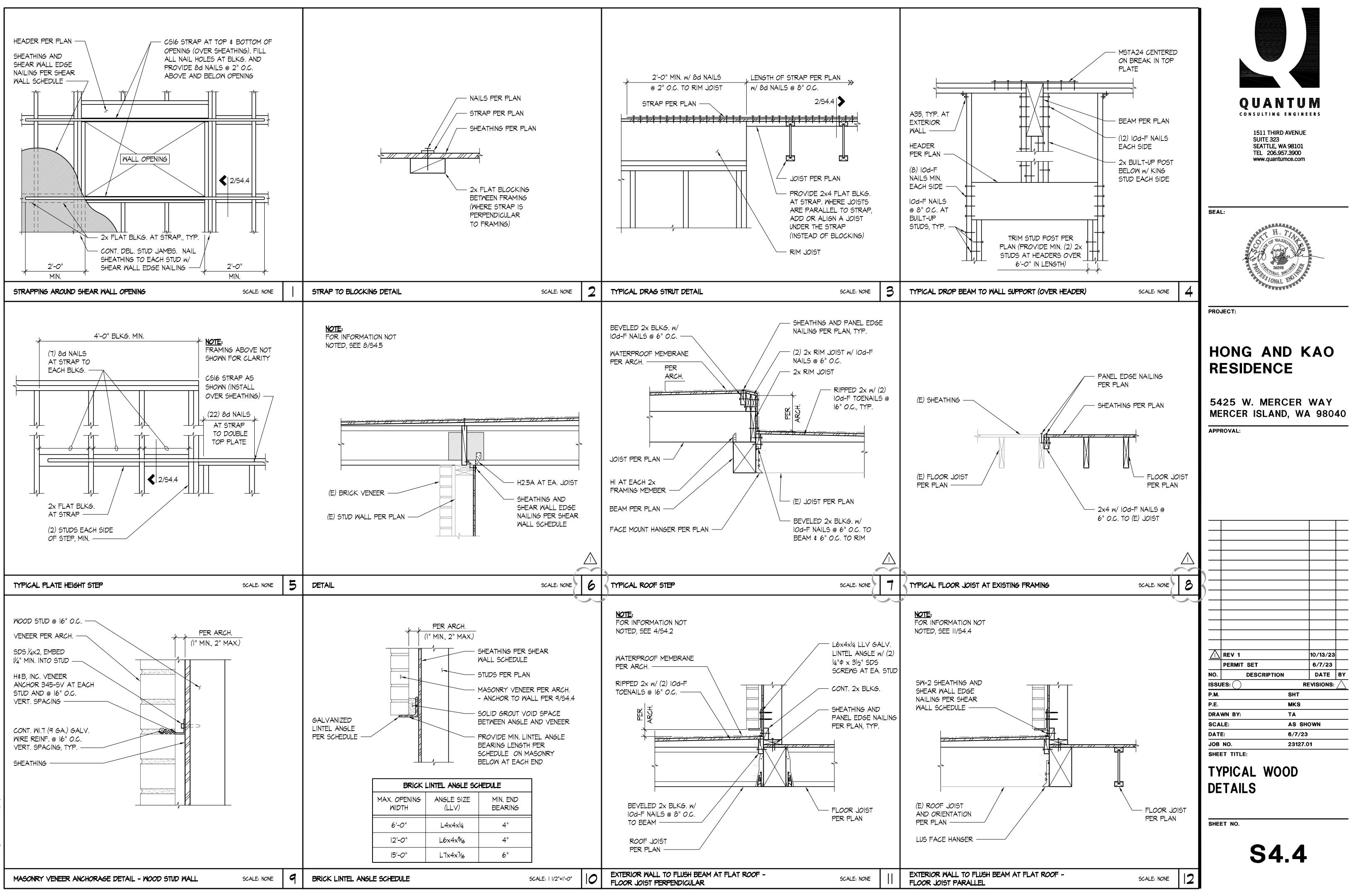






PEDESTAL PAVERS PER ARCH. RIPPED 2x w/ (2) IOd-F TOENAILS @ I6" O.C. WATERPROOF MEMBRANE PER ARCH. PANEL EDGE NAILING PER PLAN TO BLKG. JOIST PER PLAN 2x BLKG. @ 24" O.C. w/ A35 EACH END		PEDESTAL PAVERS PER F PER ARCH	L EDGE NAILING PLAN THING PER PLAN ED 2x W/ (2) IOd-F AILS @ 16" O.C.		NOTE: FOR INFO NOTED, SE
SCALE: "=1'-0"	2	TYPICAL FLUSH BEAM AT DECK	SCALE: "= '-0"	З	DETAIL
		NOTE: FOR INFORMATION NOT NOTED, SEE 3/S4.3			PANEL ED PER PLAN SHEATHING SHEAR WA NAILING F WALL SCH PEDESTAI
- 2x PLATE w/ 5%"Ф x 1½" W.T.S. @ 32" O.C., CTSK. NUT & WASHER 34" MAX.			ANEL EDGE NAILING ER PLAN		PER ARCH WATERPR MEMBRAN ARCH. — RIPPED 2
		BEAM w/ 5/2 "Φ x 3" W.T.S. @ 32" O.C. FLUSH BEAM PER PLAN	OIST PER PLAN, TYP. PARALLEL TO BEAM AT US48 HANGER w/ (6) 2.148"Φ x 1½" NAILS TO EDGER, TYP.	SIM.)	IOd-F TOE @ 16" O.C. DECK JO PLAN (PA BEAM AT 2x LEDGE OF ¹ 4"\$ x SCREWS (
LLEL SCALE: "=1'-0"	6	FLUSH STEEL BEAM AT DECK	SCALE: "= '-0"	7	TYPICAL F DECK JOIS
SCALE: "= '-0"	0	DETAIL	SCALE: "= '-0"		DETAIL





'-s404.dwg Plotted: Fri, 10/13/2023 10:44 an

